

AGENDA

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
APRIL 14, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

IN LIEU OF ATTENDING IN PERSON AND IN AN EFFORT TO COMPLY WITH CDC RECOMMENDATIONS REGARDING SOCIAL DISTANCING, SPECIAL NOTES PERTAINING TO "REMOTELY" OR "VIRTUALLY" PARTICIPATING IN TONIGHT'S PLANNING AND ZONING COMMISSION WORK SESSION MEETING ARE AS FOLLOWS:

SUBMIT COMMENTS VIA EMAIL

Citizens are encouraged to submit public forum comments at least 30 minutes in advance of the meeting by emailing them to Planning@Rockwall.com. Please include your name and address when submitting comments. Also, please be concise and limit your comments so that it may be read within three (3) minutes.

CITIZENS WATCHING THE MEETING

The public may watch the meeting *live* online by visiting the following link: <http://www.rockwall.com/meetings/video.asp>

NOTE: Please do not try to watch the meeting live and participate via ZOOM at the same time. There is a timing difference between the two streams. If you feel you need to watch live and also participate (as an applicant *only*) in the meeting via ZOOM, please mute the live stream audio (*as it is delayed compared to ZOOM*).

APPLICANTS PARTICIPATING IN THE MEETING

Applicants that wish to participate in the meeting virtually by joining with ZOOM, either via a computer, mobile device, and or telephone should follow the following instructions:

- (1) Register in advance to participate in the Planning and Zoning Commission Work Session meeting at this link: https://us04web.zoom.us/webinar/register/WN_NoHYL8V0S9mJCMbgWmslhw
- (2) After registering, you will receive a confirmation email containing information about joining the meeting. Alternatively, you can join via telephone at:

US: (301) 715-8592 or (312) 626-6799
Webinar ID: 334-916-504

NOTE: Press *9 to request to speak or to cancel your request. You will be acknowledged to provide comments during the meeting.

SPECIAL NOTES: Only the two-way 'audio' feature of ZOOM will be utilized during the meeting. No ZOOM video will be used. If you are watching remotely via the live stream, please note there is a seven (7) second delay, whereas, ZOOM is in real time.

(I) CALL TO ORDER

(II) OPEN FORUM

(III) APPOINTMENTS

- (1) Appointment with the Planning and Zoning Director to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

- (2) Approval of Minutes for the March 10, 2020 Planning and Zoning Commission meeting.
- (3) **P2020-012 (KOREY BROOKS)**
Consider a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard, and take any action necessary.

(4) **P2020-013 (DAVID GONZALES)**

Consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Tom Kirkland of Lakefront Trail Rockwall Hotel, LP for the approval of a Replat for Lots 1 & 2, Block A, Shoreline Marriott Addition being a 3.025-acre tract of land identified as Lot 1, Block A, Marriott Addition and Lot 5, Block A, Shoreline Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2601 Lakefront Trail and 2850 Shoreline Trail, and take any action necessary.

(5) **P2020-014 (DAVID GONZALES)**

Consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Dan Bobst of 101 Hubbard Dr., LLC for the approval of a Replat for Lot 2, Block B, Harbor District Addition being a 2.893-acre tract of land identified as Lot 1, Block B, Harbor District, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

(6) **P2020-015 (DAVID GONZALES)**

Consider a request by Brian Wade of Raymond L. Goodson Jr., Inc. on behalf of Jason Linscott of Rockwall Regional Hospital, LLC for the approval of a Replat for Lot 24, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre tract of land identified as Lots 6, 8, 9, 12 & 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097], and take any action necessary.

(7) **P2020-016 (KOREY BROOKS)**

Consider a request by Ruben Segovia on behalf of Jose Valerio for the approval of a Replat for Lot 1, Block L, Lake Rockwall Estates East Addition being a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

(8) **P2020-017 (KOREY BROOKS)**

Consider a request by Priya Acharya, PE of Weir & Associates, Inc. on behalf of Worth Williams of Moore Worth Investments, LLC for the approval of a Replat for Lot 9, Block A, Lakeshore Commons Addition, being a 1.401-acre parcel of land currently identified as Lot 8, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street [SH-205], and take any action necessary.

(V) **ACTION ITEMS**

(9) **MIS2020-005 (KOREY BROOKS)**

Discuss and consider a request by Jack Cannedy of Buzz Custom Fence on behalf of Adam Archer for the approval of a Special Exception to the fence standards contained in *Ordinance No. 19-08* and the Unified Development Code (UDC) for a 0.1843-acre parcel of land identified as Lot 6, Block D, Park Place West, Phase II Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) for Single-Family 7 (SF-7) District land uses, and take any action necessary.

(10) **MIS2020-006 (RYAN MILLER)**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf Northgate Rockwall LD LP for the approval of an Exception to the utility placement requirements for overhead utilities in conjunction with a single-family residential subdivision on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodghill Road [FM-3549] and Clem Road, and take any action necessary.

(VI) **DISCUSSION ITEMS**

(11) **Z2020-009 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Brian Parsons on behalf of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and take any action necessary.

(12) **Z2020-010 (KOREY BROOKS)**

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an *accessory building that exceeds the maximum square footage* on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge

Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

(13) **Z2020-012 (KOREY BROOKS)**

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

(14) **Z2020-014 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

(15) **Z2020-015 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Stephen Doyle of Structured Real Estate on behalf of Luke Alverson of Capstar Holding Corporation for the approval of a Zoning Change from a Commercial (C) District and a Light Industrial (LI) District to a Planned Development District (PD) for a 55.80-acre tract of land identified as Tract 22, 22-2, & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

(16) **SP2020-004 (DAVID GONZALES)**

Discuss and consider a request by Jason Miller of Boucher Design Group on behalf of Peter Sisan of SDI Rockwall Holdings, LLC for the approval of a Site Plan for a strip retail center on a 0.918-acre tract of land being identified as Lot 1, Block A, Mr. M. Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.

(17) **SP2020-006 (KOREY BROOKS)**

Discuss and consider a request by Jared Helmberger, PE of Epsilon Land Development on behalf of Jim Vaudagna of Dallas East for the approval of a Site Plan for a strip retail center and daycare facility on a 6.28-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located on the southside of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

(18) Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2020-010: Replat for Lot 24, Block E, Chandlers Landing, Phase 16 Addition (APPROVED)
- P2020-011: Replat for Lot 10, 11 & 12, Block A, Harbor-Rockwall Addition (APPROVED)
- Z2020-001: Zoning Change from AG to SF-1 for 844 Zion Hill Circle (APPROVED; 1st READING)
- Z2020-002: SUP for Single Family Home on 702 Parks Street (APPROVED; 1st READING)
- Z2020-003: SUP for Single Family Home on 610 Parks Street (APPROVED; 1st READING)
- Z2020-004: SUP for Single Family Home on 705 Peters Colony (APPROVED; 1st READING)
- Z2020-005: SUP for Single Family Home on 703 Peters Colony (APPROVED; 1st READING)
- Z2020-006: SUP for an Accessory Building on 2308 Saddlebrook Lane (DENIED; 1st READING)
- Z2020-007: Text Amendment to Article 08, Landscape and Screening, of the UDC (APPROVED; 1st READING)
- Z2020-008: SUP for Rental, Sales and Service of Heavy Machinery on 765 E. IH-30 (APPROVED; 1st READING)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 9, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MARCH 10, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER

3
4 Chairman Eric Chodun called the meeting to order at 6:01 PM. The Commissioners present at the meeting were John
5 Womble, Sedric Thomas, Mark Moeller, and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning
6 Director Ryan Miller, Planning Manager David Gonzales, Senior Planner Korey Brooks, Planning and Zoning Coordinator
7 Angelica Gamez, City Engineer Amy Williams, and Civil Engineer Sarah Johnston.

8
9 II. OPEN FORUM

10
11 Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this
12 time. There being no one coming forward, Chairman Chodun closed the Open Forum.

13
14 III. APPOINTMENTS

- 15
16 1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items
17 on the agenda requiring architectural review.

18
19 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were
20 discussed at the Architectural Review Board meeting.

21
22 IV. CONSENT AGENDA

- 23
24 2. Approval of Minutes for the February 25, 2020 Planning and Zoning Commission meeting.

25
26 3. P2020-010 (KOREY BROOKS)

27 Discuss and consider a request by Rob Whittle for the approval of a Replat for Lot 24, Block E, Chandlers Landing, Phase 16
28 Addition being a 0.16-acre parcel of land identified as Lot 16, Block E, Chandlers Landing, Phase 16 Addition, City of Rockwall,
29 Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 295 Victory Lane,
30 and take any action necessary.

31
32 4. P2020-011 (DAVID GONZALES)

33 Discuss and consider a request by Jim Ziegler of Pegasus Ablon for the approval of a Replat for Lots 10, 11, & 12, Block A, Harbor-
34 Rockwall Addition being a 6.119-acre parcel of land identified as Lot 9, Block A, Harbor-Rockwall Addition, City of Rockwall,
35 Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District,
36 located at the southwest corner of the intersection of Lakefront Trail and the IH-30 frontage road, and take any action necessary.

37
38 5. SP2019-049 (KOREY BROOKS)

39 Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray
40 Hubbard Condominiums Owner's Association, Inc. for the approval of a Site Plan for two (2) multi-family apartment buildings on a
41 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas,
42 zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as
43 2000-2038 Portofino Circle, and take any action necessary.

44
45 Vice Chairman Welch made a motion to approve the consent agenda. Commissioner Thomas seconded the motion which
46 passed by a vote of 5-0 with Commissioners Fishman and Logan absent.

47
48 V. PUBLIC HEARING ITEMS

49
50 6. Z2020-001 (DAVID GONZALES)

51 Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate
52 for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel

53 of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
54 addressed as 844 Zion Hill Circle, and take any action necessary.
55

56 **Planning and Zoning Manager David Gonzalez provided brief information in regards to the request. Mr. Gonzalez explained**
57 **to the Commission that the applicant is requesting to rezone the property from Agricultural (Ag) District to Single-Family**
58 **One (SF-1) District in order to accommodate the request for a Specific Use Permit (SUP) for a secondary living unit, an**
59 **enlarged carport, and a detached garage. There was a structure that was built without a permit and the owner is now trying**
60 **to bring it into conformance. The Agricultural (Ag) District, which is where the house is located, does not allow for a carport**
61 **that exceeds 500 square feet or a detached garage that exceeds 620 square feet. The overall square footage of the structure**
62 **is 4,812 square feet. If this SUP is approved then the applicant would come before the Commission once more requesting to**
63 **have the oversized carport and the oversized guest quarters as well. The applicant will also have the option in connecting**
64 **the structures to the existing house. Should that have been done beforehand then the applicant would not have needed to**
65 **request an SUP. The applicant is requesting the zone change to Single-Family (SF-1) District to remain consistent with the**
66 **remainder of the neighborhood. As of right now, it meets all requirements to be zoned SF-1. According to the Hometown**
67 **Vision Comprehensive Plan, this property is located within the Northeast Residential District and designated for low density**
68 **residential land use. Mr. Gonzales provided the Commission with photos of the standing structure and explained the**
69 **elevations. He mentioned that there is a stop work order on this project until it can be resolved as three (3) citations have**
70 **been issued on this particular property. There were thirty-three (33) notices sent out in regards to this property with one**
71 **coming back in support of the request. There is a condition of approval within the draft ordinance where the applicant will**
72 **be required to request an SUP for or remove the illegal structure to bring it into compliance with the construction standard**
73 **that is required by the City's code. Mr. Gonzales advised the Commission that the applicant and Staff were present and**
74 **available for questions.**

75
76 **Chairman Chodun asked the applicant to come forward.**

77
78 **Chris Kehrer**
79 **410 Normandy Lane**
80 **Heath, TX 75032**
81

82 **The applicant came forward and gave a brief explanation in regards to the request.**

83
84 **Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so, there being**
85 **no one indicating such; Chairman Chodun closed the public hearing and brought the item back to the Commission for**
86 **discussion or action.**

87
88 **Vice Chairman Welch made a motion to approve item Z2020-001 with staff recommendations with Commissioner Moeller**
89 **seconding the motion which passed with a vote 5-0.**

90
91 **7. Z2020-002 (DAVID GONZALES)**

92 **Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of**
93 **a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home**
94 **on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-**
95 **Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.**
96

97 **Planning and Zoning Manager David Gonzales provided brief information in regards to the request. The new requests have**
98 **come up due to the passing of a new ordinance passed in September 2019. He added that this particular request was being**
99 **made in conjunction to another request. The requests are being viewed separately since they are separate lots and owners.**
100 **The neighborhood is zoned Single Family 7 (SF-7) District and the particular area was platted in February 1913 and had 50'x**
101 **125' lots. After giving a brief history on the property, Mr. Gonzales informed staff that the lots in question had not been**
102 **replatted the same as others but were still considered lots of record. That being said, there are now three (3) separate parcels**
103 **that meet the SF-7 District standards causing them to be able to be sold separately and be constructed upon. The applicant**
104 **is requesting to construct a single family home in a vacant lot. According to Article 13, *Definitions*, of the Unified**
105 **Development Code (UDC), it defines Residential Infill in or Adjacent to an Established Subdivision as "the new development**
106 **of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed**
107 **parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out."**
108 **Mr. Gonzales explained that he was explaining the definition due to the fact that we had three (3) other cases referred to as**
109 **Residential Infills. According to the Permissible Uses listed in the UDC, there are five (5) listed. They are that an established**
110 **subdivision is established by five (5) lots or more and is more than ten (10) years old and is ninety (90%) percent developed.**
111 **It also indicates that any residential infill house must be located within five hundred (500) feet of a subdivision in order to go**
112 **through this process. The Planning and Zoning Commission and City Council are to consider the proposed size, location,**

113 the architecture of the home compared to the existing housing, and make sure that all housing proposed during this sub-
114 section to be constructed architecturally similar or complementary to the existing housing. Mr. Gonzales explained that these
115 requirements set the parameters for the upcoming cases. Staff has provided an outline of what is existing in those homes.
116 There are a variety of homes built between the years 1929-1995 with minimal traditional styles, ranch style homes, and Tudor
117 homes. The applicant is proposing to construct a Craftsman style home on the property. There are also various building
118 materials being utilized in the neighborhood such as wood, Masonite, along with different types of sidings. The applicant is
119 wanting to use hardie board siding and stone to match some of the other siding that's there. The only difference that you
120 may see is that some homes in the neighborhood have front garages as opposed to the proposed design which will have a
121 back garage entry. Mr. Gonzales went on to show a blueprint of the home, explaining how the density does meet the
122 requirements of the SF-7 district. The approval of this request is discretionary to the Planning and Zoning Commission, as
123 well as City Council, pending finding that proposed house will not have a negative impact on the existing subdivision. Staff
124 sent out 115 notices to the properties within 500 feet and notified their appropriate Homeowners Associations within 1500
125 feet of the property. There were two (2) notices returned in favor of the case and two (2) against the case. There were also
126 four (4) returned emails opposed to the case as well. Mr. Gonzales then advised the Commission that the applicant and Staff
127 were present and available for questions.

128
129 Commissioner Chodun asked the applicant to come forward.

130
131 **Reese Baez**
132 **1415 Open Bay Court**
133 **Rockwall, TX 75087**
134

135 Mr. Baez came forward and provided further details in regards to the request. He mentioned that he was speaking on behalf
136 of the applicant. He went on to read a letter written by the applicant to the Commission.
137

138 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so at this time.
139

140 **Jeff Carroll**
141 **804 Stimson Street**
142 **Rockwall, TX 75087**
143

144 Mr. Carroll came forward and expressed his being in favor of the request. He wanted to reiterate that there was no variance
145 being asked in this case and the upcoming one. He also added that the Craftsman style really blends in with the rest of the
146 neighborhood and that both property owners that are coming tonight are trying to preserve the essence of the neighborhood.
147

148 **Matthew Fuqua**
149 **604 Parks Avenue**
150 **Rockwall, TX 75087**
151

152 Mr. Fuqua came forward and expressed his opposition in regards to the request. His main concern being having a three story
153 home next to a one story home.
154

155 **Richard Allegretto**
156 **510 Parks Avenue**
157 **Rockwall, TX 75087**
158

159 Mr. Allegretto came forward and expressed his opposition in regards to the request.
160

161 **Julie Lindsey**
162 **605 Nash**
163 **Rockwall, TX 75087**
164

165 Mrs. Lindsey came forward and expressed her opposition in regards to the request.
166

167 **Amanda Henry**
168 **205 S. Clark Street**
169 **Rockwall, TX 75087**
170

171 Mrs. Henry came forward and explained that she was the applicant on this case and wanted to provide further information in
172 regards to it. She explained that she understands the concerns of the neighborhood and clarified that it is only a two story

173 house with an attic on the second floor. She also added that she would be adding trees due to the older ones being cut down
174 for building purposes. The house also meets all setback requirements.

175
176 Chairman Chodun asked if anyone else who wished to speak to come forward and do so; there being no one indicating such,
177 Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

178
179 Chairman Chodun made a motion to approve item Z2020-002 with staff recommendations. Commissioner Thomas seconded
180 the motion which passed with a vote of 3-2, with Commissioners Moeller and Womble dissenting.

181
182 Director of Planning and Zoning Department Ryan Miller announced that the case would be presented at City Council on
183 March 16, 2020.

184
185 **8. Z2020-003 (DAVID GONZALES)**

186 Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of
187 a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home
188 on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-
189 Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.

190
191 Planning and Zoning Manager David Gonzales came forward and provided a brief background in regards to the request. He
192 mentioned that it was a similar case to the previous one and the house would located to the South of it. The home is that is
193 being requested would be a single story Craftsman style on the lot. The applicant is providing hardie board lap siding for the
194 gray house with white trim, along with composite shingles. The requested house would have a rear entry also. Staff sent out
195 115 notices to properties within 500 feet and notices to the Homeowners Associations within 1500 feet. There were two (2)
196 notices in favor, one (1) notice against, that were mailed back. There were also four (4) emails that were opposed to the
197 request as well. Mr. Gonzales also informed the Commission that the applicant, Meg Murphy, had written a letter and he
198 included it in the packet as well. With that, Mr. Gonzales advised the Commission that the applicant and Staff were present
199 and available for questions.

200
201 Chairman Chodun asked the applicant to come forward.

202
203 **Jeff Carroll**
204 **804 Stimson Street**
205 **Rockwall, TX 75087**

206
207 Mr. Carroll came forward and provided additional information and details in regards to the request.

208
209 **Megan Murphy**
210 **804 Stimson Street**
211 **Rockwall, TX 75087**

212
213 Mrs. Murphy came forward and read a letter she wrote explaining her background and her reasoning for wanting approval
214 on this case.

215
216 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so, there being
217 no one indicating such; Chairman Chodun closed the public hearing and brought the item back to the Commission for
218 discussion or action.

219
220 Commissioner Thomas made a motion to approve item Z2020-003 with Commissioner Moeller seconding the motion which
221 passes by a vote of 5-0. Commissioner Chodun reminded the applicants that the case will be presented to City Council on
222 March 16, 2020.

223
224 **9. Z2020-004 (KOREY BROOKS)**

225 Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio
226 for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a
227 single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County,
228 Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District,
229 addressed as 705 Peters Colony, and take any action necessary.

230
231 Senior Planner Korey Brooks provided brief information in regards to the request. The applicant is requesting the approval
232 of an SUP to allow the construction of an infill on a residential home of an existing lot. The proposed home would be 2400

233 square feet and would be 100% brick. Mr. Brooks mentioned that all homes down Boydstun and E. Ross streets all have
234 front-facing garages with twenty (20) foot setbacks and are similar in construction. The homes range in architectural style
235 and size going from 800 square feet to 1300 square feet and were built between 1957-2005. There is a mixture of wood siding,
236 Masonite, and brick homes. According to the Unified Development Code (UDC), front facing garages have to be set back
237 twenty (20) feet. In this case, it is reversed where the front garage is forward facing and the forward entry is recessed twenty
238 (20) feet behind that. On one elevation, it shows vinyl and hardie-wood siding but the applicant has stated that rear would be
239 brick and will generally match the surrounding homes in the neighborhood. Mr. Brooks then advised the Commission that
240 he was available for questions.

241
242 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so, there being
243 no one indicating such; Chairman Chodun closed the public hearing and brought the item back to the Commission for
244 discussion or action.

245
246 Commissioner Thomas had a question in regards to the setbacks.

247
248 Commissioner Thomas made a motion to approve item Z2020-004 with Vice-Chairman Welch seconding the motion which
249 passed by a vote of 5-0.

250
251 **10. Z2020-005 (KOREY BROOKS)**

252 Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio
253 for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a
254 single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County,
255 Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District,
256 addressed as 703 Peters Colony, and take any action necessary.
257

258
259 Senior Planner Korey Brooks provided brief information in regards to the request. He added that the only difference from
260 this request and the last request was that zero notices had been received in opposition of this request. Mr. Brooks also
261 explained that the elevations will be very similar buy will have different brick color.

262
263 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so, there being
264 no one indicating such; Chairman Chodun closed the public hearing and brought the item back to the Commission for
265 discussion or action.

266
267 Vice-Chairman Welch made a motion to approve item Z2020-005 with the stipulation that brick color will be different or
268 contrasting to the previous case. Commissioner Thomas seconded the motion which passed by a vote 5-0.

269
270 **11. Z2020-006 (KOREY BROOKS)**

271 Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP)
272 for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block
273 B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed
274 as 2308 Saddlebrook Lane, and take any action necessary.

275
276 Senior Planner Korey Brooks gave a brief background in regards to the request. The applicant is requesting an SUP to allow
277 a detached metal garage that exceeds the maximum size requirements for the area zoned Single-Family 16 (SF-16) District.
278 The proposed detached garage would be 1600 square feet and would be situated at the end of the existing driveway towards
279 the rear of the home. The detached garage would also have a lean to porch of approximately 400 square feet. The building
280 will be constructed of metal with one door and with windows on the front and on the side. Mr. Brooks pointed out that there
281 are currently several detached garages located within the subdivision with the majority of those constructed of brick and/or
282 hardie. There was a similar case reviewed by the Planning and Zoning Commission and City Council a few months back of
283 similar request within the same subdivision that was ultimately denied. He added that Staff mailed out twenty-one (21) notices
284 to occupants within 500 feet of the property and received four (4) notices and one (1) email in opposition and one (1) notice
285 in favor of the request. Mr. Brooks then advised the Commission that the applicant and Staff were present and available for
286 questions.

287
288 Chairman Chodun asked the applicant to come forward.

289
290 **Greg Givens**
291 **2308 Saddlebrook Lane**
292 **Rockwall, TX 75087**

293 Mr. Givens came forward and provided further information in regards to the request. He explained that the proposed structure
294 would be 1200 square feet as it is 30x40 feet. Mr. Givens explained that metal should not be a concern as it is an approved
295 building material within the new laws and the focus should be on the square footage. He then compared photos of other
296 garages located within the neighborhood with his. He mentioned that his garage would be hidden behind a wooden fence
297 with a motorized gate with only the top of the building showing. He added that his building would be made of metal with a
298 thirty (30) year paint life and the reason why he is requesting an oversized detached garage is because his pick-up truck will
299 not fit in his current garage. He wants his pick-up and the rest of his belongings together in one space and not be all over
300 the property. Mr. Givens stated that he cannot afford to use brick for the garage. The proposed structure would only take up
301 3% of his backyard and not the entire property and would keep all of his belongings safe.
302

303 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so at this time.
304

305 **Marty Wright**
306 2340 Saddlebrook Lane
307 Rockwall, TX 75087
308

309 Mr. Wright came forward and read a letter from his neighbor, Willard Thomas, who lives at 2337 Saddlebrook Lane, Rockwall,
310 TX 75087, being in favor of the request. He also added that his request was the case that had been denied a couple of months
311 ago and he voiced in favor of the request of well.
312

313 **Brandon Taylor**
314 2320 Saddlebrook Lane
315 Rockwall, TX 75087
316

317 Mr. Taylor came forward and voiced in favor of the request. He added that the maintenance should not be an issue with the
318 metal building as it is the responsibility of the owner.
319

320 **Janice Morchower**
321 144 Westwood
322 Rockwall, TX 75032
323

324 Mrs. Morchower came forward and expressed her opposition in regards to the request.
325

326 **Joyce Whisenhunt**
327 2381 Saddlebrook Lane
328 Rockwall, TX 75087
329

330 Mrs. Whisenhunt came forward and expressed her opposition to the request. Her main concern is that this will set a precedent
331 for the neighborhood and she is also worried from a safety aspect.
332

333 **Patti Muggeo**
334 2317 Saddlebrook Lane
335 Rockwall, TX 75087
336

337 Mrs. Muggeo came forward and expressed her opposition to the request. Her main concern is neighbors not maintaining
338 their detached garages.
339

340 **Jeff Baron**
341 2324 Saddlebrook Lane
342 Rockwall, TX 75087
343

344 Mr. Baron came forward and expressed his opposition to the request.
345

346 Chairman Chodun asked if anyone else wished to speak to come forward and do so, there being no one indicating such;
347 Chairman Chodun closed the public hearing.
348

349 Chairman Chodun asked the applicant to come forward and discuss any issues that were mentioned.
350

351 Mr. Givens came forward once again and stated that the proposed structure is not going to be a huge size and will have a
352 color scheme matching the house. He also stated that a metal building does increase your property value because people
353 want additional storage. Mr. Givens also read out emails in favor of his request.

354 Chairman Chodun brought item back to the Commission for discussion or action.

355
356
357 Commissioner Thomas made a motion to deny item Z2020-006 due to the size. Commissioner Womble seconded the motion
358 which end with a denial of 5-0.
359

360
361 **12. Z2020-007 (RYAN MILLER)**

362 Hold a public hearing to discuss and consider a request for the approval of a *Text Amendment* to amend Article 08, Landscape and
363 Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-
364 family and duplex properties, and take any action necessary.
365

366 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. He mentioned that on
367 January 21, 2020, there was a meeting with City Council where they directed Staff to make changes to existing ordinances.
368 Specifically, they were looking to remove the decorative top rail/cap requirement, remove the stain and seal fence
369 requirement, remove the framing to be placed on the private side, and remove the comments of free of burrs and splinters.
370 The changes were made and updated copies of the draft ordinance were provided to the Commission. These changes will
371 make it less restrictive on existing neighborhoods that don't already have standards in a planned development district. A
372 fifteen (15) day notice was sent out in the Rockwall Herald Banner also. Mr. Miller then advised the Commission that he was
373 available for questions.
374

375 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so, there being
376 no one indicating such; Chairman Chodun closed the public hearing and brought the item back to the Commission for
377 discussion or action.
378

379 Commissioner Moeller made motion to approve item Z2020-007 with Commissioner Thomas seconding the motion which
380 passes with a vote of 5-0.
381

382 **13. Z2020-008 (KOREY BROOKS)**

383 Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne
384 Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales and Service of Heavy*
385 *Machinery and Equipment* in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1,
386 Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within
387 the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.
388

389 Senior Planner Korey Brooks provided a brief summary in regards to the request. The applicant is requesting an SUP for the
390 rental, sales, and service of heavy machinery and equipment on the subject property that is in conjunction with the existing
391 Home Depot store. The Home Depot is located in the IH-30 Overlay (IH-30) District and it is also located within a Commercial
392 (C) District. Mr. Brooks explained that the applicant is requesting to utilize ten (10) parking spaces to allow the outside
393 storage and display of heavy equipment. The Unified Development Code (UDC) allows this with a Specific Use Permit in a
394 Commercial (C) District and also requires that the storage area be screened by the appropriate methods listed in the UDC.
395 In this case, the applicant is requesting to screen on all three (3) sides (South, East, West) with a combination of wrought
396 iron fence and three tiered landscaping such as canopy trees, accent trees, and some shrubs. The Northern side will be
397 screened by IH-30 and the building. Staff mailed out fifty-three (53) notices to property owners and occupants and received
398 one (1) in favor of the request. Mr. Brooks then advised the Commission that the applicant and Staff were present and
399 available for questions.
400

401 Chainman Chodun asked the applicant to come forward.
402

403 Reese
404 6308 Windcrest Drive
405 Plano, TX 75024
406

407 The applicant came forward and mentioned he was available to answer any questions.
408

409 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so at this time.
410

411 Janice Morchower
412 144 Westwood
413 Rockwall, TX 75032

414 Mrs. Morchowder came forward and expressed her opposition to the request due to the traffic it would cause.

415
416 Chairman Chodun asked the applicant to come forward if he wished to discuss the issues mentioned.

417
418
419 The applicant came forward and explained that there would not be more than ten (10) users at a given day, therefore not
420 being enough to cause traffic.

421
422 Chairman Chodun asked if anyone else wished to speak to come forward and do so, there being no one indicating such;
423 Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

424
425 Commissioner Thomas made a motion to approve item Z2020-008 with Vice-Chairman Welch seconding the motion which
426 passes by a vote of 5-0.

427
428 **VI. ACTION ITEMS**

429
430 **14. SP2020-003 (KOREY BROOKS)**

431 Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an Amending Site
432 Plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall,
433 Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District,
434 located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

435
436 Senior Planner Korey Brooks provided a brief summary in regards to the request. The applicant is requesting an Amending
437 Site Plan for a house of worship off John King Blvd. and Justin Rd. This item had previously been approved by the
438 Commission but there was a change in architects and design of the building. The building has gone down to 17,000 square
439 feet. The applicant meets all but three (3) requirements designated by the UDC and they are as follows: the northeast and
440 east elevations do not meet requirements as it does not meet the 20% of stone needed on those elevations. During the ARB
441 meeting, however, the applicant did agree to provide stone on those elevations. In addition, the applicant is providing
442 compensatory measures to offset these variances by providing additional landscaping, 100% masonry, and additional
443 architectural elements on the front facade. Mr. Brooks then advised the Commission that the applicant and Staff were present
444 and available for questions.

445
446 Chairman Chodun asked the applicant to come forward.

447
448 Tom Jones
449 5815 Meadow Crest Drive
450 Dallas, TX 75230

451
452 Mr. Jones came forward and provided brief details in regards to the request. He mentioned the site plan is essentially the
453 same as the last one approved last August with the exception of the new architect making it smaller. He mentioned they
454 exceeded the minimum amount of landscaping required within the parking islands as well as in the detention areas.

455
456 Josh Heinback (architect)
457 500 Energy Way
458 Fort Worth, TX 76102

459
460 Mr. Heinback came forward and provided a brief summary of the request. He mentioned that they are proposing an 18,000
461 square foot, steel frame construction building. All of their articulation has been based on the building having four (4) sides.
462 After the ARB meeting, they agreed to duplicate enhancements on the Northeast façade.

463
464 Chairman Chodun asked if anyone wished to speak to come forward and do so, there being no one indicating such; Chairman
465 Chodun brought the item back to the Commission for discussion or action.

466
467 Commissioner Womble made a motion to approve item SP2020-003 with Architectural Review Board (ARB)
468 recommendations. Commissioner Thomas seconded the motion which passed by a vote 5-0.

469
470 **VII. DISCUSSION ITEMS**

471
472 **15. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

- P2020-007: Final for Lots 1-4, Block A, Breezy Hill Lane Addition [APPROVED]
- P2020-008: Amending Plat the Gideon Grove – North Subdivision [APPROVED]
- P2020-009: Conveyance Plat for Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2 [APPROVED]

Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VIII. ADJOURNMENT

Chairman Chodun adjourned the public hearing at 8:17pm.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2020.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Steve Arze; *Zaph & Ath Properties*
CASE NUMBER: P2020-012; *Lots 4 & 5, Block A, Landing Point Addition*

SUMMARY

Consider a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for the purpose of subdividing one (1) lot (*i.e. Lot 1, Block A, Landing Point Addition*) into two (2) lots (*i.e. Lots 4 & 5, Landing Point Addition*) in order to develop the two (2) lots.
- On June 5, 2017, the City Council approved a request [*Case No. P2017-026*] for a final plat for Lots 1-3, Block A, Landing Point Addition.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 4 & 5, Block A, Landing Point Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning, and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall Project Plan Review History



Project Number	P2020-012	Owner	ZAPH & ATH PROPERTIES LLC	Applied	3/19/2020	AG
Project Name	Lots 2-5, Block A, Landing Point Addition	Applicant	STEVE ARZE	Approved		
Type	PLAT			Closed		
Subtype	REPLAT			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
AIRPORT RD	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
LANDING POINT ADDITION	1	A	1	4296-000A-0001-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/19/2020	3/26/2020	3/23/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	3/19/2020	3/26/2020	3/26/2020	7	APPROVED	
FIRE	Ariana Hargrove	3/19/2020	3/26/2020	3/25/2020	6	APPROVED	
GIS	Lance Singleton	3/19/2020	3/26/2020				
PLANNING	Korey Brooks	3/19/2020	3/26/2020	3/27/2020	8	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>P2020-012; Lots 4 &5, Block A, Landing Point Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard.</p> <p>I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (P2020-012) in the lower right-hand corner of all pages on future submittals.</p> <p>I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).</p> <p>M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Please note the Lot and Block designation stated above. The Title Block shows Lots 2 & 3 as well. 2) Please show and label cross access to Lot 5 3) Please note the lot and block designation and make changes to dedication language and title block 4) Please note the acreage for Lots 4 & 5. Currently, the acreage for all lots is being shown. <p>I.6 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.7 The Planning & Zoning Meeting April 14, 2020.</p> <p>I.8 The City Council Meeting for this case is April 20, 2020.</p> <p>i.9 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.</p>						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

AIRPORT RD.

Subdivision

LANDING POINT ADDITION

Lot

1-3

Block

A

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

C

Current Use

C

Proposed Zoning

C

Proposed Use

C

Acreage

4.88 ACRES

Lots [Current]

3

Lots [Proposed]

5

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

ZAPH EATH PROPERTIES

Applicant

SAME

Contact Person

STEVE ARZE

Contact Person

Address

1125 WATERSIDE CIRCLE

Address

City, State & Zip

ROCKWALL, TX 75087

City, State & Zip

Phone

Phone

E-Mail

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared STEVE ARZE [Owner] the undersigned, who stated the information on this application to be true and certified the following:

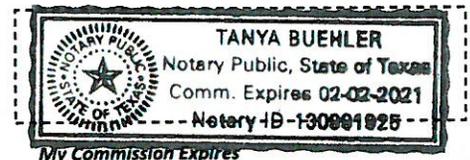
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 320.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 2ND day of MARCH, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 2ND day of MARCH, 20 20.

Owner's Signature

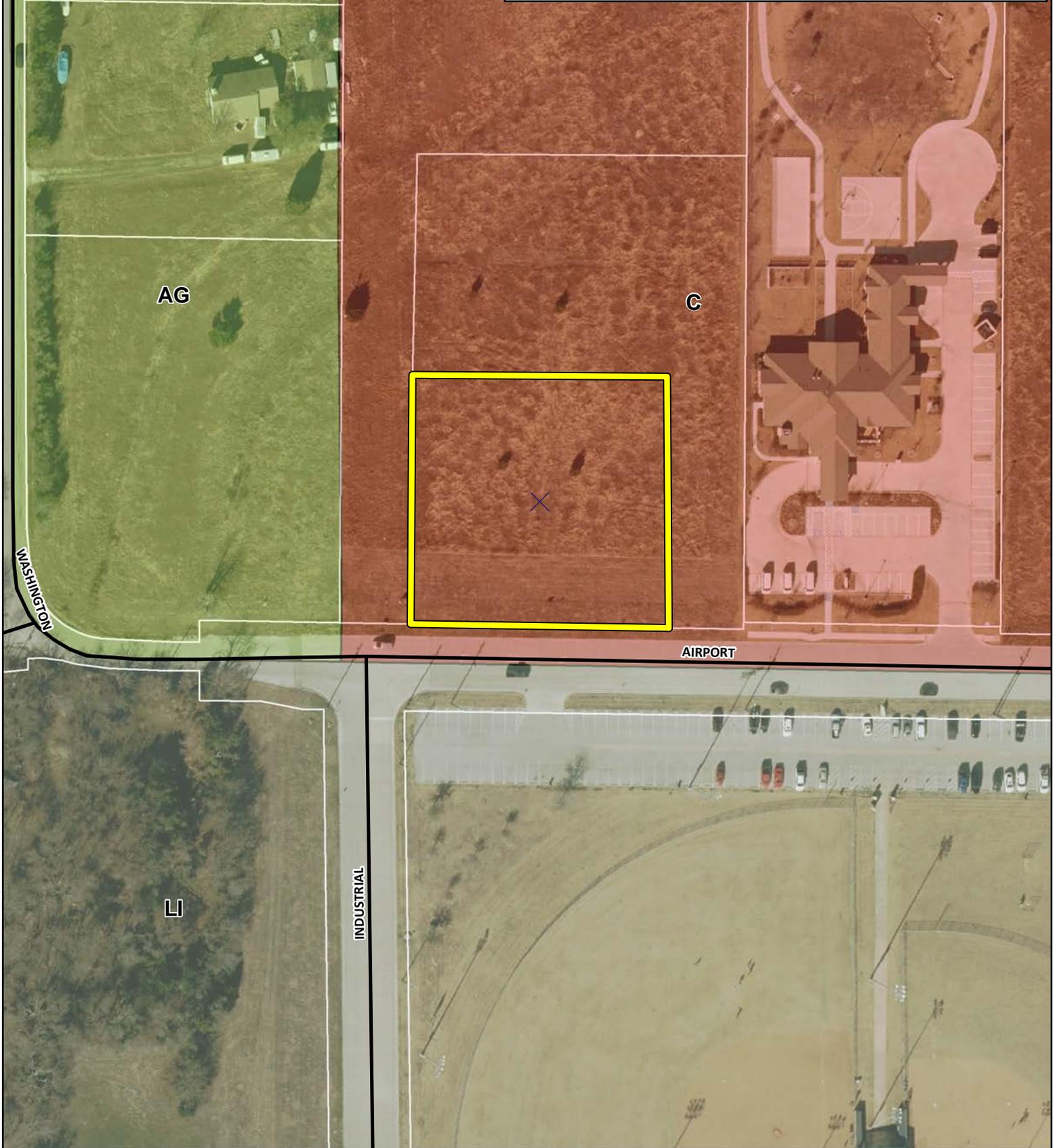
[Handwritten Signature]

Notary Public In and for the State of Texas



0 30 60 120 180 240 Feet

P2020-012- LOTS 4 & 5, BLOCK A, LANDING POINT ADDITION
REPLAT - LOCATION MAP = 

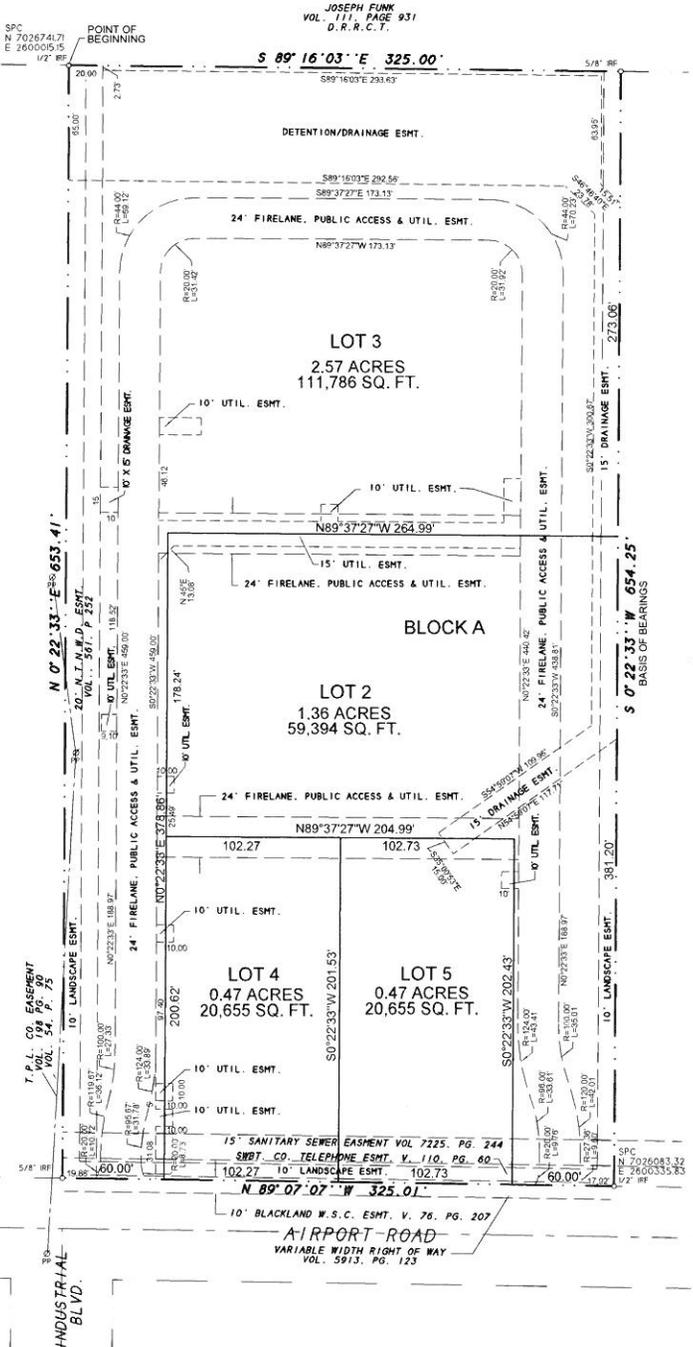


City of Rockwall

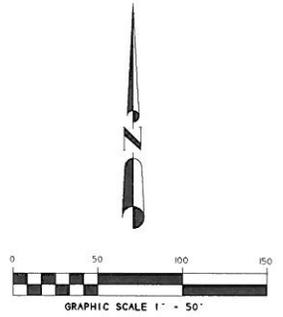
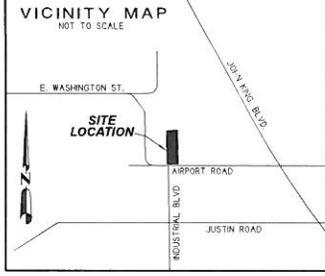
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L, dated SEPT 29, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034"
 - 4) PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING, REPAIR AND REPLACEMENT OF ALL DRAINAGE/DETENTION SYSTEMS.



2020-012

FINAL PLAT

LANDING POINT ADDITION

LOTS 2,3,4 & 5 BLOCK A

BEING A REPLAT OF
LANDING POINT ADDITION
4.88 ACRES OR 212,491 S.F.
(4 LOTS)
N. BUTLER SURVEY, ABST. NO. 20
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND	
	24' FIRELANE, PUBLIC ACCESS & UTIL. ESMT.
	10' UTIL. ESMT.
	15' DRAINAGE ESMT.
	10' LANDSCAPE ESMT.
	10' BLACKLAND W.S.C. ESMT. V. 76, PG. 207
	15" SANITARY SEWER EASEMENT VOL. 7225, PG. 244
	SWBT. CO. TELEPHONE ESMT. V. 110, PG. 60
	VARIABLE WIDTH RIGHT OF WAY VOL. 3913, PG. 123
	POINT OF BEGINNING
	SURVEY BOUNDARY
	EASEMENT
	RIGHT OF WAY
	UTILITY
	FIRELANE
	LANDSCAPE
	DRAINAGE
	BLACKLAND W.S.C.
	SANITARY SEWER EASEMENT
	TELEPHONE EASEMENT
	RIGHT OF WAY
	POINT OF BEGINNING
	SURVEY BOUNDARY
	EASEMENT
	RIGHT OF WAY
	UTILITY
	FIRELANE
	LANDSCAPE
	DRAINAGE
	BLACKLAND W.S.C.
	SANITARY SEWER EASEMENT
	TELEPHONE EASEMENT
	RIGHT OF WAY
	POINT OF BEGINNING
	SURVEY BOUNDARY
	EASEMENT
	RIGHT OF WAY
	UTILITY
	FIRELANE
	LANDSCAPE
	DRAINAGE
	BLACKLAND W.S.C.
	SANITARY SEWER EASEMENT
	TELEPHONE EASEMENT
	RIGHT OF WAY
	POINT OF BEGINNING
	SURVEY BOUNDARY
	EASEMENT
	RIGHT OF WAY
	UTILITY
	FIRELANE
	LANDSCAPE
	DRAINAGE
	BLACKLAND W.S.C.
	SANITARY SEWER EASEMENT
	TELEPHONE EASEMENT
	RIGHT OF WAY
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OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ZAPH & ATH PROPERTIES, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the N. BUTLER SURVEY, ABSTRACT NO. 20, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Brewer Properties, LP to Rockwall Property Corporation, dated July 7, 2006 and being recorded in Volume 4667, Page 101 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the northwest corner of the above cited tract of land; THENCE S. 89 deg. 16 min. 03 sec. E. along the north line of said tract, a distance of 325.00 feet to a 1/2" iron rod found for corner at the northwest corner of Lot 4, Block A, of COLUMBIA PARK ADDITION, BLOCK A, LOT 4, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet H, Slide 529 of the Plat Records of Rockwall County, Texas;

THENCE S. 00 deg. 22 min. 33 sec. W. along the west boundary line of Lot 4, Block A, a distance of 654.25 feet to a 1/2" iron rod found for corner in the north right-of-way line of Airport Road;

THENCE N. 89 deg. 07 min. 07 sec. W. along said right-of-way line, a distance of 325.01 feet to a 1/2" iron rod found for corner in the west boundary line of said Rockwall Property Corporation tract;

THENCE N. 00 deg. 22 min. 33 sec. E. along the west boundary line of said tract, a distance of 653.41 feet to the POINT OF BEGINNING and containing 212,491 square feet or 4.88 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LANDING POINT ADDITION, LOTS 2, 3, 4 & 5, an Addition to the City of Rockwall, Texas, and whose name is subscribed herein, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 have been noted and agree to this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintenance, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

STEVE ARZE for
ZAPH & ATH PROPERTIES, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared STEVE ARZE known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____.

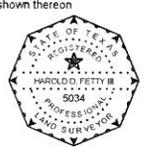
Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____.

Mayor, City of Rockwall City Secretary City of Rockwall

City Engineer Date _____

2020-012

FINAL PLAT
LANDING POINT ADDITION
LOTS 2,3,4 & 5 BLOCK A
BEING A REPLAT OF
LANDING POINT ADDITION
4.88 ACRES OR 212,491 S.F.
(4 LOTS)
N. BUTLER SURVEY, ABST. NO. 20
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
ZAPH & ATH PROPERTIES, LLC
1125 WATERSIDE CIRCLE
ROCKWALL, TEXAS 75087

SYMBOL LEGEND table with various symbols and their corresponding descriptions for survey features.

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2020-



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Cameron Slown; *Teague, Nall and Perkins, Inc.*
CASE NUMBER: P2020-013.; *Lots 1 & 2, Block A, Shoreline Marriott Addition*

SUMMARY

Consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Tom Kirkland of Lakefront Trail Rockwall Hotel, LP for the approval of a Replat for Lots 1 & 2, Block A, Shoreline Marriott Addition being a 3.025-acre tract of land identified as Lot 1, Block A, Marriott Addition and Lot 5, Block A, Shoreline Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2601 Lakefront Trail and 2850 Shoreline Trail, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 3.025-acre tract of land (*i.e. Lots 1 & 2, Block A, Shoreline Marriott Addition*) for purpose of dedicating additional right-of-way (*i.e. 761 SF or 0.018-acres*) between Lakefront Trail and Shoreline Trail and widening an existing access drive that intersects the two (2) lots. Additionally, the replat will incorporate both properties and create the *Shoreline Marriott Addition*.
- On February 17, 2003, the City Council approved a zoning change for the subject property from an Agricultural (AG) District to a General Retail (GR) District by *Ordinance No. 03-08 [Case No. PZ2002-095-01]*. This designation was changed to Planned Development District 32 (PD-32) on September 20, 2010 by *Ordinance No. 10-21*. On November 11, 2008, the Planning and Zoning Commission approved a site plan [*i.e. SP2008-030*] and recommended approval of the associated variances for the office building on *Lot 2* of the subject property. On November 17, 2008, the City Council approved the variances and exceptions as requested by the applicant. On March 2, 2015, the City Council approved a Specific Use Permit (SUP) [*i.e. Z2014-040*] for a hotel use (*i.e. Spring Hill Suites*) on *Lot 1* of the subject property. On February 10, 2015, the Planning and Zoning Commission approved a site plan [*i.e. SP2014-034*] and recommended approval of associated variances for the hotel. On March 2, 2015, the City Council approved the variances as requested by the applicant.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 1 & 2, Block A, Shoreline Marriott Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2020-013	Owner LAKEFRONT TRAIL ROCKWALL HOTEL	Applied 3/20/2020	AG
Project Name Lots 1&2, Block A, Shoreline Marriott	Applicant CAMERON SLOWN	Approved	
Type REPLAT		Closed	
Subtype REPLAT		Expired	
Status Staff Review		Status	

Site Address 2601 LAKEFRONT TR	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision SHORELINE PLAZA ADDITION	Tract 1	Block A	Lot No 1	Parcel No 4377-000A-0001-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING (3/26/2020 2:20 PM SJ) M - You must tie two points to Rockwall GPS. This is given as a Northing and Easting.	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	Must tie two points to GPS.
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
GIS	Lance Singleton	3/20/2020	3/27/2020				
PLANNING	David Gonzales	3/20/2020	3/27/2020	3/30/2020	10	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(3/30/2020 4:30 PM DG)						
P2020-013; Replat for Lots 1 & 2, Block A, Shoreline Marriott Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Replat for Lots 1 & 2, Block A, Shoreline Marriott Addition being a 3.025-acre tract of land identified as Lot 1, Block A, Marriott Addition and Lot 5, Block A, Shoreline Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2601 Lakefront Trail and 2850 Shoreline Trail						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (P2020-013) in the lower right-hand corner of all pages of all revised plan submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 32 (PD-32), the IH-30 Overlay (IH-30 OV) District and the General Commercial District Standards of Article V, that are applicable to the subject property. [§01.02(D), Art. 11, UDC]						
M.5 Correct Title Block to read as follows:						
Final Plat						
Lots 1 & 2, Block A, Shoreline Marriott Addition						
Being a replat of Lot 1, Block A, Marriott Addition						
And Lot 5, Block A, Shoreline Plaza Addition						
Containing a total of 3.025-acres						
And Situated in the M.J. Barksdale Survey, Abstract No. 11						
An Addition to the City of Rockwall, Rockwall County, Texas						
M.6 The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas North Central [7202], US Survey Feet). [§01.02(D), Art. 11, UDC]						
M. 7 Correct 'Lot 5' and relabel as 'Lot 2, Block A, Shoreline Marriott Addition. [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.8 Indicate all existing and proposed corner clips and any subsequent dedication [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.9 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies						
I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.						
M.11 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.						
I.12 The Planning and Zoning Work Meeting will be held on April 14, 2020.						
I.13 The City Council meeting for this case is scheduled to be held on April 20, 2020.						
I.14 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ³
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹ (300+3.025*20)=\$360.50
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2601 LAKEFRONT TRAIL / 2850 SHORELINE TRAIL

Subdivision MARRIOTT ADDITION/SHORELINE TRAIL ADD. Lot 1/5 Block A/A

General Location BOTH PROPERTIES NEAR THE INTERSECTION OF SHORELINE TR. AND HARBOR HEIGHTS DR

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	<u>PD-32</u>	Current Use	<u>HOTEL/COMMERCIAL</u>
Proposed Zoning	<u>PD-32</u>	Proposed Use	<u>SAME AS ABOVE</u>
Acreage	<u>3.025</u>	Lots [Current]	<u>2</u>
		Lots [Proposed]	<u>2</u>

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>LAKEFRONT TRAIL ROCKWALL HOTEL, LP</u>	<input type="checkbox"/> Applicant	<u>TEAGUE, NALL AND PERKINS, INC.</u>
Contact Person	<u>TOM KIRKLAND</u>	Contact Person	<u>Cameron Slown</u>
Address	<u>3021 Ridge Road A-120,</u>	Address	<u>825 Watters Creek Blvd, M300</u>
City, State & Zip	<u>Rockwall, TX 75032</u>	City, State & Zip	<u>Allen, TX 75013</u>
Phone	<u>214-802-2964</u>	Phone	<u>972-737-8720</u>
E-Mail	<u>tom@tekmakdevelopment.com</u>	E-Mail	<u>cslown@tnpinc.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Thomas E Kirkland [Owner] the undersigned, who stated the information on this application to be true and certified the following:

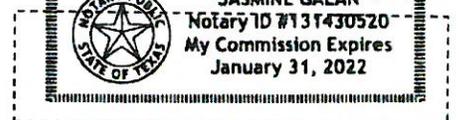
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$360.50, to cover the cost of this application, has been paid to the City of Rockwall on this the 24th day of February, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 24th day of February, 2020

Owner's Signature

Thomas E Kirkland
Jasmine Galan

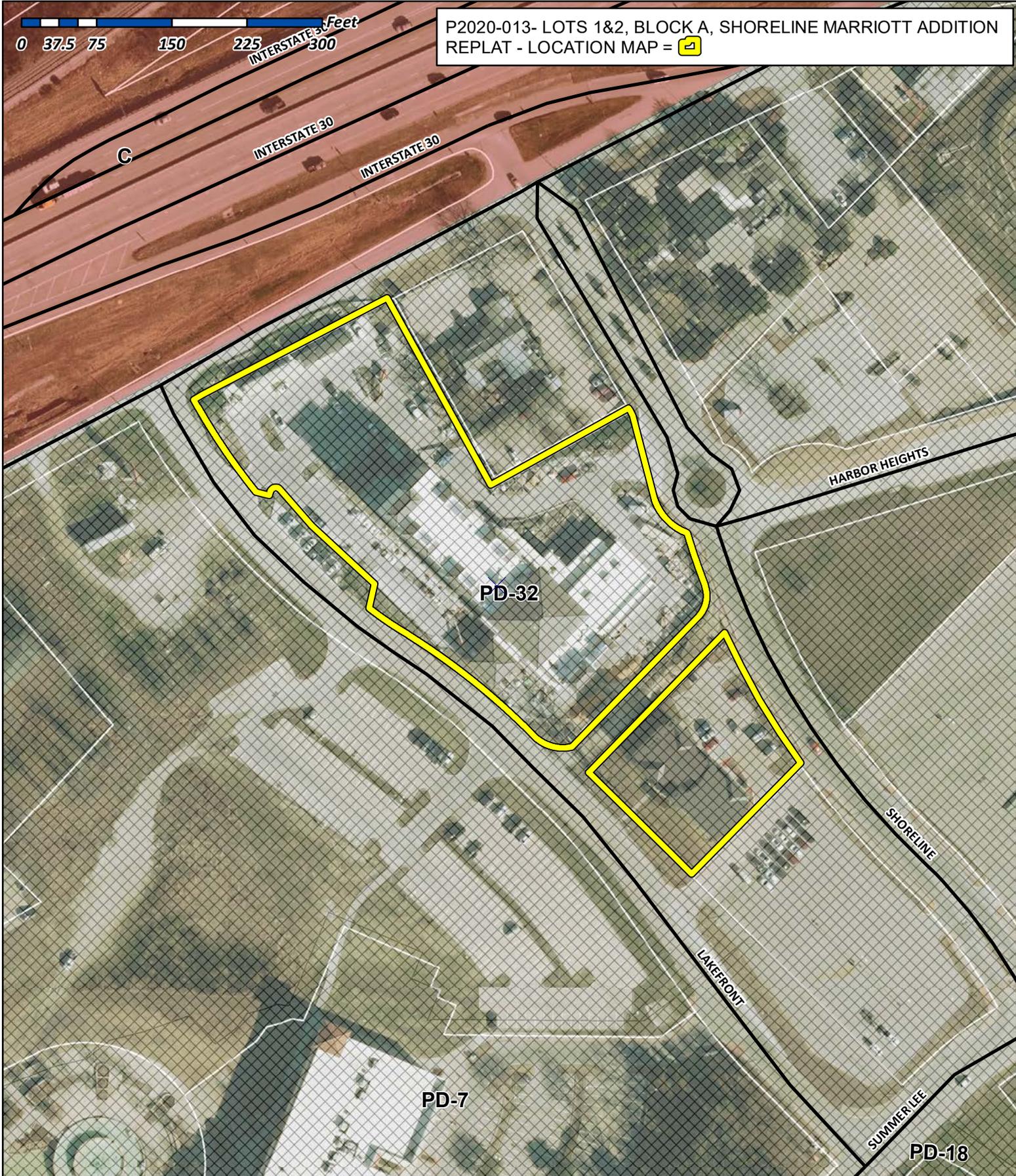
Notary Public in and for the State of Texas



My Commission Expires 01-31-2022

0 37.5 75 150 225 300 Feet
INTERSTATE 30

P2020-013- LOTS 1&2, BLOCK A, SHORELINE MARRIOTT ADDITION
REPLAT - LOCATION MAP = 



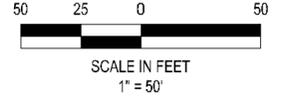
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



tnp



LEGEND

- (C.M.) - CONTROLLING MONUMENT
- IRF - IRON ROD FOUND
- CIRF - CAPPED IRON ROD FOUND
- MNF - MAG NAIL FOUND
- NTS - NOT TO SCALE
- R.O.W. - RIGHT OF WAY
- SF - SQUARE FEET
- AC - ACRES
- D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS
- O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS

NOTES:

- BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202/14AD83(2011)EPOCH 2010) AND TIED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK.
- BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED. NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

BOUNDARY CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1285.31'	0°23'20"	8.72'	S 28°07'28" E	8.72'
C2	62.98'	52°09'58"	48.09'	S 43°10'41" E	46.46'
C3	779.60'	4°07'37"	56.15'	S 18°51'58" E	56.14'
C4	30.00'	63°29'13"	33.24'	S 12°24'49" W	31.57'
C5	39.00'	55°54'41"	38.08'	N 77°05'20" W	36.57'
C6	663.71'	12°40'50"	146.89'	N 51°50'10" W	146.59'
C7	631.74'	4°18'45"	47.55'	N 95°56'56" W	47.54'
C8	5.50'	123°59'04"	11.90'	S 75°46'03" W	9.71'
C9	625.74'	9°23'08"	102.50'	N 34°19'55" W	102.39'
C10	11309.20'	1°03'04"	207.49'	N 62°22'29" E	207.49'
C11	779.60'	11°05'06"	150.83'	S 30°11'45" E	150.59'

BOUNDARY LINE TABLE		
LINE BEARING	DISTANCE	
L1	N 45°32'24" W	18.16'
L2	N 13°46'30" E	124.99'
L3	N 42°14'25" W	48.78'
L4	S 13°46'30" W	3.49'
L5	N 76°13'30" W	13.90'
L6	N 29°38'23" W	8.57'
L7	N 59°28'06" E	11.33'

LOT CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	44.50'	22°09'45"	17.21'	S 55°14'18" W	17.11'

LOT LINE TABLE		
LINE BEARING	DISTANCE	
L1	S 38°41'27" W	41.89'
L2	S 45°50'30" E	12.96'
L3	N 35°43'01" E	20.16'

EASEMENT LINE TABLE		
LINE BEARING	DISTANCE	
L1	S 28°22'44" W	16.84'
L2	S 44°09'30" W	46.53'
L3	S 35°43'01" W	23.54'
L4	S 58°09'25" W	25.85'
L5	N 44°09'30" E	113.86'
L6	N 56°09'26" E	14.23'
L7	S 63°46'55" W	28.99'
L8	S 53°59'33" W	8.51'
L9	S 63°46'55" W	19.29'

**FINAL PLAT OF
LOT 1, BLOCK A AND LOT 5, BLOCK A
SHORELINE MARRIOTT ADDITION**

LOT 1, BLOCK A
107,600 SQUARE FEET OR 2.470 ACRES GROSS
106,869 SQUARE FEET OR 2.453 ACRES NET AFTER R.O.W. DEDICATION

LOT 5, BLOCK A
24,948 SQUARE FEET OR 0.573 ACRES GROSS
24,918 SQUARE FEET OR 0.572 ACRES NET AFTER R.O.W. DEDICATION

BEING A REPLAT OF LOT 1, BLOCK A, MARRIOTT ADDITION
SITUATED IN THE M.J. BARKSDALE SURVEY, ABSTRACT NO. 11
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AS RECORDED IN
CABINET I, SLIDE 299, OF THE PLAT RECORDS ROCKWALL COUNTY, TEXAS
AND
BEING A REPLAT OF LOT 5, BLOCK A, SHORELINE PLAZA ADDITION
SITUATED IN THE M.J. BARKSDALE SURVEY, ABSTRACT NO. 11
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AS RECORDED IN
CABINET I, SLIDE 299, OF THE PLAT RECORDS ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION

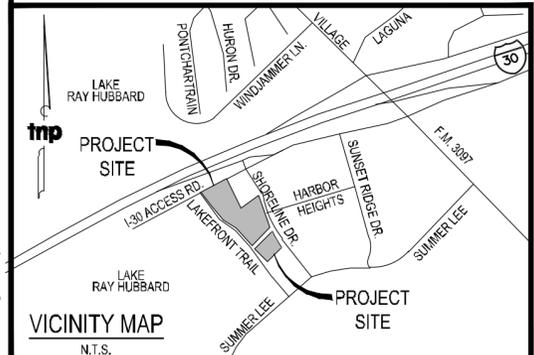
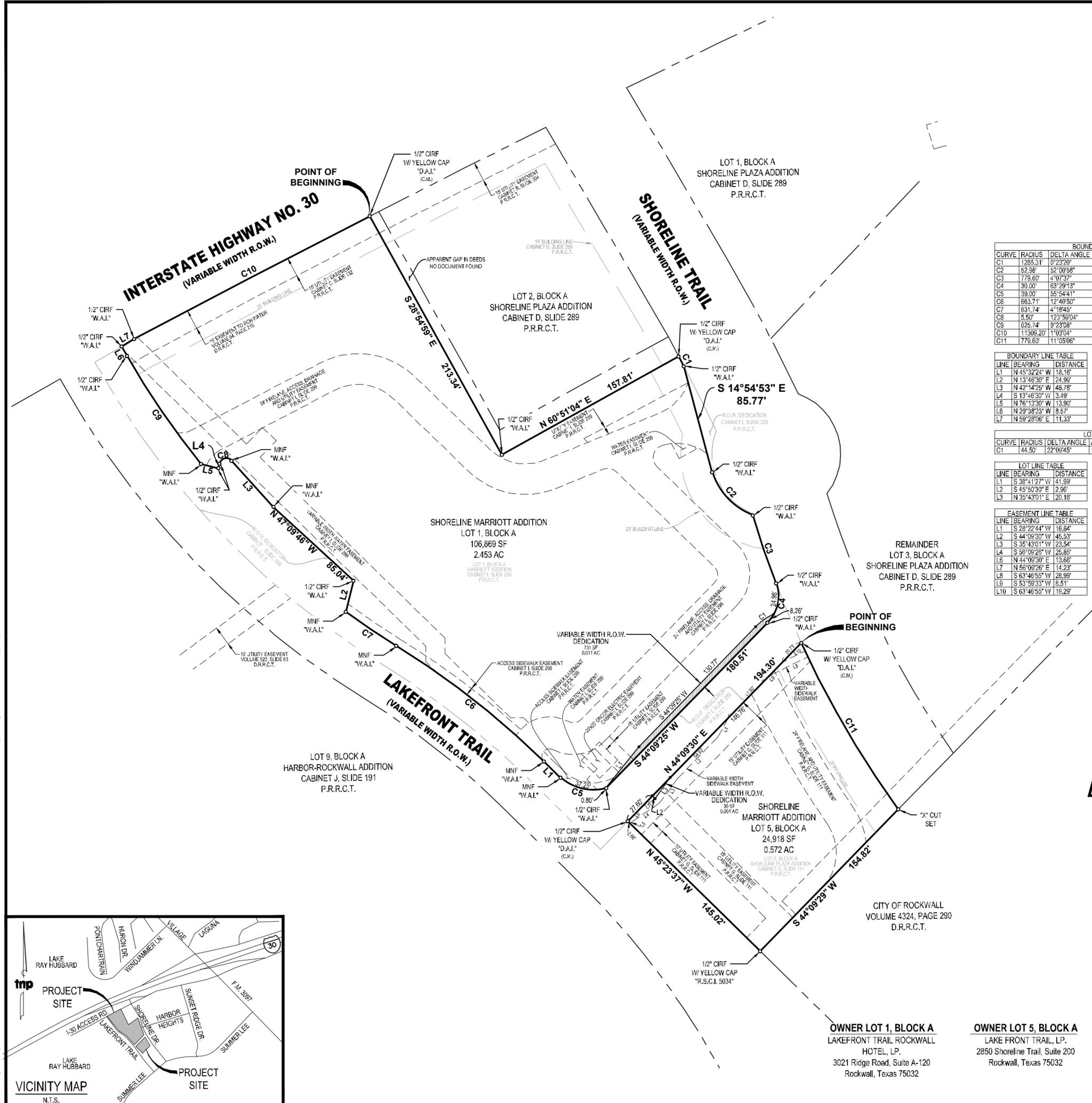
Project No.: TEK 20059
Date: February 14, 2020
Drawn By: JM
Scale: 1"=50'
SHEET 1 of 2



SURVEYOR

TEAGUE LALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnpinc.com

CASE NO. P2020-



Drawing: L:\Projects\TEK 20059\Manicott Addition\Acad\Deliverables\Repl\Plat2020 02 14 TEK 20059 Manicott Addition Repl.dwg at Feb 17, 2020 3:42pm by tnmadox



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Cameron Slown; *Teague, Nall and Perkins, Inc.*
CASE NUMBER: P2020-014.; *Lot 2, Block B, Harbor District Addition*

SUMMARY

Consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Dan Bobst of 101 Hubbard Dr., LLC for the approval of a Replat for Lot 2, Block B, Harbor District Addition being a 2.893-acre tract of land identified as Lot 1, Block B, Harbor District, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat for a 2.893-acre parcel of land (*i.e. Lot 2, Block B, Harbor District Addition*) for purpose of abandoning a water easement in the southeast quadrant of the lot, and to establish the necessary easements (*i.e. 24-foot firelane, detention, drainage, and utility easements*) for the construction of a restaurant and retail development within the *Hillside Sub-District* of Planned Development District 32 (PD-32).
- ☑ On February 17, 2003, the City Council approved a zoning change for the subject property from an Agricultural (AG) District to a General Retail (GR) District by Ordinance No. 03-08 [*Case No. PZ2002-095-01*]. This designation was changed to Planned Development District 32 (PD-32) on September 20, 2010 by *Ordinance No. 10-21*, which established a concept plan and development standards for PD-32. On November 17, 2014, the City Council adopted *Ordinance No. 14-51*, which contained a PD Development Plan with waivers for the subject property. On July 1, 2019, the City Council approved *Ordinance No. 19-25*, which amended the PD Development Plan by including additional buildings and a central green space for the subject property. On September 10, 2019, the Planning and Zoning Commission approved a site plan [*i.e. SP2019-037*] and associated variances for the restaurant and retail center proposed for the subject property.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 2, Block B, Harbor District Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) The Parks and Recreation Board shall review the private park/open space amenity package and make recommendations in conjunction with the approval of the final plat; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2020-014	Owner DAN BOBST	Applied 3/20/2020 AG
Project Name Lot 2, Block B, Harbor District Addition	Applicant CAMERON SLOWN	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status Staff Review		Status

Site Address 2620 SUNSET RIDGE	City, State Zip ROCKWALL, TX 75032	Zoning
--	--	---------------

Subdivision SHORELINE PLAZA ADDITION	Tract 1	Block B	Lot No 1	Parcel No 3812-000B-0001-00-0R	General Plan
--	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING (3/26/2020 2:18 PM SJ) M - Remove the comment "By this plat" for all easements being established.	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	Remove "by this plat"
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
GIS	Lance Singleton	3/20/2020	3/27/2020				
PLANNING	David Gonzales	3/20/2020	3/27/2020	3/30/2020	10	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(3/30/2020 4:31 PM DG)						
P2020-014; Replat for Lot 2 Block B, Harbor District Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Replat for Lot2, Block B, Harbor District Addition being a 2.893-acre tract of land identified as Lot 1, Block B, Harbor District, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH30 Frontage Road						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (P2020-014) in the lower right-hand corner of all pages of all revised plan submittals. [\$01.02(D), Art. 11, UDC]						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), Planned Development District No. 32 (PD-32), the IH-30 Overlay (IH-30 OV) District and the General Commercial District Standards of Article V, that are applicable to the subject property.						
M. 5 Label the building setback lines where adjacent to a street. [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.6 Label the right-of-way width and street centerline for each street both within and adjacent to the development [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.7 Indicate all existing and proposed corner clips and any subsequent dedication [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.8 Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page [Chapter 38, Subdivision Regulations, MunicipalCode of Ordinances]						
I.9 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies						
I.10 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested						
M.11 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing						
I.12 The Planning and Zoning Work Meeting will be held on April 14, 2020.						
I.13 The City Council meeting for this case is scheduled to be held on April 20, 2020.						
I.14 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-014

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹ (300+20*2.893=\$357.86)
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **2620 SUNSET RIDGE DRIVE**

Subdivision **HARBOR DISTRICT ADDITION** Lot **1** Block **B**

General Location **AT THE NORTHWEST CORNER OF SUNSET RIDGE AND HARBOR HEIGHTS DRIVE**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-32	Current Use	NONE
Proposed Zoning	PD-32	Proposed Use	RESTAURANT AND RETAIL
Acreage	2.893	Lots [Current]	1
		Lots [Proposed]	1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	101 HUBBARD DR, LLC	<input checked="" type="checkbox"/> Applicant	TEAGUE, NALL AND PERKINS, INC.
Contact Person	DAN BOBST	Contact Person	CAMERON SLOWN
Address	2701 SUNSET RIDGE DR SUITE 610	Address	825 WATTERS CREEK BLVD. SUITE M300
City, State & Zip	ROCKWALL, TX 75032	City, State & Zip	ALLEN, TX 75013
Phone		Phone	817-889-5050
E-Mail	DWBOBST@TRENDHR.COM	E-Mail	CSLOWN@TNPINC.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared D.W. Bobst [Owner] the undersigned, who stated the information on this application to be true and certified the following:

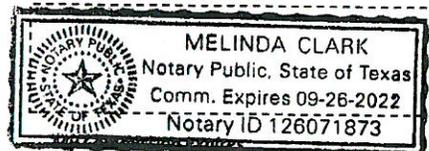
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 357.86, to cover the cost of this application, has been paid to the City of Rockwall on this the 18 day of March, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

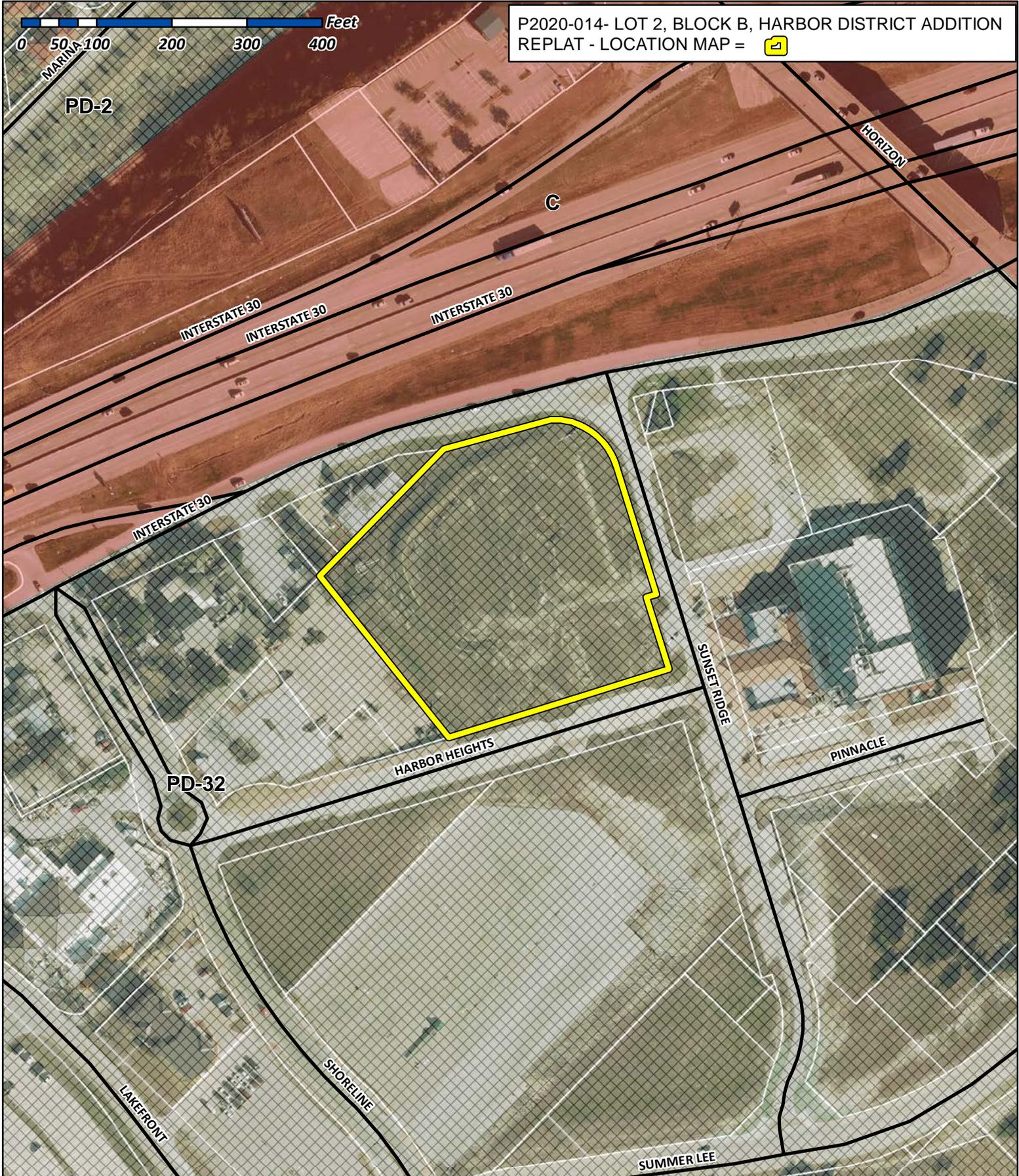
Given under my hand and seal of office on this the 18 day of March, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

D.W. Bobst
Melinda Clark





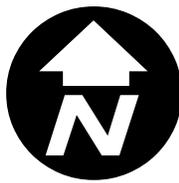
P2020-014- LOT 2, BLOCK B, HARBOR DISTRICT ADDITION
 REPLAT - LOCATION MAP = [pin icon]

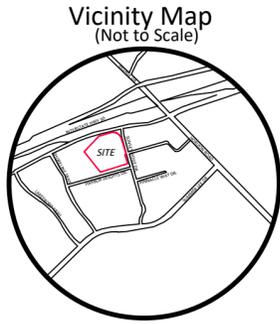
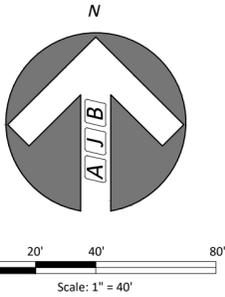


City of Rockwall

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GENERAL NOTES:

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefor issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

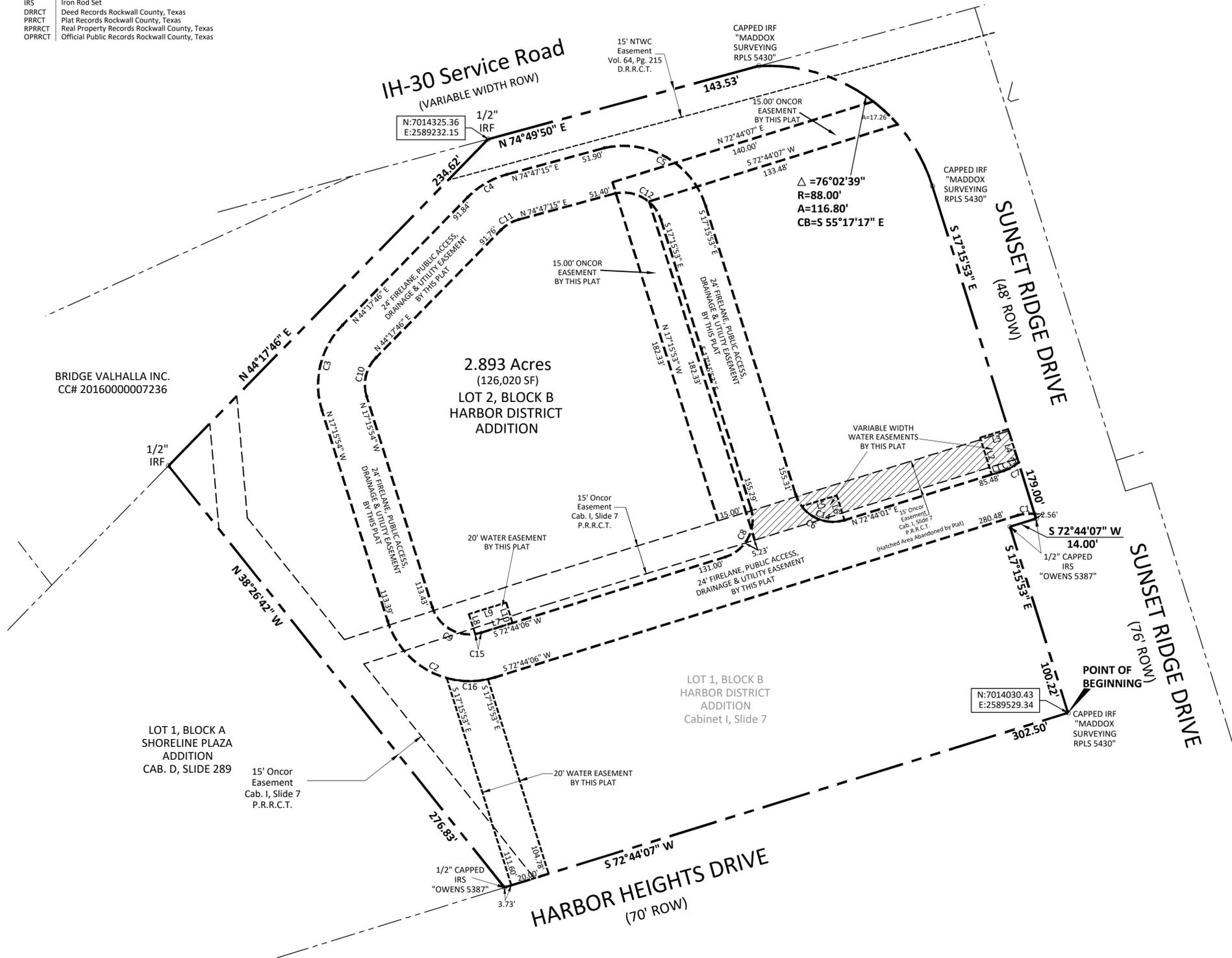
The use of the word "certify or certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

Basis of Bearings: Bearings are based on those cited on plat of Lot 1, Block B, Harbor District Addition recorded in Cabinet I, Slide 7, Map/Plat Records Rockwall County, Texas.

FLOOD STATEMENT: According to Community Panel No. 48397C040L, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

LEGEND

IRF	Iron Rod Found
IRS	Iron Rod Set
DRRCT	Deed Records Rockwall County, Texas
PRRCT	Plat Records Rockwall County, Texas
RPRRCT	Real Property Records Rockwall County, Texas
OPRRCT	Official Public Records Rockwall County, Texas



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING
C1	24°30'47"	20.50'	8.77'	N 84°59'31" E
C2	90°00'00"	44.00'	69.12'	S 62°15'54" E
C3	61°33'41"	44.00'	47.28'	N 13°30'56" E
C4	30°29'28"	44.00'	23.42'	S 59°32'30" W
C5	85°35'41"	44.12'	65.92'	N 60°09'17" W
C6	90°00'06"	20.00'	31.42'	N 62°15'56" W
C7	25°08'57"	20.50'	9.00'	S 60°09'31" W
C8	89°59'59"	20.00'	31.42'	N 27°44'06" E
C9	90°00'00"	20.00'	31.42'	N 62°15'54" W
C10	61°33'41"	20.00'	21.49'	N 13°30'56" E
C11	30°29'28"	20.00'	10.64'	S 59°32'30" W
C12	84°27'48"	20.12'	29.67'	S 59°38'01" E

LINE	BEARING	DISTANCE
L1	S 72°44'07" W	6.49'
L2	S 17°15'53" E	19.83'
L3	S 72°44'07" W	15.00'
L4	S 17°15'53" E	17.98'
L5	S 72°44'08" W	18.84'
L6	S 17°15'53" E	13.29'
L7	S 72°40'40" W	16.87'
L8	N 17°21'42" W	10.76'
L9	S 72°44'07" W	20.00'
L10	N 17°21'42" W	10.99'

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING
C13	24°30'43"	20.50'	8.77'	N 60°28'40" E
C14	70°23'08"	20.00'	24.57'	S 72°04'25" E
C15	9°00'58"	20.00'	3.15'	N 77°14'36" E
C16	27°47'08"	44.00'	21.34'	S 88°26'49" E

Case No.: P _____

**FINAL PLAT
HARBOR DISTRICT ADDITION
LOT 2, BLOCK B**

1 LOT TOTALING 2.893 ACRES
BEING A REPLAT OF A LOT 1, BLOCK B OF HARBOR DISTRICT ADDITION
2.893 ACRES (126,020 SQUARE FEET)
M.J. BARKSDALE SURVEY, ABSTRACT NO. 11
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner:
101 HUBBARD DR LLC
2701 Sunset Ridge Dr.
Suite 610
Rockwall, TX 75082

Engineer:
TNP
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
972-461-9867
cslown@tnpinc.com

Scale: 1" = 40'	Checked By: F.R. Owens
Date: February 6, 2020	P.C.: Cryer/Spradling
Technician: Bedford/Spradling	File: HARBOR LOT 2 BLK B
Drawn By: Bedford/Spradling	Job No. 400-022
	GF No.

301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225, www.ajbedfordgroup.com, ajb@ajbedfordgroup.com

Sheet:
1
Of: 2



TBPLS REG#10118200

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS 101 HUBBARD DRIVE LLC, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, said tract being described as follows:

BEING a 2.893 acre tract of land situated in the M.J. Barksdale Survey, Abstract No. 2, in the City of Rockwall, Rockwall County, Texas and being Lot 1, Block B of Harbor District Addition according to the plat recorded in Cabinet I, Slide 7 of the Official Public Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a capped iron rod "MADDOX SURVEYING RPLS 5430" found for corner and being at the intersection of Sunset Ridge Drive (76' ROW) and Harbor Heights Drive (70' ROW);

THENCE along the north line of said Harbor Heights Drive, **SOUTH 72°44'07" WEST** a distance of **302.50** feet to a ½ inch iron rod "OWENS 5387" set for corner and being the most southerly southeast corner of Lot 1, Block A, Shoreline Plaza Addition as recorded in Cabinet D, Slide 289 of the Official Public Records, Rockwall County, Texas;

THENCE along the common line of said Lot 1, Block A & Lot 1, Block B, **NORTH 38°26'42" WEST** a distance of **276.83** feet to a ½ inch iron rod found for corner and being located in the southeast line of a tract of land to Bridge Valhalla Inc. per deed recorded in CC# 2016000007236, Official Public Records, Rockwall County, Texas;

THENCE along the southeast line of Bridge Valhalla tract, **NORTH 44°17'46" EAST** a distance of **234.62** feet to a ½ inch iron rod found for corner and being located in the south line of IH-30 Service Road (Variable Width ROW);

THENCE along the south line of said IH-30 Service Road, **NORTH 74°49'50" EAST** a distance of **143.53** feet to a capped iron rod "MADDOX SURVEYING RPLS 5430" found for corner at the beginning of a curve to the right with a radius of 88.00 feet and a chord bearing of South 55°17'17" East;

ALONG said curve to the right through a central angle of **76°02'39"** for an arch length of **116.80** feet to a capped iron rod "MADDOX SURVEYING RPLS 5430" found for corner located in the southwest line of said Sunset Ridge Drive;

THENCE along southwest line of said Sunset Ridge Drive as follows:

SOUTH 17°15'53" EAST a distance of **179.00** feet to a ½ inch capped iron rod "OWENS 5387" set for corner;

SOUTH 72°44'07" WEST a distance of **14.00** feet to a ½ inch capped iron rod "OWENS 5387" set for corner;

SOUTH 17°15'53" EAST a distance of **100.22** feet to the **POINT OF BEGINNING**;

CONTAINING within these metes and bounds **2.893 acres** or 126,020 square feet of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

We, **101 HUBBARD DRIVE LLC**, the undersigned owner of the land shown on this plat, and designated herein as the **HARBOR DISTRICT ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **HARBOR DISTRICT ADDITION** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Property owner shall be responsible for all maintenance, repair, and replacement of all drainage and detention easements.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

101 HUBBARD DRIVE LLC

Name: _____
Title: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2020

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Frank R. Owens, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Frank R. Owens
Registered Professional Land Surveyor No. 5387
A.J. Bedford Group, Inc.
301 North Alamo Road
Rockwall, Texas 75087

Case No.: P _____

**FINAL PLAT
HARBOR DISTRICT ADDITION
LOT 2, BLOCK B**

1 LOT TOTALING 2.893 ACRES
BEING A REPLAT OF A LOT 1, BLOCK B OF HARBOR DISTRICT ADDITION
2.893 ACRES (126,020 SQUARE FEET)
M.J. BARKSDALE SURVEY, ABSTRACT NO. 11
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner: 101 HUBBARD DR LLC
2701 Sunset Ridge Dr.
Suite 610
Rockwall, TX 75032
Engineer: TNP
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
972-461-9867
cslown@tncpl.com

Scale: 1" = 40'	Checked By: F.R. Owens
Date: February 6, 2020	P.C.: Cryer/Spradling
Technician: Bedford/Spradling	File: HARBOR LOT 2 BLK B
Drawn By: Bedford/Spradling	Job No. 400-022
	GF No.

301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225, www.ajbedfordgroup.com, ajb@ajbedfordgroup.com

Sheet:
2
Of: 2



RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

Mayor, City of Rockwall City Secretary City Engineer



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Brian Wade; *Raymond L. Goodson Jr., Inc.*
CASE NUMBER: P2020-015.; *Lot 24, Block A, Presbyterian Hospital of Rockwall Addition*

SUMMARY

Consider a request by Brian Wade of Raymond L. Goodson Jr., Inc. on behalf of Jason Linscott of Rockwall Regional Hospital, LLC for the approval of a Replat for Lot 24, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre tract of land identified as Lots 6, 8, 9, 12 & 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [*FM-309*], and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 23.0927-acre tract of land for purpose of combining five (5) lots (*i.e. Lots 6, 8, 9, 12 & 23, Block A, Presbyterian Hospital of Rockwall Addition*) into one (1) lot (*i.e. Lot 24, Block A, Presbyterian Hospital of Rockwall Addition*) for the existing Presbyterian Hospital complex. The replat will also abandon and dedicate certain easements required for the construction and expansion of the hospital complex.
- On November 12, 1973, the City Council approved a zoning change [*i.e. Ordinance No. 73-49*] from Agricultural (AG) District to Planned Development District 9 (PD-9) for single-family, multi-family, and shopping center uses. On June 16, 1986, the City Council approved an amendment to the Preliminary Plan for PD-9 via *Ordinance No. 86-55* by repealing *Ordinance No. 73-49*, and establishing zoning for single-family, office-warehouse, and general retail land uses. In October 2010, a plat was filed for the subject property creating *Lots 1-14, Block A, Presbyterian Hospital Addition*. This property has been replatted several times since the original filing of this plat. On June 17, 2017, the Planning and Zoning Commission approved an amended site plan [*i.e. Case No. SP2017-017*] for the purpose of constructing a 5,600 SF expansion to the hospital. On January 14, 2020, the Planning and Zoning Commission approved an amended site plan [*i.e. SP2019-057*] for the purpose of constructing a ~84,000 SF expansion to the existing hospital for the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 24, Block A, Presbyterian Hospital of Rockwall Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2020-015	Owner ROCKWALL REGIONAL HOSPITAL LLP	Applied 3/20/2020 AG
Project Name Lot 24, Block A, Presbyterian Hospital	Applicant BRIAN R WADE	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status Staff Review		Status

Site Address 3150 HORIZON	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITIO	Tract C23	Block A	Lot No 23	Parcel No 4703-000A-0023-00-0R	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING (3/26/2020 5:03 PM SJ) M - Must tie two points to Rockwall GPS. N: E: M - L12 and L14 are required to be 20' minimum. M - The two drainage easements on the "parking lot phase 1" are to remain in place. The parking lot will not be effected by these easements. See markup	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	See markup
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
GIS	Lance Singleton	3/20/2020	3/27/2020				
PLANNING	David Gonzales	3/20/2020	3/27/2020	3/30/2020	10	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(3/30/2020 4:32 PM DG)						
P2020-015; Replat for Lot 24 Block A, Presbyterian Hospital of Rockwall Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Replat for Lot24, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre tract of land identified as Lots 6, 8, 9, 12 & 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097].						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (P2020-015) in the lower right-hand corner of all pages of all revised plan submittals(i.e. site plan and landscape plan).						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), Planned Development District No. 9 (PD-9), and the General Commercial District Standards of Article V, that are applicable to the subject property.						
M. 5 Label the building setback lines where adjacent to a street. [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.6 Label the right-of-way width and street centerline for each street both within and adjacent to the development [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.7 Indicate all existing and proposed corner clips and any subsequent dedication [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
M.8 Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]						
I.9Correct all Lot, Block, Addition labels by moving the Sq. Ft. & Acres statements below the Lot, Block, Addition:						
Example: Lot 24, Block A Presbyterian Addition of Rockwall Addition 1,005,917 SQ. FT., 23.0927 Acres						
I.10 The standard plat wording found on page2 needs to be moved to page 7 for standard uniformity of the plat						
I.11 Correct the plat approval signature page. The two (2) statements under "Approved:" need to be adjusted by extending each written line and clearing the blank spaces that are apparent. Additionally, where the WITNESS OUR HANDS line is, remove the brackets (i.e. [day], [month], & [year]) and replaced with blank lines.						
I.12 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies						
I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested						
M.14 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing</p> <p>I.15 The Planning and Zoning Work Meeting will be held on April 14, 2020.</p> <p>I.16 The City Council meeting for this case is scheduled to be held on April 20, 2020.</p> <p>I.17 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.</p>						

MATCHLINE SHEET 2

MATCHLINE SHEET 5

1,005,917 SQ. FT.,
23.0927 ACRES
LOT 24, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION

822,037 SQ. FT., 18.8714 ACRES
LOT 23, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
CAB. J, SLIDE 325
M.R.R.C.T.

36,949 SQ. FT.,
8.848 ACRES
LOT 12, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
CAB. G, SLIDE 43
M.R.R.C.T.

LOT 9, BLOCK A
HORIZON RIDGE CENTER
CAB. E, SL. 149
M.R.R.C.T.

SUMMER LEE DRIVE
(A 60' RIGHT-OF-WAY)

FINAL PLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOT 24, BLOCK A
BEING A REPLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOTS 6, 8, 9, 12 & 23, BLOCK A
TOTAL 23.0927 ACRES
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

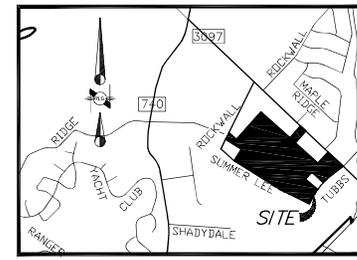
SCALE: 1" = 40'

DATE: 03-19-2020

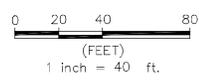
SURVEYOR:
RAYMOND L. GOODSON JR., INC.
1801 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rjg@rlginc.com
TX PR REG #P-483
TBPLS REG #100341-00

OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z
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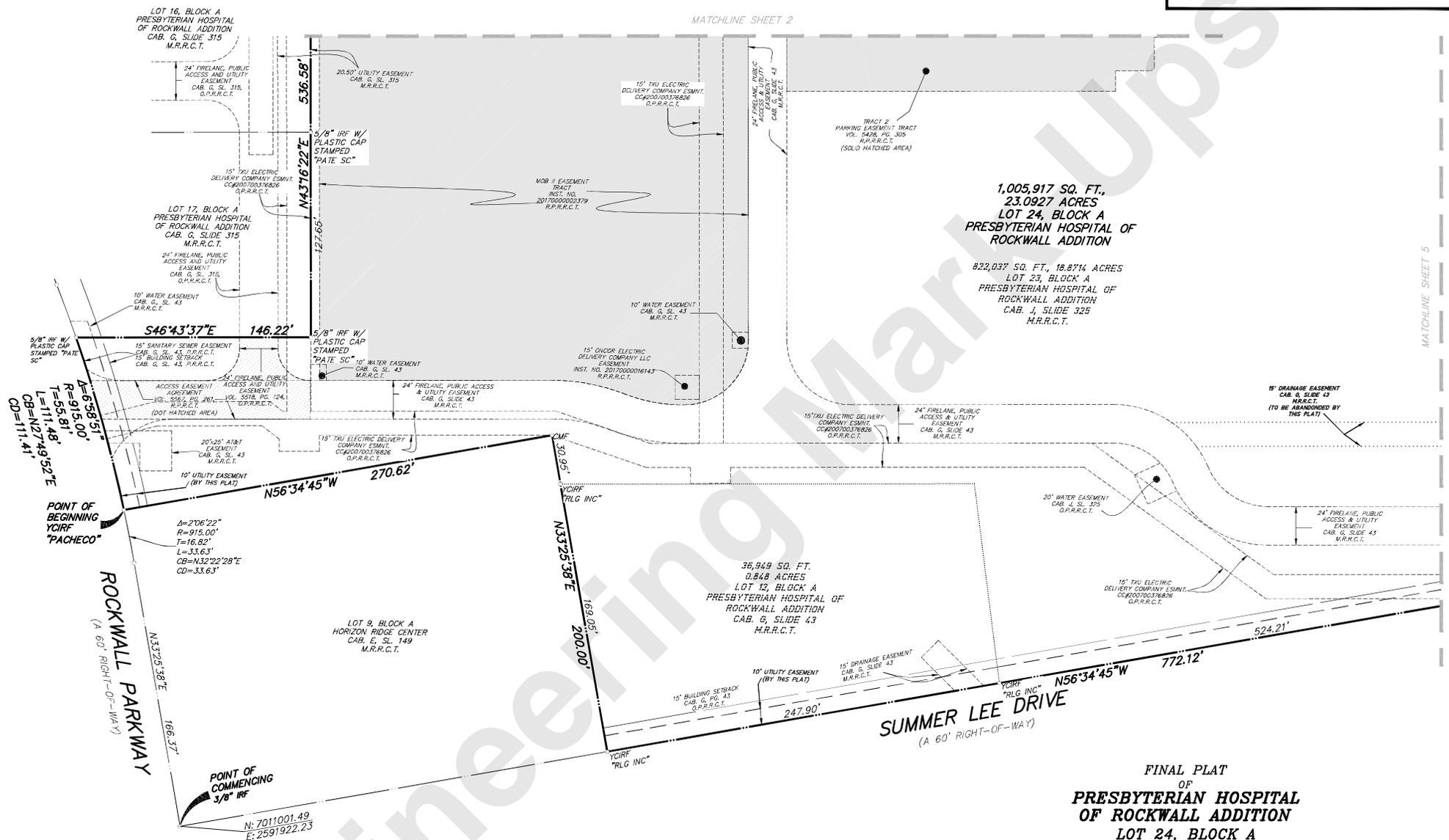


VICINITY MAP
NOT TO SCALE



LEGEND

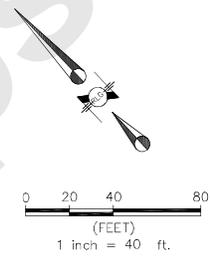
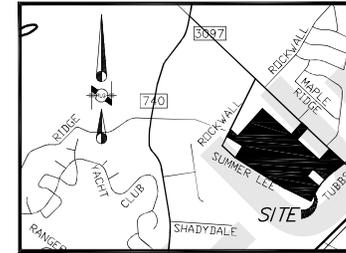
- PROPERTY LINE
- EASEMENT LINE
- YCRF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED " " FOUND
- IRF IRON ROD FOUND
- CMS / CMF CHISELED "X" SET / FOUND
- (CM) CONTROLLING MONUMENT
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- NO. VOLUME
- PG. PAGE
- CMR CABINET
- SL. SLIDE



Must tie
two points
to Rockwall
GPS. N: E: 101.57'

HORIZON ROAD
(F.M. ROAD NO. 3097)
(A VARIABLE WIDTH RIGHT-OF-WAY)

15' SANITARY SEWER EASEMENT
(FOR WASTEWATER IMPROVEMENTS
PLANS BY HUIIT-YOLLAHS, INC.
DATED 4/15/2000)
PER CAB. G. PG. 43, O.P.R.R.C.T.



N: 70°15'45.99"
E: 259°52'1.05"

S45°37'11"E
307.79'

N43°16'22"E
215.03'

186.78'

To remain

To remain

$\Delta=1079^{\circ}56''$
 $R=1042.50'$
 $T=94.25'$
 $L=187.99'$
 $CB=S49^{\circ}25'46''W$
 $CD=187.74'$

TUBBS ROAD
(AN 80' RIGHT-OF-WAY)

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- 1/2" IRP 1/2" IRON ROD WITH YELLOW PLASTIC
- CMF STAMPED "....." FOUND
- IRP IRON ROD FOUND
- ONS / CMF CHISELED "X" SET / FOUND
- CMF CONTROLLING MONUMENT
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TX
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- G.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- Vol. VOLUME
- PL. PAGE
- CAB. CABINET
- Sl. SLIDE

FINAL PLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 24, BLOCK A
BEING A REPLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOTS 6, 8, 9, 12 & 23, BLOCK A
TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SCALE: 1" = 40' DATE: 03-19-2020

OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
1801 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-9100
rjg@rlginc.com
TX PR REG #P-483
TBPLS REG #100341-00

RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z
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MATCHLINE SHEET 4

MATCHLINE SHEET 5

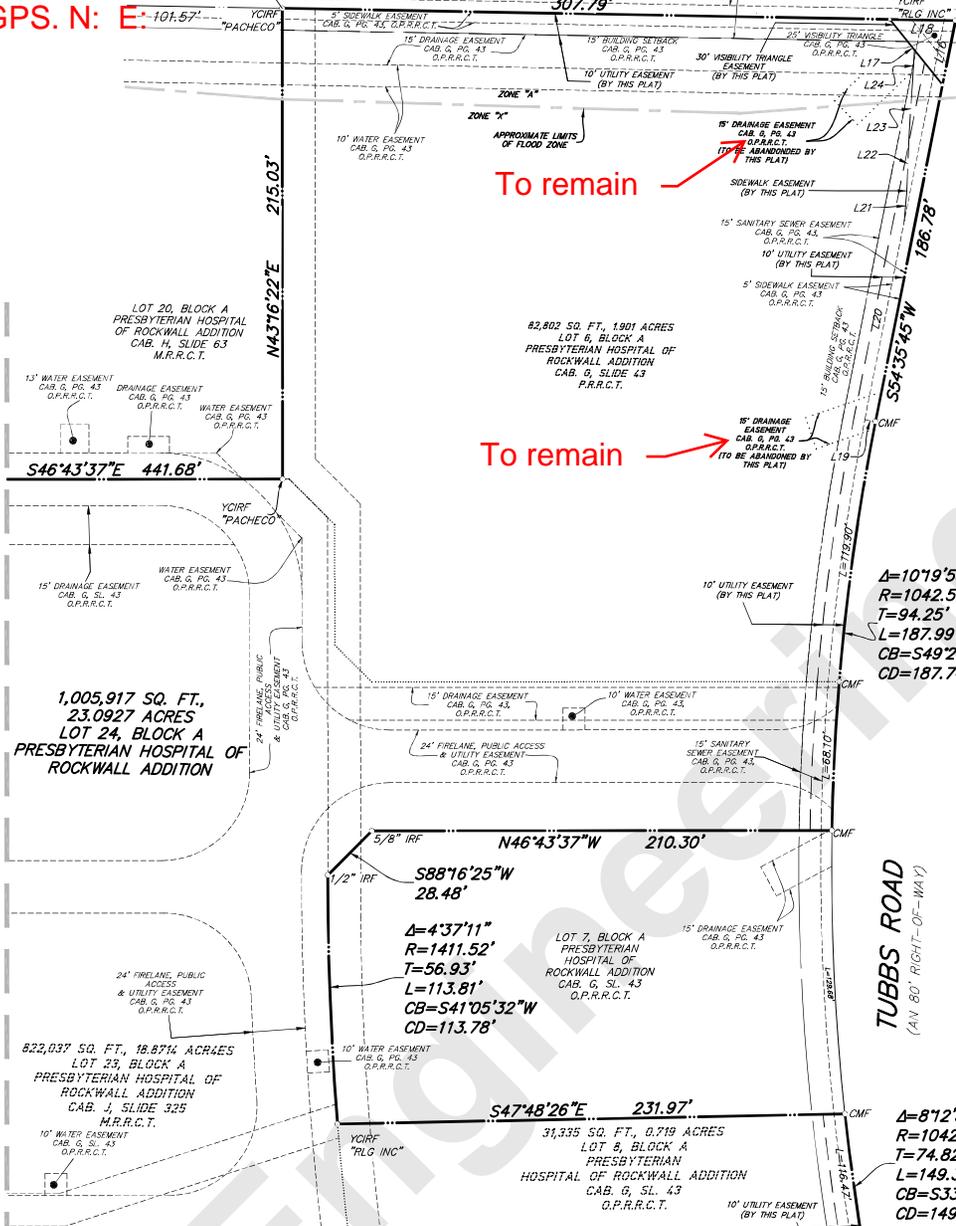
LOT 20, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
CAB. H, SLIDE 63
M.R.R.C.T.

82,802 SQ. FT., 1.901 ACRES
LOT 6, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
CAB. G, SLIDE 43
P.R.R.C.T.

1,005,917 SQ. FT.,
23.0927 ACRES
LOT 24, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION

822,037 SQ. FT., 18.87% ACRES
LOT 23, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
CAB. J, SLIDE 325
M.R.R.C.T.

31,335 SQ. FT., 0.719 ACRES
LOT 8, BLOCK A
PRESBYTERIAN
HOSPITAL OF ROCKWALL ADDITION
CAB. G, SL. 43
O.P.R.R.C.T.

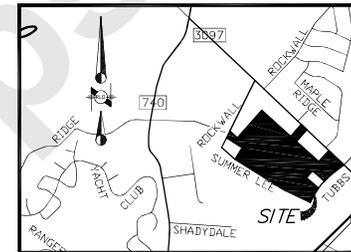


LINE	BEARING	LENGTH
L1	S62°45'02"E	124.79'
L2	N27°49'15"E	6.50'
L3	N46°43'37"W	116.17'
L4	S43°16'23"W	3.75'
L5	N56°34'45"W	10.13'
L6	N33°25'12"E	24.00'
L7	S56°34'45"E	10.13'
L8	N43°16'23"E	3.75'
L9	S43°16'23"W	24.00'
L10	N62°45'02"W	230.44'

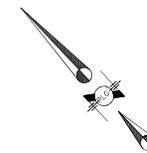
LINE	BEARING	LENGTH
L11	S56°49'20"E	15.00'
L12	N57°03'45"W	15.01'
L13	S47°48'26"E	65.69'
L14	S42°11'34"W	15.00' 20'
L15	N47°48'26"W	63.93'
L16	S54°35'45"W	30.00'
L17	N04°29'17"E	38.48'
L18	N45°37'11"W	30.00'
L19	N35°24'15"W	5.00'
L20	N54°35'45"E	92.57'

LINE	BEARING	LENGTH
L21	N47°47'30"E	13.67'
L22	N45°44'03"E	24.98'
L23	N47°00'12"E	25.10'
L24	N46°53'43"E	14.34'
L25	N62°45'02"W	30.00'
L26	N73°05'16"E	43.04'
L27	N28°55'34"E	30.00'

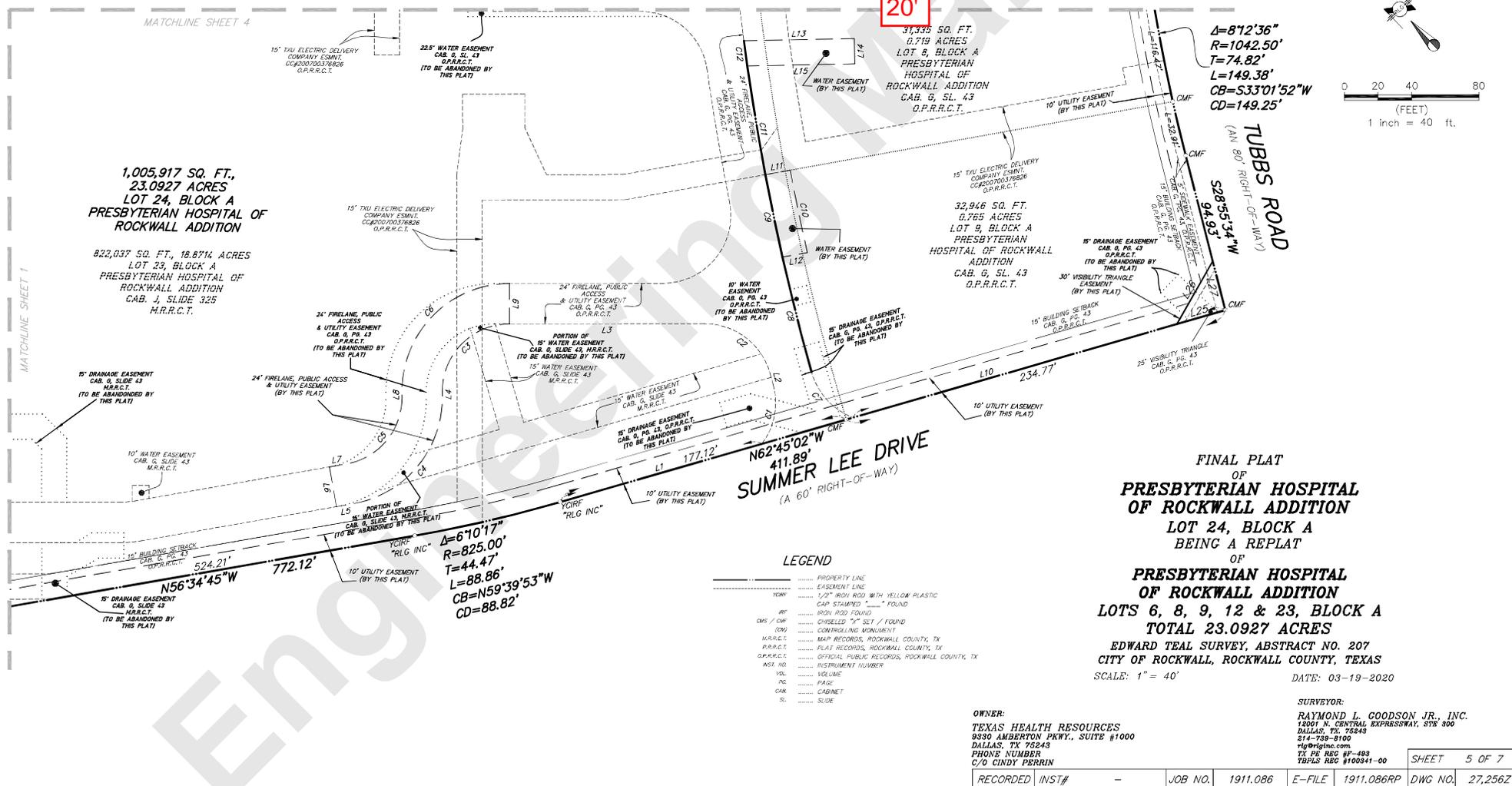
CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CH. BRG.	CHORD
C1	52°54'51"	40.50'	20.15'	37.40'	N54°08'57"E	36.09'
C2	74°40'36"	40.50'	30.90'	52.79'	N09°23'20"W	49.13'
C3	90°00'00"	40.00'	40.00'	62.83'	S88°16'23"W	56.57'
C4	80°08'52"	64.00'	53.84'	89.53'	S83°20'49"W	82.40'
C5	80°08'52"	40.00'	33.65'	55.95'	N83°20'49"E	51.50'
C6	90°00'00"	64.00'	64.00'	100.53'	N88°16'23"E	90.51'
C7	53°49'59"	40.50'	20.56'	38.05'	N00°48'33"E	36.67'
C8	2°50'11"	1423.52'	35.24'	70.47'	N29°08'38"E	70.46'
C9	2°00'57"	1423.52'	25.05'	50.09'	N31°34'12"E	50.08'
C10	2°02'05"	1408.52'	25.01'	50.02'	S31°33'15"W	50.02'
C11	2°38'08"	1423.52'	32.75'	65.48'	N33°53'45"E	65.48'
C12	0°36'28"	1423.52'	7.55'	15.10' 20'	N35°31'03"E	15.10'



VICINITY MAP
NOT TO SCALE



0 20 40 80
(FEET)
1 inch = 40 ft.



STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas **Rockwall Regional Hospital, LLC**, is the sole owner of a tract of land situated in the Edward Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, as described in Deed of Trust to Rockwall Regional Hospital, LLC, recorded in Instrument Number 2019000019597, Official Public Records, Rockwall County, Texas, and being all of Lots 6, 8, 9, and 12, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded Cabinet G, Slide 43, Plat Records, Rockwall County, Texas, and all of Lot 23, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in 2018000008518, Official Public Records, Rockwall County, Texas and being more particularly described as follows:

COMMENCING at a 3/8" iron rod found at the intersection of the northerly right-of-way line of Summer Lee Drive (a 60' right-of-way) and the easterly right-of-way line of Rockwall Parkway (a 60' right-of-way) being the west corner of Lot 9, Block A, Horizon Ridge Center Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet E, Slide 149, Map Records, Rockwall County, Texas;

THENCE along the easterly right-of-way line of said Rockwall Parkway the following courses and distances:

North 33° 25' 38" East, along the north line of said Lot 9, a distance of 166.37 feet to a point for the beginning of a tangent curve to the left;

In a northerly direction along said curve to the left whose chord bears North 32° 22' 28" East a distance of 33.63 feet, having a radius of 915.00 feet, having a central angle of 02° 06' 22" and an arc length of 33.63 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found for the north corner of said Lot 9 and the most southerly west corner of said Lot 23 for the **POINT OF BEGINNING**, and continuing on said curve to the left;

In a northerly direction along said curve to the left whose chord bears North 27° 49' 52" East a distance of 111.41 feet, having a radius of 915.00 feet, a central angle of 06° 58' 51" and an arc length of 111.48 feet to a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the most northerly west corner of said Lot 23 and the west corner of Lot 17, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet G, Slide 315, Map Records, Rockwall County, Texas;

THENCE departing the easterly right-of-way line of said Rockwall Parkway and along the northerly line of said Lot 23, the following courses and distances:

South 46° 43' 37" East, along the southwesterly line of said Lot 17, a distance of 146.22 feet to a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the south corner of said Lot 17 and a northwesterly corner of said Lot 23;

North 43° 16' 22" East, along the southeasterly line of said Lot 17, passing at a distance of 127.65 feet a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the east corner of said Lot 17 and the south corner of Lot 16, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 315), continuing along the southeasterly line of said Lot 16 passing at a distance of 154.96 a 1/2" iron rod with red plastic cap stamped "RPLS 48" found for the east corner of said Lot 16 and the south corner of Lot 19, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 315), continuing along the southeasterly line of said Lot 15 for a total distance of 536.58 feet to a chiseled "X" in concrete found for the most easterly east corner of said Lot 19, the north corner of said Lot 23, and on the southwest line of Lot 18, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat recorded in Cabinet G, Slide 297, Map Records, Rockwall County, Texas;

South 46° 43' 37" East, along the southwesterly line of said Lot 18, passing a chiseled "X" in concrete found at a distance of 220.15 feet for the south corner of said Lot 18 and the west corner of Lot 21, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet I, Slide 87, Map Records, Rockwall County, Texas, continuing along the southwesterly line of said Lot 21 to a chiseled "X" in concrete found for a total distance of 566.96 feet for the south corner of said Lot 21 and the most westerly northeast corner of said Lot 23;

North 43° 16' 22" East, along the southeasterly line of said Lot 21, a distance of 233.23 feet to a 1/2" iron rod found for the east corner of said Lot 21 and the most northerly northeast corner of said Lot 23 and being on the southwesterly right-of-way line of Horizon Road (a variable width right-of-way);

THENCE South 45° 47' 10" East, along the southwesterly right-of-way line of said Horizon Road, a distance of 112.02 feet to an Aluminum Disk Found stamped "TXDOT" found for the most easterly northeast corner of said Lot 23 and the north corner of Lot 20, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet H, Slide 63, Map Records, Rockwall County, Texas;

THENCE along the common line between said Lot 23 and said Lot 20, the following courses and distances:

South 43° 16' 22" West, a distance of 231.39 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the most southerly northeast corner of said Lot 23 and the west corner of said Lot 20;

South 46° 43' 37" East, a distance of 441.68 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found for the south corner of said Lot 20, an easterly corner of said Lot 23 and a westerly corner of Lot 6, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet G, Slide 43, Plat Records, Rockwall County, Texas, continuing along the westerly line of said Lot 6 for a total distance of 444.69 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for an easterly corner of said Lot 23 and a westerly corner of said Lot 6;

THENCE North 43° 16' 22" East, along the common line between said Lot 6 and said Lot 20, a distance of 215.03 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found on the southwesterly line of said Horizon Road, for the east corner of said Lot 20 and the north corner of said Lot 6;

THENCE South 45° 37' 11" East, along the southwesterly right-of-way line of said Horizon Road, a distance of 307.79 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found at the intersection of the southwesterly right-of-way line of said Horizon Road and the northerly right-of-way of Tubbs Road (an 80-foot right-of-way), for the east corner of said Lot 6,

THENCE along the northerly right-of-way of said Tubbs Road, the following courses and distances:

South 54° 35' 45" West, a distance of 186.78 feet to a chiseled "X" in concrete found on the southeasterly line of said Lot 6, and the beginning of a tangent curve to the left;

In a southwesterly direction along said curve to the left whose chord bears South 49° 25' 46" West a distance of 187.74 feet, having a radius of 1042.50, a central angle of 10° 19' 56", passing a chiseled "X" in concrete found at an arc length of 119.90 feet, continuing along said curve to a chiseled "X" in concrete found for a total arc length of 187.99 feet, for an easterly corner of Lot 23 and the east corner of Lot 7, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 43);

THENCE departing the northerly right-of-way line of said Tubbs Road and along a southeasterly line of said Lot 23, the following courses and distances:

North 46° 43' 37" West, along the northeasterly line of said Lot 7, a distance of 210.30 feet to a 5/8" iron rod found for corner;

South 88° 16' 25" West, along the north line of said Lot 7, a distance of 28.48 feet to a 1/2" iron rod found for corner, and the beginning of a non-tangent curve to the left;

In a southwesterly direction along the northwesterly line of said Lot 7 and said curve to the left whose chord bears South 41° 05' 32" West a distance of 113.78 feet, having a radius of 1411.52 feet, a central angle of 04° 17' 11", and an arc length of 113.81 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for a southeasterly corner of said Lot 23 and the west corner of said Lot 7 and the north corner of Lot 8, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 43);

THENCE South 47° 48' 26" East, along the common line between said Lot 7 and said Lot 8, a distance of 231.97 feet to a chiseled "X" in concrete found on the northerly right-of-way line of said Tubbs Road, for the east corner of said Lot 8 and the south corner of said Lot 7, and continuing on a non-tangent curve to the left;

THENCE along the northerly right-of-way line of said Tubbs Road, the following courses and distances:

In a southwesterly direction along said curve to the left whose chord bears South 33° 01' 52" West a distance of 149.25 feet, having a radius of 1042.50 feet, a central angle of 08° 12' 36", passing at an arc length of 116.47 feet a chiseled "X" in concrete found for the south corner of said Lot 8 and the east corner of Lot 9, Block A, of said Presbyterian Hospital of Rockwall (Cabinet G, Slide 43), and continuing along said curve for a total arc length of 140.38 feet to a chiseled "X" in concrete found for a southeasterly corner of said Lot 9 and the end of said non-tangent curve to the left;

South 28° 55' 34" West, a distance of 94.93 feet to a chiseled "X" in concrete found at the intersection of the northerly right-of-way line of said Tubbs Road and the northeasterly right-of-way line of Summer Lee Drive (a 60-foot right-of-way, for the south corner of said Lot 9;

THENCE along the northeasterly right-of-way line of said Summer Lee Drive, the following courses and distances:

North 62° 45' 02" West, passing at a distance of 234.77 feet a chiseled "X" in concrete found for the west corner of said Lot 9 and a south corner of said Lot 23, continuing for a total distance of 411.89 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for corner, and the beginning of a non-tangent curve to the right;

In a northwesterly direction along said curve to the right whose chord bears North 59° 39' 53" West a distance of 88.82 feet, having a radius of 825.00 feet, a central angle of 06° 10' 17" and an arc length of 88.86 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for corner, and being the end of said curve to the right;

North 56° 34' 45" West, passing at a distance of 524.21 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the most southerly west corner of said Lot 23 and the south corner of Lot 12, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 43), continuing for a total distance of 772.12 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the west corner of said Lot 12 and the south corner of Lot 9, Block A, Horizon Ridge Center, an addition to the City of Rockwall, according to the plat recorded in Cabinet E, Slide 149, Map Records, Rockwall County, Texas;

THENCE North 33° 25' 38" East, departing the northeasterly right-of-way line of said Summer Lee Drive and along the common line between said Lot 12 and said Lot 9, Block A, Horizon Ridge Center, passing at a distance of 169.05 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the north corner of said Lot 12, a westerly corner of said Lot 23 and an easterly corner of said Lot 9, Block A, Horizon Ridge Center, continuing for a total distance of 200.00 feet to a chiseled "X" in concrete found for the east corner of said Lot 9, Block A, Horizon Ridge Center, and a westerly corner of said Lot 23;

THENCE North 56° 34' 45" West, along the common line between said Lot 23 and said Lot 9, Block A, of said Horizon Ridge Center, a distance of 270.62 feet to the **POINT OF BEGINNING**, containing 1,005,917 square feet or 23.0927 acres, more or less.

FINAL PLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 24, BLOCK A
BEING A REPLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOTS 6, 8, 9, 12 & 23, BLOCK A
TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SCALE: 1" = 40'

DATE: 03-19-2020

OWNER:
TEXAS HEALTH RESOURCES
9390 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. COODSON JR., INC.
2801 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-9100
rlog@rlg.com
TX PR REG #P-483
TBPLS REG #100341-00

RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z	SHEET	6 OF 7
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SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian R. Wade, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.
 Surveyor Signature

Registered Public Surveyor No.

STATE OF TEXAS
 COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ROCKWALL REGIONAL HOSPITAL, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this [DAY] day of [MONTH], [YEAR].

Notary Public in and for the State of Texas

My Commission Expires

Signature of Party with Mortgage or Lien interest [IF APPLICABLE:]

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Mayor, City of Rockwall

DATE

City Secretary

DATE

City Engineer

DATE

FINAL PLAT
 OF
**PRESBYTERIAN HOSPITAL
 OF ROCKWALL ADDITION**
 LOT 24, BLOCK A
 BEING A REPLAT
 OF
**PRESBYTERIAN HOSPITAL
 OF ROCKWALL ADDITION**
 LOTS 6, 8, 9, 12 & 23, BLOCK A
 TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SCALE: 1" = 40'

DATE: 03-19-2020

OWNER:
 TEXAS HEALTH RESOURCES
 9330 AMBERTON PKWY., SUITE #1000
 DALLAS, TX 75243
 PHONE NUMBER
 C/O CINDY PERRIN

SURVEYOR:
 RAYMOND L. GOODSON JR., INC.
 18061 N. CENTRAL EXPRESSWAY, STE 300
 DALLAS, TX 75243
 214-739-9100
 rlg@rlginc.com
 TX PE REG #P-483
 TBPLS REG #100341-00

RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z	SHEET	7 OF 7
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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3150 Horizon Road, Rockwall, TX 75032

Subdivision Presbyterian Hospital of Rockwall Addition

Lot 24 Block A

General Location Horizon Road @ Tubbs Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-9

Current Use Hospital

Proposed Zoning PD-9

Proposed Use Hospital

Acreage 23.0927 acres

Lots [Current] 5

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Rockwall Regional Hospital, LLC

Applicant Raymond L. Goodson Jr., Inc.

Contact Person Jason Linscott

Contact Person Brian R. Wade

Address 3150 Horizon Road

Address 12001 N. Central Expy.

Suite 300

City, State & Zip Rockwall, TX 75032

City, State & Zip Dallas, TX 75243

Phone 469-698-1354

Phone (214) 739-8100

E-Mail Jason.linscott@phrtexas.com

E-Mail bwade@rlginc.com

NOTARY VERIFICATION [REQUIRED]

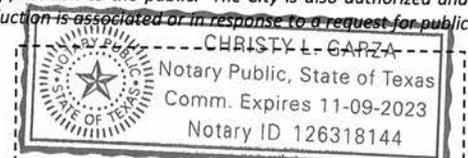
Before me, the undersigned authority, on this day personally appeared Jason Linscott [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ ~~762.84~~ ^{780.00}, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of December, 20 19. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of December, 20 19.

Owner's Signature

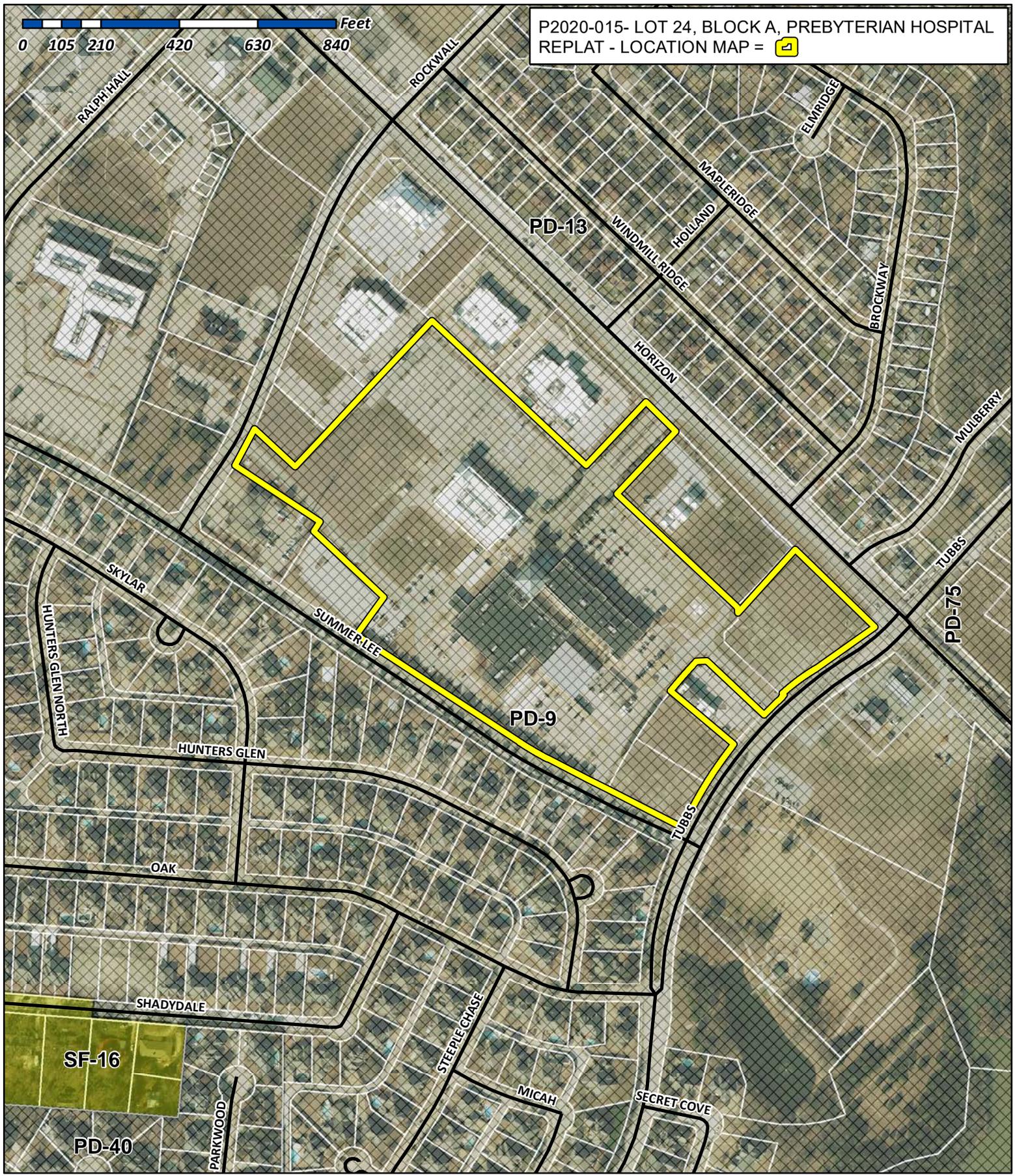
Notary Public in and for the State of Texas



My Commission Expires 11/9/2023



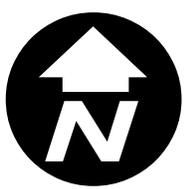
P2020-015- LOT 24, BLOCK A, PREBYTERIAN HOSPITAL REPLAT - LOCATION MAP =

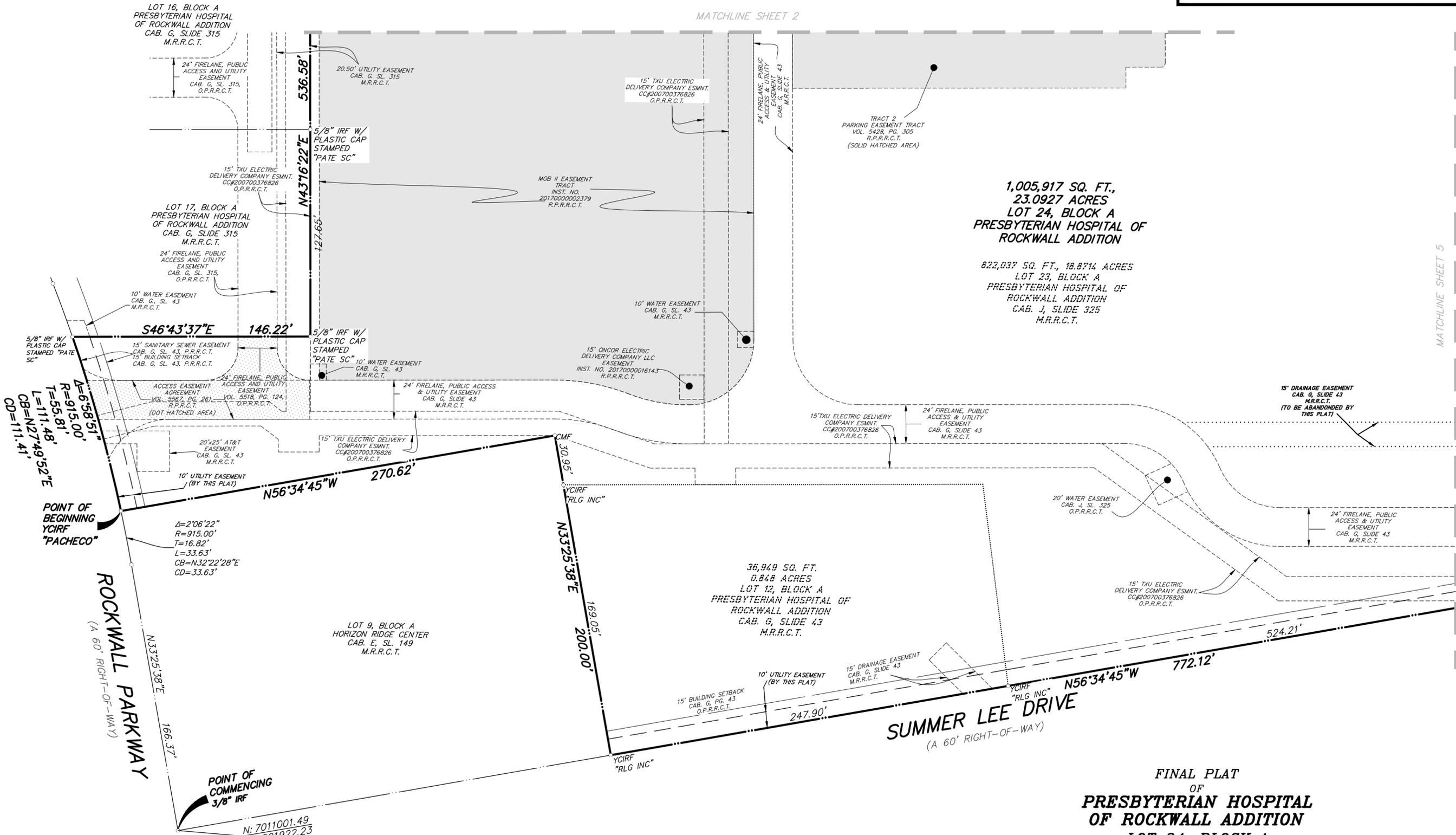


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1,005,917 SQ. FT.,
23.0927 ACRES
LOT 24, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION

822,037 SQ. FT., 18.8714 ACRES
LOT 23, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
CAB. J, SLIDE 325
M.R.R.C.T.

36,949 SQ. FT.
0.848 ACRES
LOT 12, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
CAB. G, SLIDE 43
M.R.R.C.T.

LOT 9, BLOCK A
HORIZON RIDGE CENTER
CAB. E, SL. 149
M.R.R.C.T.

FINAL PLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOT 24, BLOCK A
BEING A REPLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOTS 6, 8, 9, 12 & 23, BLOCK A
TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SCALE: 1" = 40'

DATE: 03-19-2020

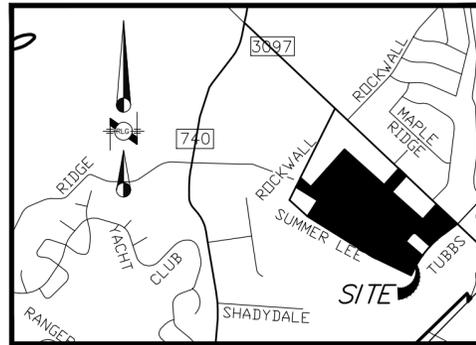
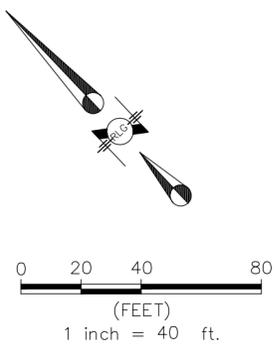
SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rlg@rlginc.com
TX PE REG #P-498
TBPLS REC #100341-00

OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SHEET 1 OF 7

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- YCIRF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED " " FOUND
- IRF IRON ROD FOUND
- CMS / CMF CHISELED "X" SET / FOUND
- (CM) CONTROLLING MONUMENT
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TX
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- VOL. VOLUME
- PG. PAGE
- CAB. CABINET
- SL. SLIDE

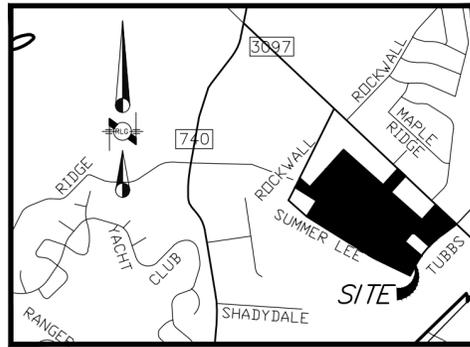


VICINITY MAP
NOT TO SCALE

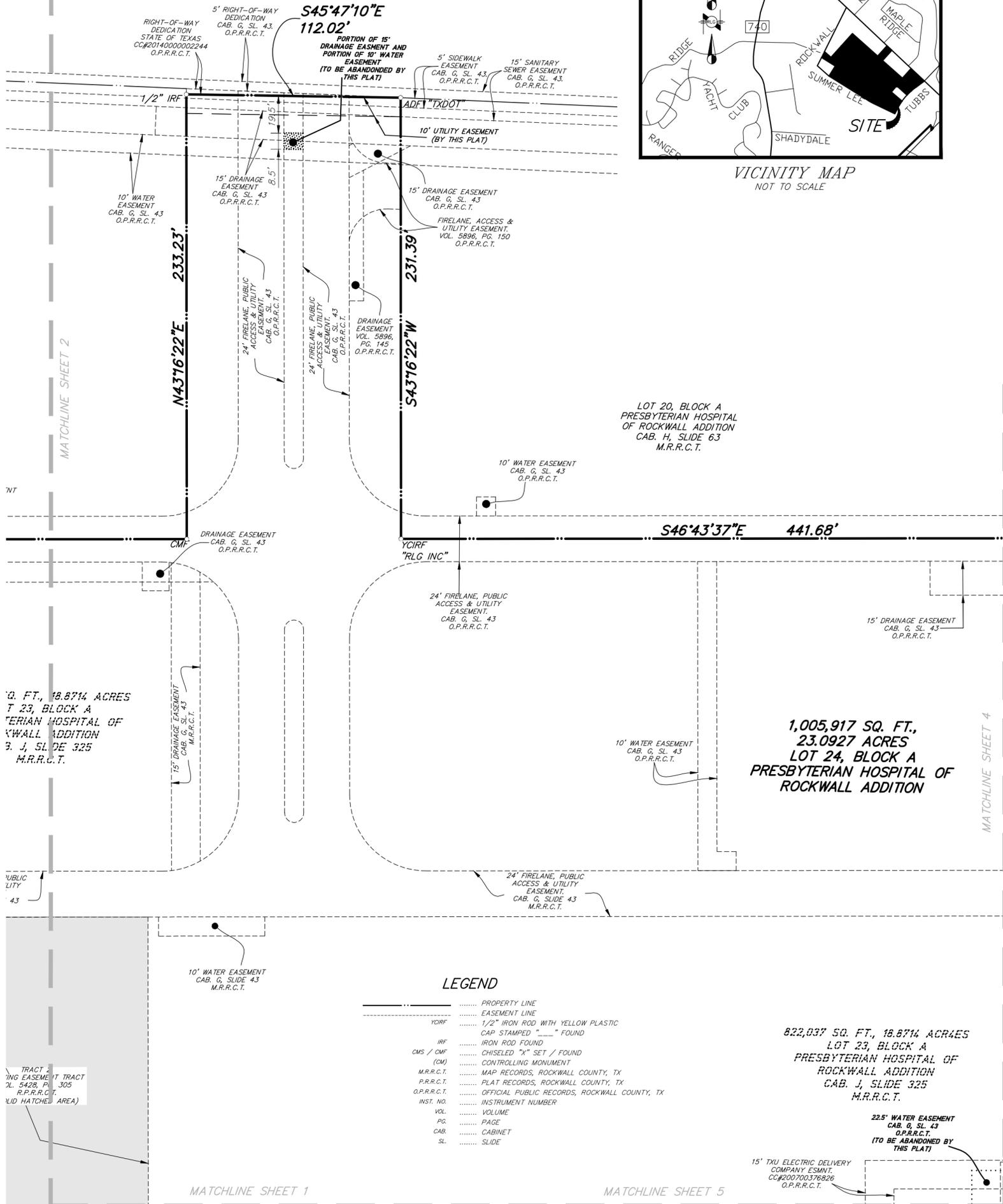
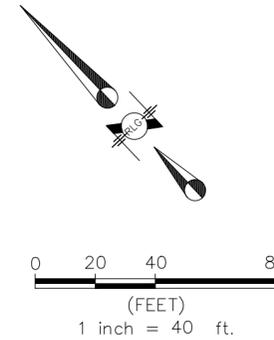
RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z
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HORIZON ROAD

(F.M. ROAD NO. 3097)
(A VARIABLE WIDTH RIGHT-OF-WAY)



VICINITY MAP
NOT TO SCALE



NOTES:

BASIS OF BEARINGS: BASIS OF BEARING: BEARINGS ARE BASED ON THE SOUTHWEST RIGHT-OF-WAY LINE OF HORIZON ROAD (SOUTH 45°46'04" EAST) AS SHOWN ON THE PLAT FOR PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITION RECORDED IN CABINET G, SLIDE 43, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AS MONUMENTED ON THE GROUND

CONTROLLING MONUMENTS: AS SHOWN

LOT-TO-LOT DRAINAGE WILL NOT BE ALLOWED WITHOUT ENGINEERING SECTION APPROVAL.

EXISTING BUILDINGS TO REMAIN

SEE SHEET 1 OF 4 FOR LINE AND CURVE TABLES

IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54

THE SUBJECT TRACT IS DEPICTED WITHIN ZONE X ON THE FLOOD INSURANCE RATE MAP, MAP NO. 48397C0040L, DATED SEPTEMBER 26, 2008. ZONE X IS DEFINED THEREON AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

THE LOCATION OF THE FLOOD ZONE LINES SHOWN, IF ANY, WERE DETERMINED BY SCALING FROM SAID FEMA MAP. THE ACTUAL LOCATION AS DETERMINED BY ELEVATION CONTOURS MAY DIFFER. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR RAYMOND L. GOODSON JR., INC. AS A RESULT OF FLOODING.

**FINAL PLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 24, BLOCK A
BEING A REPLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOTS 6, 8, 9, 12 & 23, BLOCK A
TOTAL 23.0927 ACRES**

**EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

SCALE: 1" = 40'

DATE: 03-19-2020

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- YCRF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "....." FOUND
- IRF IRON ROD FOUND
- CMS / CMF CHISELED "X" SET / FOUND
- (CM) CONTROLLING MONUMENT
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TX
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- VOL. VOLUME
- PG. PAGE
- CAB. CABINET
- SL. SLIDE

822,037 SQ. FT., 18.8714 ACRES
LOT 23, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
CAB. J, SLIDE 325
M.R.R.C.T.

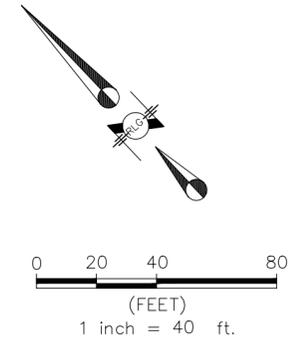
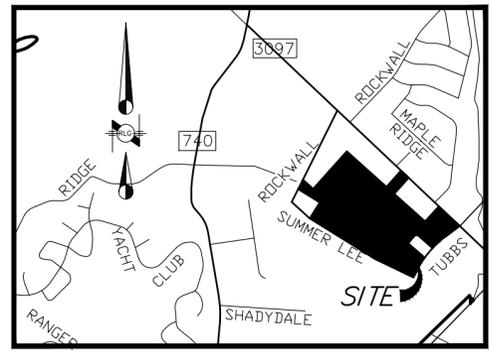
OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rig@rlginc.com
TX PE REG #P-498
TBPLS REC #100341-00

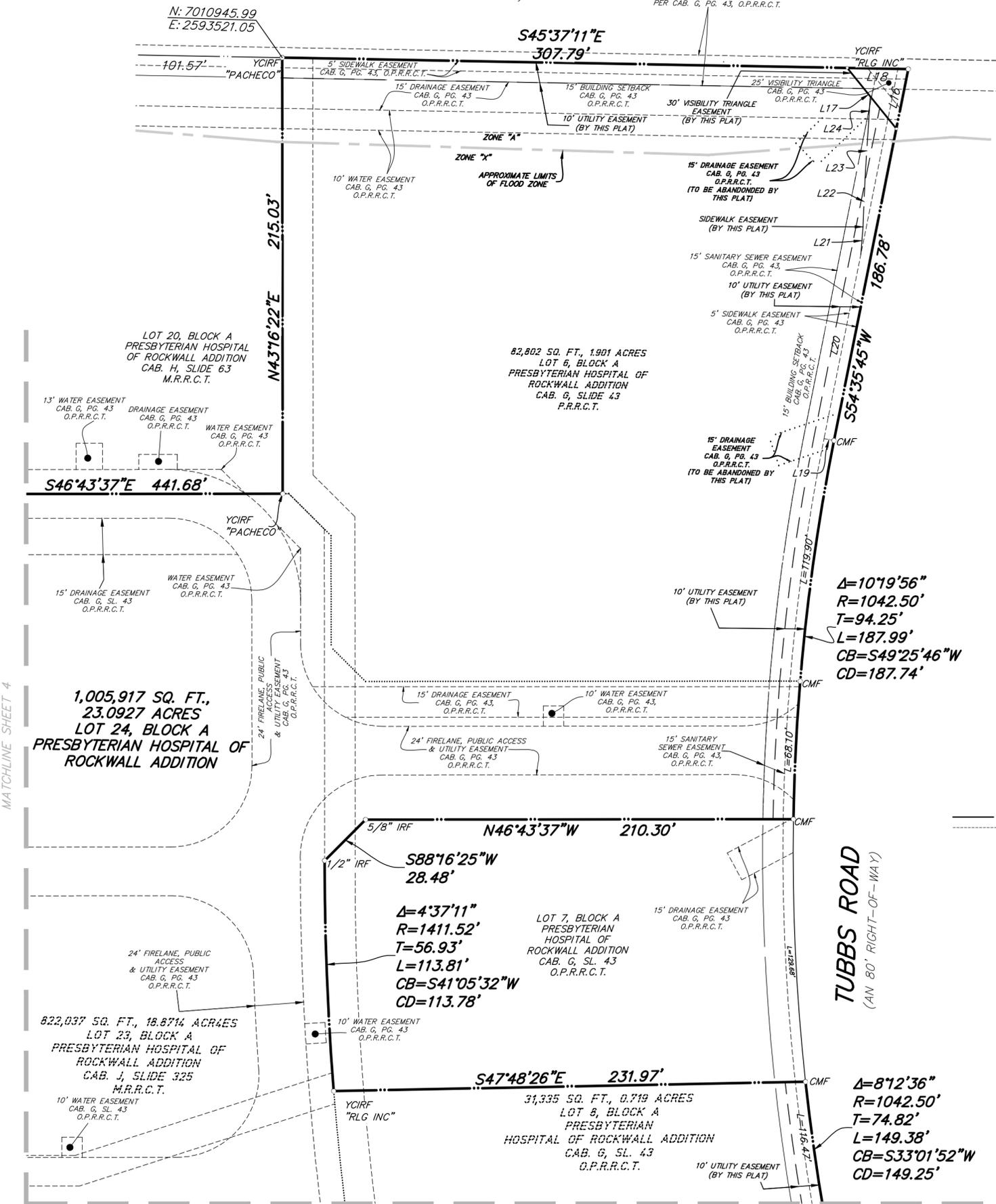
SHEET 3 OF 7

RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z
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HORIZON ROAD
(F.M. ROAD NO. 3097)
(A VARIABLE WIDTH RIGHT-OF-WAY)



VICINITY MAP
NOT TO SCALE



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TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SCALE: 1" = 40' DATE: 03-19-2020

OWNER:
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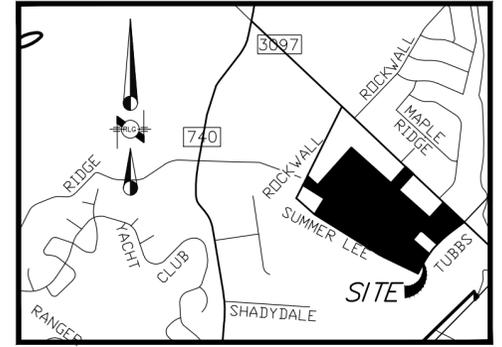
RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z
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LINE	BEARING	LENGTH
L1	S62°45'02"E	124.79'
L2	N27°49'15"E	6.50'
L3	N46°43'37"W	116.17'
L4	S43°16'23"W	3.75'
L5	N56°34'45"W	10.13'
L6	N33°25'12"E	24.00'
L7	S56°34'45"E	10.13'
L8	N43°16'23"E	3.75'
L9	S43°16'23"W	24.00'
L10	N62°45'02"W	230.44'

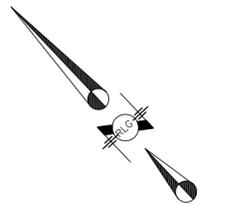
LINE	BEARING	LENGTH
L11	S56°49'20"E	15.00'
L12	N57°03'45"W	15.01'
L13	S47°48'26"E	65.69'
L14	S42°11'34"W	15.00'
L15	N47°48'26"W	63.93'
L16	S54°35'45"W	30.00'
L17	N04°29'17"E	38.48'
L18	N45°37'11"W	30.00'
L19	N35°24'15"W	5.00'
L20	N54°35'45"E	92.57'

LINE	BEARING	LENGTH
L21	N47°47'30"E	13.67'
L22	N45°44'03"E	24.98'
L23	N47°00'12"E	25.10'
L24	N46°53'43"E	14.34'
L25	N62°45'02"W	30.00'
L26	N73°05'16"E	43.04'
L27	N28°55'34"E	30.00'

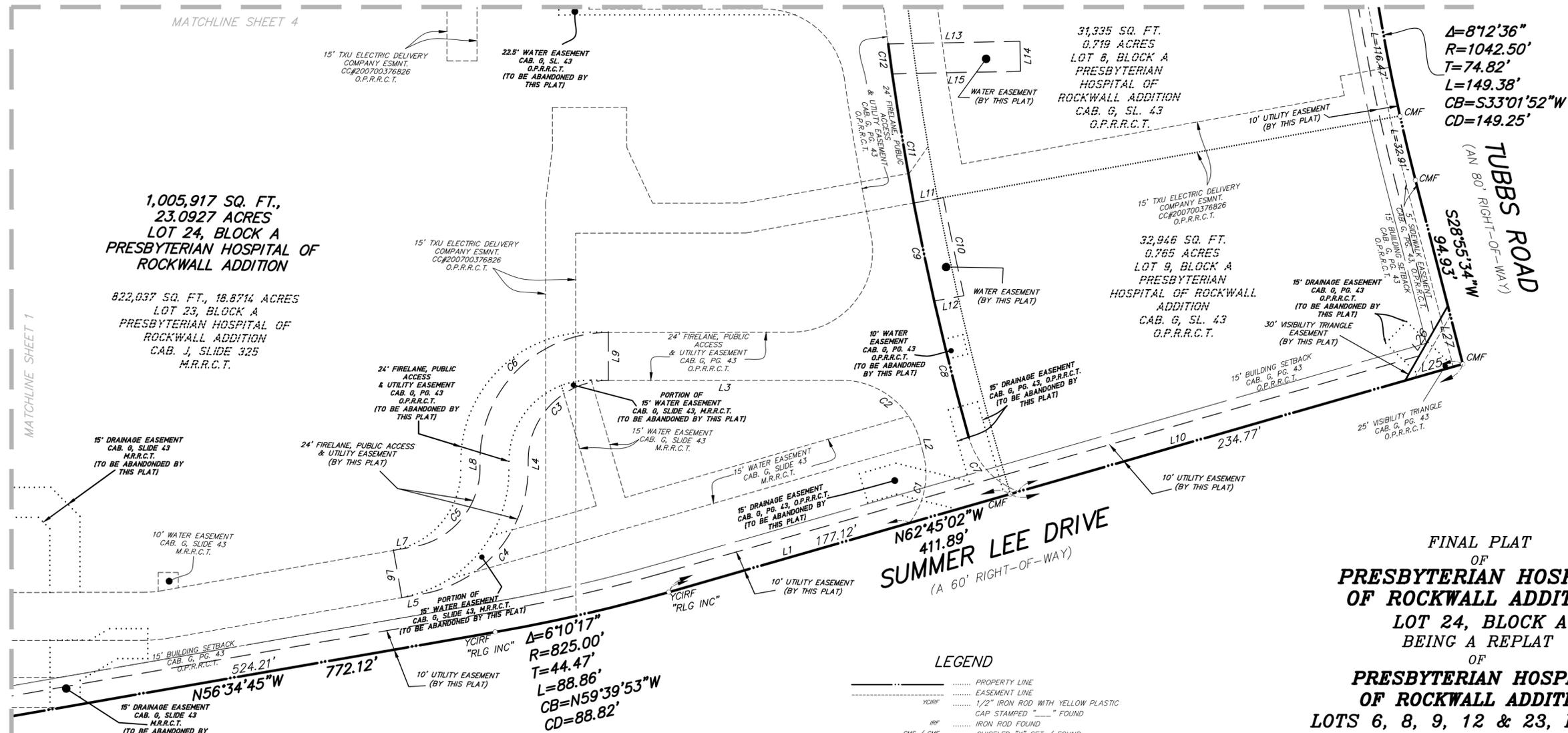
CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CH. BRG.	CHORD
C1	52°54'51"	40.50'	20.15'	37.40'	N54°08'57"E	36.09'
C2	74°40'36"	40.50'	30.90'	52.79'	N09°23'20"W	49.13'
C3	90°00'00"	40.00'	40.00'	62.83'	S88°16'23"W	56.57'
C4	80°08'52"	64.00'	53.84'	89.53'	S83°20'49"W	82.40'
C5	80°08'52"	40.00'	33.65'	55.95'	N83°20'49"E	51.50'
C6	90°00'00"	64.00'	64.00'	100.53'	N88°16'23"E	90.51'
C7	53°49'59"	40.50'	20.56'	38.05'	N00°48'33"E	36.67'
C8	2°50'11"	1423.52'	35.24'	70.47'	N29°08'38"E	70.46'
C9	2°00'57"	1423.52'	25.05'	50.09'	N31°34'12"E	50.08'
C10	2°02'05"	1408.52'	25.01'	50.02'	S31°33'15"W	50.02'
C11	2°38'08"	1423.52'	32.75'	65.48'	N33°53'45"E	65.48'
C12	0°36'28"	1423.52'	7.55'	15.10'	N35°31'03"E	15.10'



VICINITY MAP
NOT TO SCALE



0 20 40 80
(FEET)
1 inch = 40 ft.



FINAL PLAT
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OF ROCKWALL ADDITION**
LOT 24, BLOCK A
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STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas **Rockwall Regional Hospital, LLC**, is the sole owner of a tract of land situated in the Edward Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, as described in Deed of Trust to Rockwall Regional Hospital, LLC, recorded in Instrument Number 20190000019597, Official Public Records, Rockwall County, Texas, and being all of Lots 6, 8, 9, and 12, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded Cabinet G, Slide 43, Plat Records, Rockwall County, Texas, and all of Lot 23, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in 20180000008518, Official Public Records, Rockwall County, Texas and being more particularly described as follows:

COMMENCING at a 3/8" iron rod found at the intersection of the northerly right-of-way line of Summer Lee Drive (a 60' right-of-way) and the easterly right-of-way line of Rockwall Parkway (a 60' right-of-way) being the west corner of Lot 9, Block A, Horizon Ridge Center Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet E, Slide 149, Map Records, Rockwall County, Texas;

THENCE along the easterly right-of-way line of said Rockwall Parkway the following courses and distances:

North 33° 25' 38" East, along the north line of said Lot 9, a distance of 166.37 feet to a point for the beginning of a tangent curve to the left;

In a northerly direction along said curve to the left whose chord bears North 32° 22' 28" East a distance of 33.63 feet, having a radius of 915.00 feet, having a central angle of 02° 06' 22" and an arc length of 33.63 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found for the north corner of said Lot 9 and the most southerly west corner of said Lot 23 for the **POINT OF BEGINNING**, and continuing on said curve to the left;

In a northerly direction along said curve to the left whose chord bears North 27° 49' 52" East a distance of 111.41 feet, having a radius of 915.00 feet, a central angle of 06° 58' 51" and an arc length of 111.48 feet to a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the most northerly west corner of said Lot 23 and the west corner of Lot 17, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet G, Slide 315, Map Records, Rockwall County, Texas;

THENCE departing the easterly right-of-way line of said Rockwall Parkway and along the northerly line of said Lot 23, the following courses and distances:

South 46° 43' 37" East, along the southwesterly line of said Lot 17, a distance of 146.22 feet to a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the south corner of said Lot 17 and a northwesterly corner of said Lot 23;

North 43° 16' 22" East, along the southeasterly line of said Lot 17, passing at a distance of 127.65 feet a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the east corner of said Lot 17 and the south corner of Lot 16, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 315), continuing along the southeasterly line of said Lot 16 passing at a distance of 154.96 a 1/2" iron rod with red plastic cap stamped "RPLS 48" found for the east corner of said Lot 16 and the south corner of Lot 19, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 315), continuing along the southeasterly line of said Lot 15 for a total distance of 536.58 feet to a chiseled "X" in concrete found for the most easterly east corner of said Lot 19, the north corner of said Lot 23, and on the southwest line of Lot 18, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat recorded in Cabinet G, Slide 297, Map Records, Rockwall County, Texas;

South 46° 43' 37" East, along the southwesterly line of said Lot 18, passing a chiseled "X" in concrete found at a distance of 220.15 feet for the south corner of said Lot 18 and the west corner of Lot 21, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet I, Slide 87, Map Records, Rockwall County, Texas, continuing along the southwesterly line of said Lot 21 to a chiseled "X" in concrete found for a total distance of 566.96 feet for the south corner of said Lot 21 and the most westerly northeast corner of said Lot 23;

North 43° 16' 22" East, along the southeasterly line of said Lot 21, a distance of 233.23 feet to a 1/2" iron rod found for the east corner of said Lot 21 and the most northerly northeast corner of said Lot 23 and being on the southwesterly right-of-way line of Horizon Road (a variable width right-of-way);

THENCE South 45° 47' 10" East, along the southwesterly right-of-way line of said Horizon Road, a distance of 112.02 feet to an Aluminum Disk Found stamped "TXDOT" found for the most easterly northeast corner of said Lot 23 and the north corner of Lot 20, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet H, Slide 63, Map Records, Rockwall County, Texas;

THENCE along the common line between said Lot 23 and said Lot 20, the following courses and distances:

South 43° 16' 22" West, a distance of 231.39 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the most southerly northeast corner of said Lot 23 and the west corner of said Lot 20;

South 46° 43' 37" East, a distance of 441.68 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found for the south corner of said Lot 20, an easterly corner of said Lot 23 and a westerly corner of Lot 6, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet G, Slide 43, Plat Records, Rockwall County, Texas, continuing along the westerly line of said Lot 6 for a total distance of 444.69 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for an easterly corner of said Lot 23 and a westerly corner of said Lot 6;

THENCE North 43° 16' 22" East, along the common line between said Lot 6 and said Lot 20, a distance of 215.03 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found on the southwesterly line of said Horizon Road, for the east corner of said Lot 20 and the north corner of said Lot 6;

THENCE South 45° 37' 11" East, along the southwesterly right-of-way line of said Horizon Road, a distance of 307.79 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found at the intersection of the southwesterly right-of-way line of said Horizon Road and the northerly right-of-way of Tubbs Road (an 80-foot right-of-way), for the east corner of said Lot 6,

THENCE along the northerly right-of-way of said Tubbs Road, the following courses and distances:

South 54° 35' 45" West, a distance of 186.78 feet to a chiseled "X" in concrete found on the southeasterly line of said Lot 6, and the beginning of a tangent curve to the left;

In a southwesterly direction along said curve to the left whose chord bears South 49° 25' 46" West a distance of 187.74 feet, having a radius of 1042.50, a central angle of 10° 19' 56", passing a chiseled "X" in concrete found at an arc length of 119.90 feet, continuing along said curve to a chiseled "X" in concrete found for a total arc length of 187.99 feet, for an easterly corner of Lot 23 and the east corner of Lot 7, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 43);

THENCE departing the northerly right-of-way line of said Tubbs Road and along a southeasterly line of said Lot 23, the following courses and distances:

North 46° 43' 37" West, along the northeasterly line of said Lot 7, a distance of 210.30 feet to a 5/8" iron rod found for corner;

South 88° 16' 25" West, along the north line of said Lot 7, a distance of 28.48 feet to a 1/2" iron rod found for corner, and the beginning of a non-tangent curve to the left;

In a southwesterly direction along the northwesterly line of said Lot 7 and said curve to the left whose chord bears South 41° 05' 32" West a distance of 113.78 feet, having a radius of 1411.52 feet, a central angle of 04° 17' 11", and an arc length of 113.81 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for a southeasterly corner of said Lot 23 and the west corner of said Lot 7 and the north corner of Lot 8, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 43);

THENCE South 47° 48' 26" East, along the common line between said Lot 7 and said Lot 8, a distance of 231.97 feet to a chiseled "X" in concrete found on the northerly right-of-way line of said Tubbs Road, for the east corner of said Lot 8 and the south corner of said Lot 7, and continuing on a non-tangent curve to the left;

THENCE along the northerly right-of-way line of said Tubbs Road, the following courses and distances:

In a southwesterly direction along said curve to the left whose chord bears South 33° 01' 52" West a distance of 149.25 feet, having a radius of 1042.50 feet, a central angle of 08° 12' 36", passing at an arc length of 116.47 feet a chiseled "X" in concrete found for the south corner of said Lot 8 and the east corner of Lot 9, Block A, of said Presbyterian Hospital of Rockwall (Cabinet G, Slide 43), and continuing along said curve for a total arc length of 149.38 feet to a chiseled "X" in concrete found for a southeasterly corner of said Lot 9 and the end of said non-tangent curve to the left;

South 28° 55' 34" West, a distance of 94.93 feet to a chiseled "X" in concrete found at the intersection of the northerly right-of-way line of said Tubbs Road and the northeasterly right-of-way line of Summer Lee Drive (a 60-foot right-of-way, for the south corner of said Lot 9;

THENCE along the northeasterly right-of-way line of said Summer Lee Drive, the following courses and distances:

North 62° 45' 02" West, passing at a distance of 234.77 feet a chiseled "X" in concrete found for the west corner of said Lot 9 and a south corner of said Lot 23, continuing for a total distance of 411.89 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for corner, and the beginning of a non-tangent curve to the right;

In a northwesterly direction along said curve to the right whose chord bears North 59° 39' 53" West a distance of 88.82 feet, having a radius of 825.00 feet, a central angle of 06° 10' 17" and an arc length of 88.86 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for corner, and being the end of said curve to the right;

North 56° 34' 45" West, passing at a distance of 524.21 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the most southerly west corner of said Lot 23 and the south corner of Lot 12, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 43), continuing for a total distance of 772.12 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the west corner of said Lot 12 and the south corner of Lot 9, Block A, Horizon Ridge Center, an addition to the City of Rockwall, according to the plat recorded in Cabinet E, Slide 149, Map Records, Rockwall County, Texas;

THENCE North 33° 25' 38" East, departing the northeasterly right-of-way line of said Summer Lee Drive and along the common line between said Lot 12 and said Lot 9, Block A, Horizon Ridge Center, passing at a distance of 169.05 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the north corner of said Lot 12, a westerly corner of said Lot 23 and an easterly corner of said Lot 9, Block A, Horizon Ridge Center, continuing for a total distance of 200.00 feet to a chiseled "X" in concrete found for the east corner of said Lot 9, Block A, Horizon Ridge Center, and a westerly corner of said Lot 23;

THENCE North 56° 34' 45" West, along the common line between said Lot 23 and said Lot 9, Block A, of said Horizon Ridge Center, a distance of 270.62 feet to the **POINT OF BEGINNING**, containing 1,005,917 square feet or 23.0927 acres, more or less.

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OF ROCKWALL ADDITION
LOT 24, BLOCK A
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OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOTS 6, 8, 9, 12 & 23, BLOCK A
TOTAL 23.0927 ACRES
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SCALE: 1" = 40'

DATE: 03-19-2020

OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
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TX PE REC #P-498
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SHEET 6 OF 7

RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z
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SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian R. Wade, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Surveyor Signature

Registered Public Surveyor No.

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ROCKWALL REGIONAL HOSPITAL, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this [DAY] day of [MONTH], [YEAR].

Notary Public in and for the State of Texas

My Commission Expires

Signature of Party with Mortgage or Lien Interest [IF APPLICABLE:]

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Mayor, City of Rockwall

DATE

City Secretary

DATE

City Engineer

DATE

FINAL PLAT
OF
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OF ROCKWALL ADDITION**
LOT 24, BLOCK A
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TX PE REG #F-493
TBPLS REC #100341-00

RECORDED	INST#	-	JOB NO.	1911.086	E-FILE	1911.086RP	DWG NO.	27,256Z	SHEET	7 OF 7
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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Ruben Segovia
CASE NUMBER: P2020-016; *Lot 1, Block L, Lake Rockwall Estates East Addition*

SUMMARY

Consider a request by Ruben Segovia on behalf of Jose Valerio for the approval of a Replat for Lot 1, Block L, Lake Rockwall Estates East Addition being a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting approval of a replat for the purpose of combining two (2) lots (*i.e. Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition*) into one (1) lot (*i.e. Lot 1, Block L, Lake Rockwall Estates East Addition*) in order to construct a single-family home.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 1, Block L, Lake Rockwall Estates East Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning, and Fire Departments shall be addressed prior to the filing of this plat; and
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall Project Plan Review History



Project Number	P2020-016	Owner	CAMACHO, OSCAR Z & TERESA	Applied	3/20/2020	AG
Project Name	257 & 269 Russell Drive	Applicant	RUBEN SEGOVIA	Approved		
Type	PLAT			Closed		
Subtype	REPLAT			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
269 RUSSELL	ROCKWALL, TX 75032	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
ROCKWALL LAKE ESTATES PH2	1286		1286	5380-0000-1286-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	(3/26/2020 3:21 PM SJ) M - Must add a 10' utility easement on the back property line. M - Update the plat verbiage to meet the new guidelines. M - Must receive council approval to be on a septic system.
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
GIS	Lance Singleton	3/20/2020	3/27/2020				
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2020-016; Lot 1, Block L, Lake Rockwall Estates No. 2 Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Ruben Segovia on behalf of Jose Valerio for the approval of a Replat for Lot1, Block L, Lake Rockwall Estates East Addition being a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2020-016) in the lower right-hand corner of all pages on future submittals						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please note the Lot and Block designation stated above. The Title Block shows Lots 1286 & 1287 as well.						
2)						
3) Please note the lot and block designation and make changes to dedication language and title block						
4) Please revise title block to include: "Lot 1, Block A, Lake Rockwall Estates No. 2 Addition a Replat of..."						
5) Please include the number of lots, acreage, and SF in title block.						
6) Please label the original property line between the two lots.						
7) Please show and label any easements.						
I.6 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.7 The Planning & Zoning Meeting April 14, 2020.						
I.8 The City Council Meeting for this case is April 20, 2020.						
I.9 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 269 and 257 Russell drive Rockwall, Texas

Subdivision _____ Lot 1286, 1287 Block _____

General Location Lot 1286R 269 and 257 Russell drive Rockwall, TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-75

Current Use There was a trailer

Proposed Zoning _____

Proposed Use New Residential Construction

Acreage .33

Lots [Current] 1286 and 1287 Lots [Proposed] 1286R

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Jose Valerio

Applicant Ruben Segovia

Contact Person Jose Valerio

Contact Person Ruben Segovia

Address 3027 Moson Dr.

Address 4512 Teagarden

City, State & Zip Mesquite, TX 75150

City, State & Zip DALLAS TX 75217

Phone 469-286-9964

Phone 972-363-5019

E-Mail lalo.valerio@yahoo.com

E-Mail Fineworks2016@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 300.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 18 day of MARCH, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 18 day of MARCH, 20 20

Owner's Signature Jose E. Valerio

Notary Public in and for the State of Texas [Signature]



0 15 30 60 90 120 Feet

P2020-016- LOT 1, BLOCK L,
LAKE ROCKWALL ESTATES EAST ADDITION
REPLAT - LOCATION MAP = 



PD-75

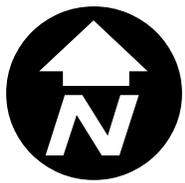
RUSSELL



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS JOSE VALERIO, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

Being a lot, tract or parcel of land situated in the John R. Johnson Survey, Abstract No. 128, Rockwall County, Texas, and being all of Lots 1286 and 1287 of Rockwall Lake Properties Development No. 2 according to the plat thereof recorded in Cabinet A, Slide 79, Map Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found at the southeast corner of said Lot 1287, the Northeast corner of Lot 1288, the Northwest corner of Lot 1311 and the Southwest corner of Lot 1312 of said Rockwall Lake Properties;

THENCE South 89 degrees 04 minutes 33 seconds West, with the South line of said Lot 1287 and the North line of said Lot 1288, a distance of 120.18 feet to a 1/2 inch iron rod found at the Southwest corner of said Lot 1287, the Northwest corner of said Lot 1288, and on the East line of Russell Drive (50' R.O.W.), from which a 1/2 inch iron rod found bears South 01 degrees 03 minutes 38 seconds East, a distance of 59.88 feet;

THENCE North 01 degrees 03 minutes 38 seconds West, with the West line of said Lot 1287 and Lot 1286 and the East line of Russell Drive, a distance of 120.57 feet to a 1/2 inch iron rod and yellow cap stamped "By-Line" set at the Northwest corner of said Lot 1286 and the Southwest corner of Lot 1285 of said Rockwall Lake Properties, from which a 1/2 inch iron rod found bears North 01 degrees 03 minutes 38 seconds West, a distance of 241.40 feet;

THENCE North 89 degrees 09 minutes 08 seconds East, with the North line of said Lot 1287 and the South line of said Lot 1285, a distance of 120.18 feet to a 1/2 inch iron rod and yellow cap stamped "By-Line" set at the Northeast corner of said Lot 1286, the Southeast corner of said Lot 1285, the Southwest corner of Lot 1314 and the Northwest corner of Lot 1313 of said Rockwall Lake Properties, from which a 1/2 inch iron rod found bears North 01 degrees 03 minutes 38 seconds West, a distance of 242.57 feet;

THENCE South 01 degrees 03 minutes 38 seconds East, with the East line of said Lot 1286 and Lot 1287 and the West line of said Lot 1313 and said Lot 1312, a distance of 120.41 feet to the POINT OF BEGINNING and CONTAINING 0.33 acres of land or 14,481 square feet.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the REPLAT OF LOTS 1286 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the REPLAT OF LOTS 1286 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

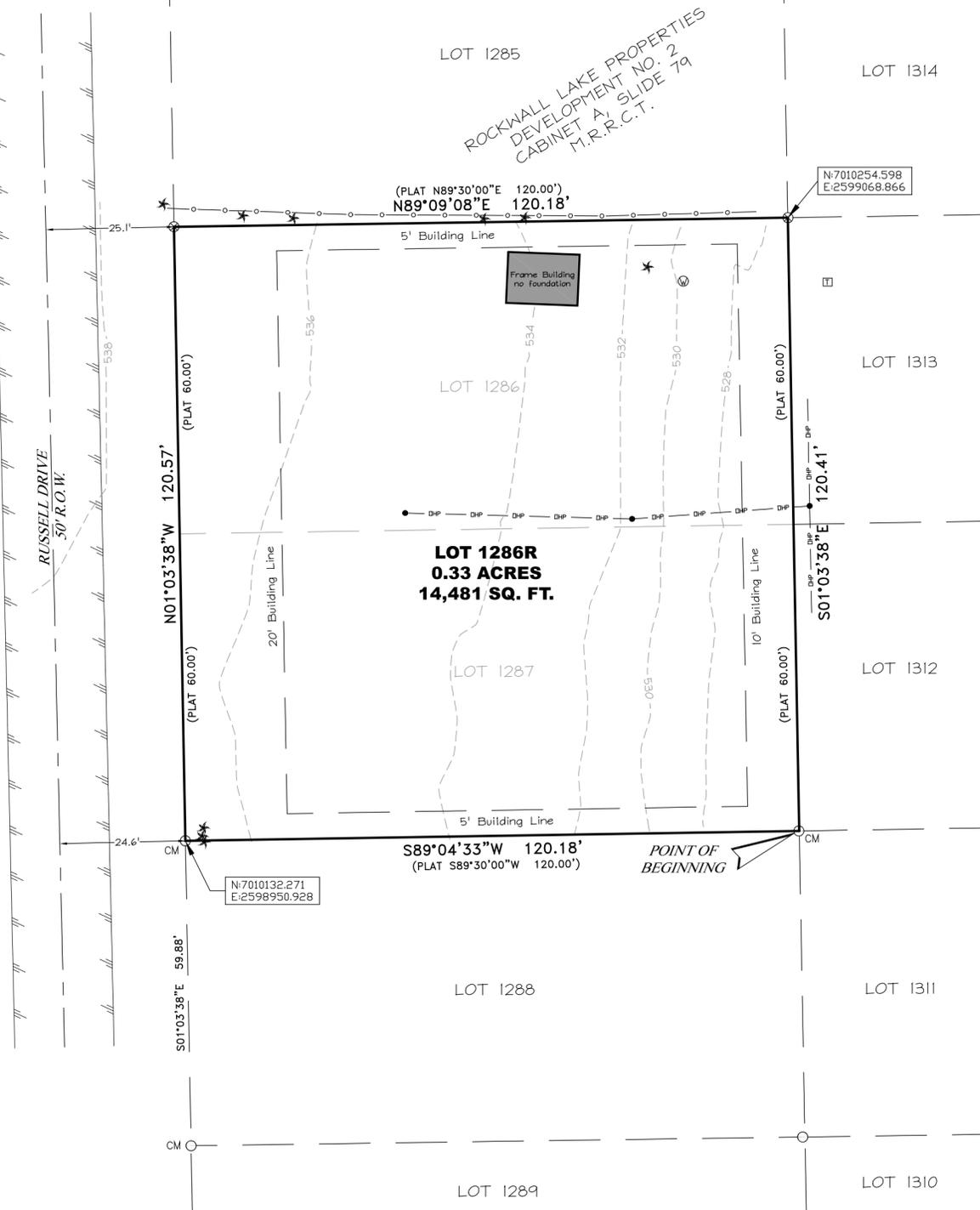
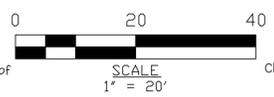
Jose Valerio, Owner

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Jose Valerio, Owner, known to me to be the persons whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2020.

Notary Public in and for the State of Texas



LEGEND

- CM CONTROLLING MONUMENT
- 1/2" IRON ROD FOUND
- ⊗ 1/2" IRON ROD SET (BY-LINE)
- ★ HACKBERRY TREE
- POWER POLE
- TELEPHONE PEDESTAL
- ⊙ WATER METER
- — — ASPHALT
- ○ — ○ — CHAINLINK FENCE
- DP — DP — OVERHEAD ELCTRIC LINE
- BUILDING

VICINITY MAP NOT TO SCALE

Evans Rd.
Russell Dr.
Renee Dr.
County Line Rd.
FM 3097
Subject Tract

NOTES:

- Bearings based on Texas State Plane Coordinates, Texas North Central Zone 4202 as obtained by GPS observation.
- Any structure new or existing may not extend across new property lines.
- The purpose of this plat is to create one lot from two lots.
- Coordinates shown are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale, No Projection.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- The property is shown as being located within Zone X by Flood Insurance Rate Map No. 48397C0040L, dated 09/26/2008. It is shown as not being located in a special flood hazard area inundated by 100-year flood.

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the _____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Mayor, City of Rockwall

City Secretary

City Engineer

KNOW ALL MEN BY THESE PRESENTS:

That I, Wayne Beets, II, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the platting rules and regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

This _____ day of _____, 2020

PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Wayne Beets, II
Registered Professional Land Surveyor No. 6039

REPLAT OF LOTS 1286 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

IN THE JOHN R. JOHNSON SURVEY, ABSTRACT NO. 128

CASE NO. _____

OWNER - JOSE VALERIO
3027 MASON DR, MESQUITE, TX 75150 -
PHONE NUMBER 469-286-9964

ADDRESS:
269 # 257 RUSSELL DRIVE,
ROCKWALL, TEXAS
ACREAGE: 0.33 ACRES
ZONING: PD-75
PREPARED: 1/31/2020
BY-LINE JOB NO: 2020-009
SCALE: 1" = 20'
TECHNICIAN: TYB

BY-LINE SURVEYING LLC

P.O. Box 834
Emory, Tx 75440
Ph: (903) 473-5150
Firm No: 10194233
www.bylinesurveying.com

Inverse With Area

Fri Jan 31 09:33:59 2020

PntNo	Bearing	Distance	Northing	Easting	Description
		7010134.21	2599071.10		
	S 89°04'33" W	120.18			
		7010132.27	2598950.93		
	N 01°03'38" W	120.57			
		7010252.82	2598948.70		
	N 89°09'08" E	120.18			
		7010254.60	2599068.87		
	S 01°03'38" E	120.41			
		7010134.21	2599071.10		

Closure Error Distance > 0.0000

Total Distance Inversed > 481.35

Area: 0.33 ACRES, 14481 SQ. FT.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Priya Acharya, PE; *Weir & Associates, Inc.*
CASE NUMBER: P2020-017; *Lot 9, Block A, Lakeshore Commons Addition*

SUMMARY

Consider a request by Priya Acharya, PE of Weir & Associates, Inc. on behalf of Worth Williams of Moore Worth Investments, LLC for the approval of a Replat for Lot 9, Block A, Lakeshore Commons Addition, being a 1.401-acre parcel of land currently identified as Lot 8, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street [SH-205], and take any action necessary.

PLAT INFORMATION

- The applicant is requesting approval of a replat for the purpose of abandoning a portion an existing water easement situated on Lot 8, Block A, Lakeshore Commons Addition and establishing a new water easement necessary to serve this site. The legal description of this lot will be Lot 9, Block A, Lakeshore Commons Addition.
- On April 28, 2016, the City Council approved a preliminary plat [*Case No. P2016-012*] for Lots 1-4, Block A, Lakeshore Commons Addition for the purpose of laying out regional detention and preliminary utility and drainage plans for a proposed commercial center on the subject property. On April 3, 2017, the City Council approved a final plat [*Case No. P2017-012*] for the purpose of subdividing the subject property into four (4) lots (*i.e. Lots 1-4, Block A, Lakeshore Commons Addition*) and to establish the necessary fire lane, utility, public access, cross access, detention, and drainage easements for a proposed retail commercial center. On July 2, 2018, the City Council approved a request [*Case No. Z2018-024*] for a Specific Use Permit (SUP) [*Ordinance No. 18-30; SUP No. S-191*] to allow a *restaurant, 2,000 SF or more with a drive-through (i.e. Chick-Fil-A)* on the subject property. On August 14, 2018, the Planning and Zoning Commission approved a site plan [*Case No. SP2018-020*] for a *restaurant, 2,000 SF or more with a drive-through (i.e. Chick-Fil-A)* on the subject property. Subsequently, on August 20, 2018, the City Council approved all variances associated with the approved site plan. On November 5, 2018, the City Council approved a replat [*P2018-036*] of Lot 2, Block A, Lakeshore Commons Addition establishing Lot 8, Block A, Lakeshore Commons addition.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 9, Block A, Lakeshore Commons Addition*, staff would propose the following conditions of approval:

- (1) All technical Comments from the Engineering, Planning, and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/9/2020

City of Rockwall Project Plan Review History



Project Number P2020-017	Owner MOORE WORTH INVESTMENTS LLC	Applied 3/20/2020 AG
Project Name Lot 9, Block A, Lakeshore Commons	Applicant PRIYA ACHARYA	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status Staff Review		Status

Site Address S HWY 205	City, State Zip ROCKWALL, TX 75087	Zoning
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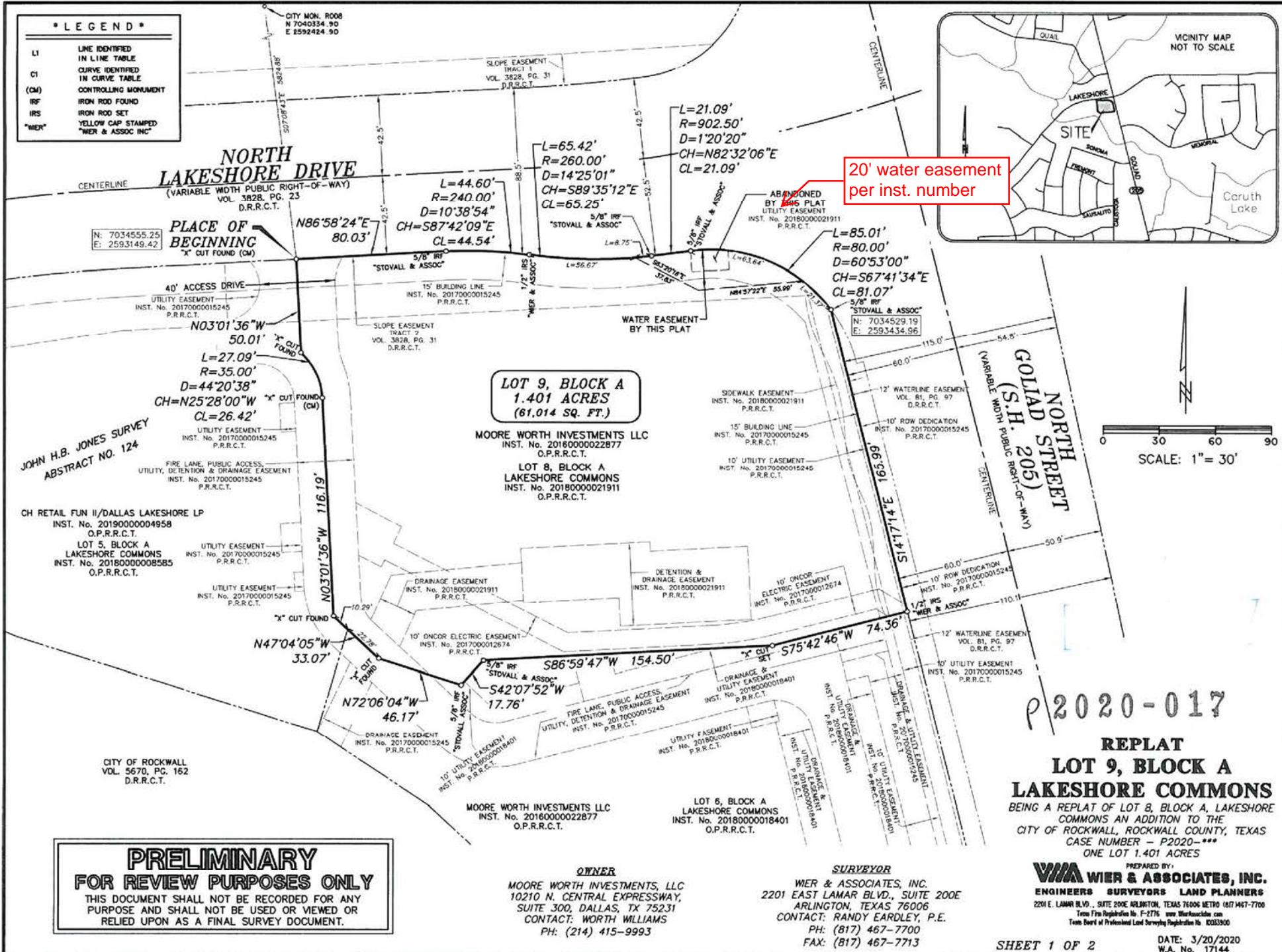
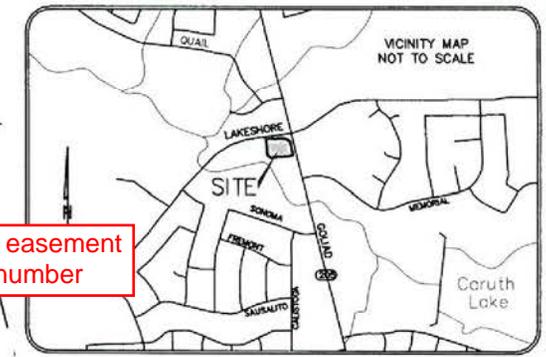
Subdivision LAKESHORE COMMONS	Tract 8	Block A	Lot No 8	Parcel No 4244-000A-0008-00-0R	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING (3/26/2020 3:27 PM SJ)	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	M - The easement to be abandoned is labeled as a 20' water easement, please update.
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
GIS	Lance Singleton	3/20/2020	3/27/2020				
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/9/2020	20	COMMENTS	Comments

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Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Priya Acharya, PE of Weir & Associates, Inc. on behalf of Worth Williams of Moore Worth Investments, LLC for the approval of a Replat for Lot 9, Block A, Lakeshore Commons Addition, being a 1.401-acre parcel of land currently identified as Lot 8, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street [SH-205],.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2020-017) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
I.6 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.7 The Planning & Zoning Meeting April 14, 2020.						
I.8 The City Council Meeting for this case is April 20, 2020.						
I.9 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.						

*** LEGEND ***

LI	LINE IDENTIFIED IN LINE TABLE
CI	CURVE IDENTIFIED IN CURVE TABLE
(CM)	CONTROLLING MONUMENT
IRF	IRON ROD FOUND
IRS	IRON ROD SET
"MER"	YELLOW CAP STAMPED "MER & ASSOC INC"



**LOT 9, BLOCK A
1.401 ACRES
(61,014 SQ. FT.)**

MOORE WORTH INVESTMENTS LLC
INST. No. 2016000022877
O.P.R.R.C.T.

**LOT 8, BLOCK A
LAKESHORE COMMONS**
INST. No. 2018000021911
O.P.R.R.C.T.

MOORE WORTH INVESTMENTS LLC
INST. No. 2016000022877
O.P.R.R.C.T.

**LOT 6, BLOCK A
LAKESHORE COMMONS**
INST. No. 2018000018401
O.P.R.R.C.T.

**PRELIMINARY
FOR REVIEW PURPOSES ONLY**
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER
MOORE WORTH INVESTMENTS, LLC
10210 N. CENTRAL EXPRESSWAY,
SUITE 300, DALLAS, TX 75231
CONTACT: WORTH WILLIAMS
PH: (214) 415-9993

SURVEYOR
WIER & ASSOCIATES, INC.
2201 EAST LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: RANDY EARDLEY, P.E.
PH: (817) 467-7700
FAX: (817) 467-7713

P 2020-017

**REPLAT
LOT 9, BLOCK A
LAKESHORE COMMONS**
BEING A REPLAT OF LOT 8, BLOCK A, LAKESHORE COMMONS AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NUMBER - P2020-***
ONE LOT 1.401 ACRES

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Fire Registration No. F-2776 www.wierassociates.com
Texas Board of Professional Land Surveying Registration No. 02035900

SHEET 1 OF 2
DATE: 3/20/2020
W.A. No. 17144



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (~~\$200.00 + \$20.00 Acre~~)¹ Platting Fee is Waived
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1979 N. Goliad Street

Subdivision Lakeshore Commons

Lot 8 Block A

General Location Located at the Southwest Corner of N. Lakeshore Drive and Hwy 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-65 w/ GR & SH 205 Overlay

Current Use Vacant/Under Construction

Proposed Zoning

Proposed Use Fast Food Restaurant

Acreage 1.401

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner
 Contact Person Mare Worth Investments, LLC
 Address 8445 Freepart Pkwy Suite 175
 City, State & Zip Irving, TX 75063
 Phone 214-475-9993
 E-Mail worth@worthwilliams.com

Applicant Wier & Associates, Inc.
 Contact Person Priya Acharya, PE
 Address 2201 E. Lamar Blvd. Suite 200E
 City, State & Zip Arlington, Texas 76006
 Phone 817-467-7700
 E-Mail PriyaA@WierAssociates.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

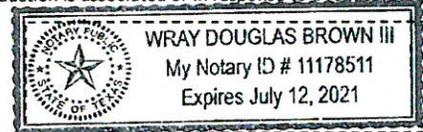
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 0.00 - no fee, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020.

Owner's Signature

Notary Public in and for the State of Texas

Wray Douglas Brown III



My Commission Expires 07/12/2021



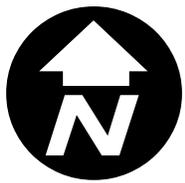
P2020-017- LOT 9, BLOCK A, LAKESHORE COMMONS
REPLAT - LOCATION MAP =



City of Rockwall

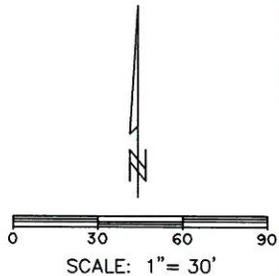
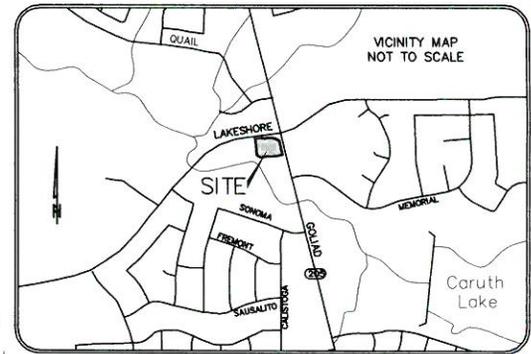
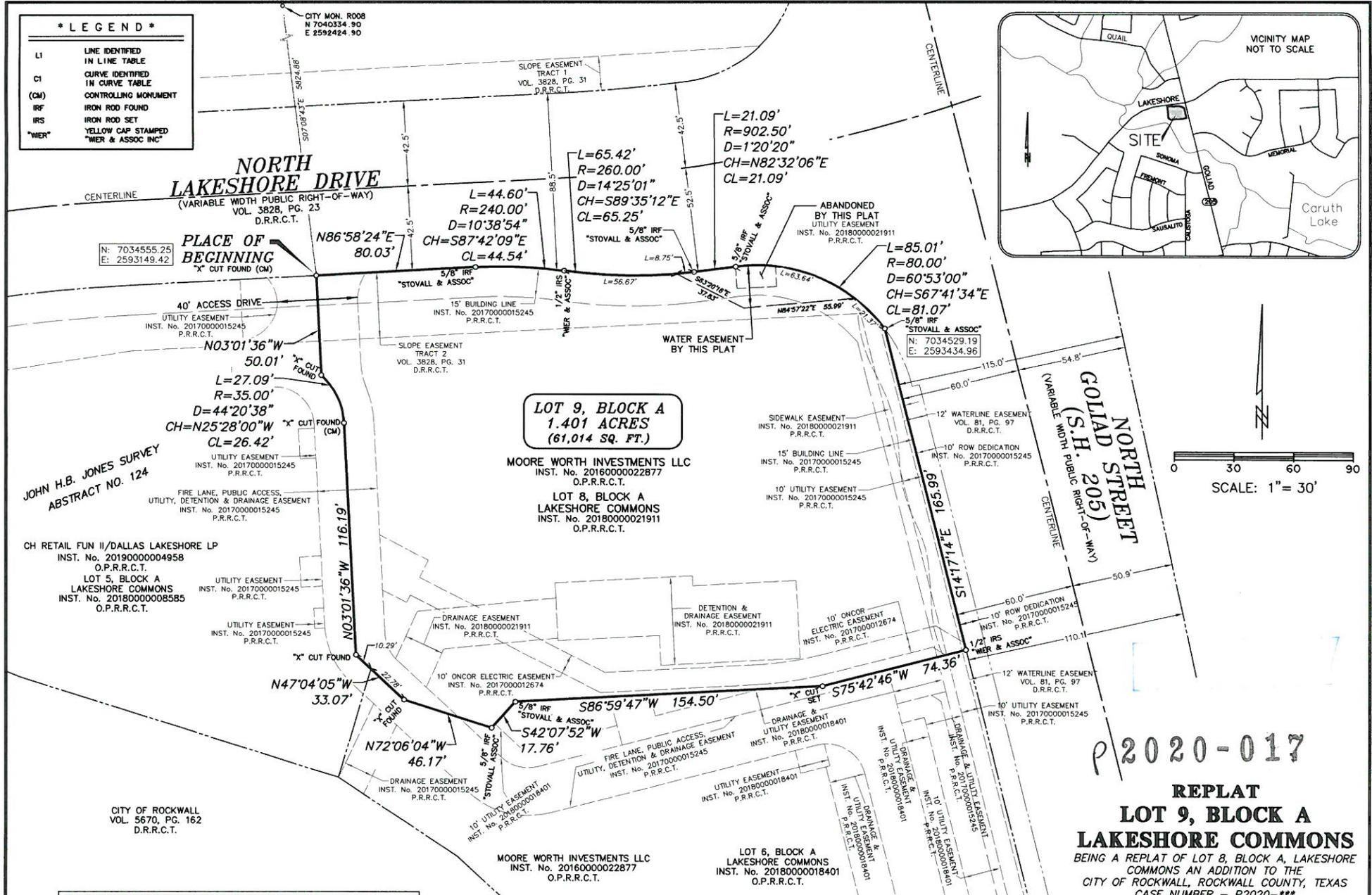
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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CI	CURVE IDENTIFIED IN CURVE TABLE
(CM)	CONTROLLING MONUMENT
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IRS	IRON ROD SET
"WER"	YELLOW CAP STAMPED "WER & ASSOC INC"



**LOT 9, BLOCK A
1.401 ACRES
(61,014 SQ. FT.)**

MOORE WORTH INVESTMENTS LLC
INST. No. 2016000022877
O.P.R.R.C.T.

**LOT 8, BLOCK A
LAKESHORE COMMONS**
INST. No. 2018000021911
O.P.R.R.C.T.

REPLAT
**LOT 9, BLOCK A
LAKESHORE COMMONS**
BEING A REPLAT OF LOT 8, BLOCK A, LAKESHORE
COMMONS AN ADDITION TO THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NUMBER - P2020-****
ONE LOT 1.401 ACRES

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Title Registration No. F-2776 www.WierAssociates.com
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CONTACT: WORTH WILLIAMS
PH: (214) 415-9993

SURVEYOR
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ARLINGTON, TEXAS 76006
CONTACT: RANDY EARDLEY, P.E.
PH: (817) 467-7700
FAX: (817) 467-7713

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS MOORE WORTH INVESTMENTS, LLC, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE JOHN H.B. JONES SURVEY, ABSTRACT No. 124, ROCKWALL COUNTY, TEXAS, BEING ALL OF LOT 8, BLOCK A, LAKESHORE COMMONS, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN INSTRUMENT No. 20180000021911, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT AN "X" CUT FOUND IN THE SOUTH RIGHT-OF-WAY LINE OF NORTH LAKESHORE DRIVE (A VARIABLE WIDTH RIGHT-OF-WAY), BEING THE NORTHWEST CORNER OF SAID LOT 8, AND THE NORTHEAST CORNER OF LOT 5, BLOCK A, LAKESHORE COMMONS, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN INSTRUMENT No. 2018000008585, O.P.R.R.C.T.;

THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID NORTH LAKESHORE DRIVE AND THE NORTH LINE OF SAID LOT 8 AS FOLLOWS:

- (1) N 86°58'24" E, 80.03 FEET TO A 5/8" IRON ROD FOUND WITH A CAP STAMPED "STOVALL & ASSOC", BEING THE BEGINNING OF A CURVE TO THE RIGHT;
- (2) EASTERLY, AN ARC LENGTH OF 44.60 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 240.00 FEET, A DELTA ANGLE OF 10°38'54" AND A CHORD BEARING OF S 87°42'09" E, 44.54 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WER & ASSOC INC" BEING THE BEGINNING OF A REVERSE CURVE TO THE LEFT;
- (3) EASTERLY, AN ARC LENGTH OF 65.42 FEET ALONG SAID REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 260.00 FEET, A DELTA ANGLE OF 14°25'01" AND A CHORD BEARING OF S 89°35'12" E, 65.25 FEET TO A 5/8" IRON ROD FOUND WITH A CAP STAMPED "STOVALL & ASSOC", BEING THE BEGINNING OF A COMPOUND CURVE TO THE LEFT;
- (4) EASTERLY, AN ARC LENGTH OF 21.09 FEET ALONG SAID COMPOUND CURVE TO THE LEFT, HAVING A RADIUS OF 902.50 FEET, A DELTA ANGLE OF 01°20'20" AND A CHORD BEARING OF N 82°32'06" E, 21.09 FEET TO A 5/8" IRON ROD FOUND WITH A CAP STAMPED "STOVALL & ASSOC", BEING THE MOST NORTHERLY NORTHEAST CORNER OF SAID LOT 8 AND THE BEGINNING OF A REVERSE CURVE TO THE RIGHT;
- (5) SOUTHEASTERLY, AN ARC LENGTH OF 85.01 FEET ALONG SAID REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 80.00 FEET, A DELTA ANGLE OF 60°53'00" AND A CHORD BEARING OF S 67°41'34" E, 81.07 FEET TO A 5/8" IRON ROD FOUND WITH A CAP STAMPED "STOVALL & ASSOC", IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (A VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE MOST EASTERLY NORTHEAST CORNER OF SAID LOT 8;

THENCE S 14°17'14" E, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET AND THE EAST LINE OF SAID LOT 8, 165.99 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WER & ASSOC INC" BEING THE SOUTHEAST CORNER OF SAID LOT 8 AND THE NORTHEAST CORNER OF LOT 6 BLOCK A, LAKESHORE COMMONS ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN INSTRUMENT No. 20180000018401, O.P.R.R.C.T.;

THENCE ALONG THE SOUTH LINE OF SAID LOT 8 AND THE NORTH LINE OF SAID LOT 6 AS FOLLOWS:

- (1) S 75°42'46" W, DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 74.36 FEET TO AN "X" CUT SET;
- (2) S 86°59'47" W, 154.50 FEET TO A 5/8" IRON ROD FOUND WITH A CAP STAMPED "STOVALL & ASSOC";
- (3) S 42°07'52" W, 17.76 FEET TO A 5/8" IRON ROD FOUND WITH A CAP STAMPED "STOVALL & ASSOC";
- (4) N 72°08'04" W, 46.17 FEET TO AN "X" CUT FOUND;
- (5) N 47°04'05" W, AT A DISTANCE OF 22.78 FEET PASSING THE NORTHWEST CORNER OF SAID LOT 3 AND AN ELL CORNER OF SAID LOT 5, CONTINUING ALONG THE EAST LINE OF SAID LOT 5 IN ALL A TOTAL DISTANCE OF 33.07 FEET TO AND "X" CUT FOUND IN THE EAST LINE OF SAID LOT 5 AND THE WEST LINE OF SAID LOT 8;

THENCE ALONG THE EAST LINE OF SAID LOT 5 AND THE WEST LINE OF SAID LOT 8 AS FOLLOWS:

- (1) N 03°01'36" W, 116.19 FEET TO AN "X" CUT FOUND, BEING THE BEGINNING OF A CURVE TO THE LEFT;
- (2) NORTHWESTERLY, AN ARC LENGTH OF 27.09 FEET ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 35.00 FEET, A DELTA ANGLE OF 44°20'38" AND A CHORD BEARING OF N 25°28'00" W, 26.42 FEET TO AN "X" CUT FOUND;
- (3) N 03°01'36" W, 50.01 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1.401 ACRES (61,014 SQUARE FEET) OF LAND, MORE OR LESS.

SURVEYOR'S CERTIFICATION:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 6373 ON March 20, 2020. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."

AARON L. STRINGFELLOW REGISTERED PUBLIC SURVEYOR
STATE OF TEXAS NO. 6373
EMAIL: AARONL@WIERASSOCIATES.COM

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF DALLAS

I THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 9, BLOCK A, LAKESHORE COMMONS TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOT 9, BLOCK A, LAKESHORE COMMONS HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I ALSO UNDERSTAND THE FOLLOWING:

- 1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
- 2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM OR ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
- 3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
- 4. THE DEVELOPER AND ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
- 5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
- 6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND FINISH, CURB AND CUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT; BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS, BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ANY DRAINAGE SYSTEMS IN EASEMENTS.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY. I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTION'S MADE HEREIN.

WITNESS OUR HANDS THIS THE ____ DAY OF _____, 2020:

FOR: MOORE WORTH INVESTMENTS, LLC

OWNER

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED OF MOORE WORTH INVESTMENTS, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PRINTED NAME

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION, CHAIRMAN _____ DATE _____

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2020.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2020.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

GENERAL NOTES:

- 1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFOR. ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
- 2. THE PURPOSE OF THIS REPLAT IS TO ABANDON THE WATER EASEMENT INDICATED HEREON, AND CREATE THE WATER EASEMENT INDICATED HEREON.

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED THE FOREGOING INSTRUMENT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PRINTED NAME

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REPLAT
LOT 9, BLOCK A
LAKESHORE COMMONS
BEING A REPLAT OF LOT 8, BLOCK A, LAKESHORE COMMONS AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NUMBER - P2020-***
ONE LOT 1.401 ACRES

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
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SURVEYOR
WIER & ASSOCIATES, INC.
2201 EAST LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: RANDY EARDLEY, P.E.
PH: (817) 467-7700
FAX: (817) 467-7713

SHEET 2 OF 2

DATE: 3/20/2020
W.A. No. 17144

 Map-Check RPL2RBAL 10/11/18 10:55:19 Factor: 1.000000

Correct End - N: 5000.00000 E: 5000.00000
 Calc. End - N: 4999.99872 E: 4999.99845
 Error - N: -0.00 E: -0.00 Total: 0.00 Brg: N 50-28-50 E
 Distance Traversed: 976.44 Closure: 487077

No Adjustment

Bearing	Distance	North	East	Elevation	Pt.No.	
		5000.00000	5000.00000		1	
N 86-58-24 E	80.03	5004.22564	5079.91836		2	
RAD: 240.00 LEN: 44.60 TAN: 22.37 CEN.ANG: 10-38-54 CHORD: 44.54 MO: 1.04 EXT: 1.04 DEGREE: 23-52-24 SEG: 31 TRI: 5322 SEC: 5352						
S 03-01-36 E	240.00	4764.56043	5092.59054	0.000	3	PC->RP
N 07-37-18 E	240.00	5002.44014	5124.42203		4	RP->PT
S 87-42-09 E	44.54	5002.44014	5124.42203		4	PC->PT
RAD: 260.00 LEN: 65.42 TAN: 32.88 CEN.ANG: 14-25-01 CHORD: 65.25 MO: 2.05 EXT: 2.07 DEGREE: 22-02-13 SEG: 89 TRI: 8415 SEC: 8505						
N 07-37-18 E	260.00	5260.14307	5158.90677		5	PC->RP
S 06-47-42 E	260.00	5001.96943	5189.66990		6	RP->PT
S 89-35-12 E	65.25	5001.96943	5189.66990		6	PC->PT
RAD: 902.50 LEN: 21.09 TAN: 10.55 CEN.ANG: 1-20-20 CHORD: 21.09 MO: 0.06 EXT: 0.06 DEGREE: 6-20-55 SEG: 1 TRI: 9516 SEC: 9517						
N 06-47-44 W	902.50	5898.12909	5082.87983		7	PC->RP
S 08-08-04 E	902.50	5004.70934	5210.58031		8	RP->PT
N 82-32-06 E	21.09	5004.70934	5210.58031		8	PC->PT
RAD: 80.00 LEN: 85.01 TAN: 47.01 CEN.ANG: 60-53-00 CHORD: 81.07 MO: 11.03 EXT: 12.79 DEGREE: 71-37-11 SEG: 605 TRI: 2796 SEC: 3400						
S 08-08-04 E	80.00	4925.51424	5221.90002		9	PC->RP
N 52-44-56 E	80.00	4973.93899	5285.57925		10	RP->PT
S 67-41-34 E	81.07	4973.93899	5285.57925		10	PC->PT

S 14-17-14 E	165.99	4813.08293	5326.54274	11
S 75-42-46 W	74.36	4794.73216	5254.48263	12
S 86-59-47 W	154.50	4786.63653	5100.19488	13
S 42-07-52 W	17.76	4773.46550	5088.28095	14
N 72-06-04 W	46.17	4787.65531	5044.34556	15
N 47-04-05 W	33.07	4810.18025	5020.13292	16
N 03-01-36 W	116.19	4926.20817	5013.99801	17

RAD: 35.00 LEN: 27.09 TAN: 14.26 CEN.ANG: 44-20-38
 CHORD: 26.42 MO: 2.59 EXT: 2.79 DEGREE: 163-42-08
 SEG: 46 TRI: 428 SEC: 474

S 86-42-19 W	35.00	4924.19665	4979.05586	18	PC->RP
N 42-21-41 E	35.00	4950.05848	5002.63902	19	RP->PT
N 25-28-00 W	26.42	4950.05848	5002.63902	19	PC->PT
N 03-01-36 W	50.01	4999.99872	4999.99845	20	

Approx: Sq.Feet: 61014 Acres: 1.401



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Jack Cannedy; *Buzz Custom Fence*
CASE NUMBER: MIS2020-005; *Special Exception for 1020 Ivy Lane*

SUMMARY

Discuss and consider a request by Jack Cannedy of Buzz Custom Fence on behalf of Adam Archer for the approval of a Special Exception to the fence standards contained in Ordinance No. 19-08 and the Unified Development Code (UDC) for a 0.1843-acre parcel of land identified as Lot 6, Block D, Park Place West, Phase II Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 59 (PD-59) for Single-Family 7 (SF-7) District land uses, and take any action necessary.

BACKGROUND

On March 7, 2005, the City Council approved a final plat [P2005-007] for the Park Place West, Phase 2 subdivision, which established the subject property. The subject property is zoned Planned Development District 59 (PD-59) [Ordinance No. 19-08] for Single Family 7 (SF-7) District land uses. This Planned Development District originally established on October 18, 2004 by Ordinance No. 04-59, and was later amended on February 4, 2019 by Ordinance No. 19-08. According to the Rockwall Central Appraisal District there is a ~3,241 SF single-family home situated on the subject property that was constructed in 2017.

PURPOSE

The applicant is requesting approval of a special exception to allow a fence material that does not meet the requirements stipulated by Ordinance No. 19-08 (i.e. Planned Development District 59 [PD-59]).

ADJACENT LAND USES AND ACCESS

The subject property is located at 1020 Ivy Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Ivy Lane, which is identified as a *R2 (residential, two [2]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Beyond this, there are several single-family homes within the Park Place Subdivision, followed by E. Washington Street, which is identified as a *TxDOT4D (Texas Department of Transportation, four [4]-lane, divided roadway)* on the City's Master Thoroughfare Plan. These areas are zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is a large vacant tract of land, which will be the third phase of the Park Place West Subdivision. Following this, is Park Place Boulevard, which is identified as a *Minor Collector on the City's Master Thoroughfare Plan*. Further south, there is a railroad (i.e. *Union Pacific/Dallas Garland N. E. Railroad*) and several light industrial facilities (i.e. *Rockwall County Maintenance Facility, Whitmore Manufacturing, etc.*). These areas are zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses and Light Industrial (LI) District.

East: Directly east of the subject property there are several single-family homes within the Park Place Subdivision followed by Park Place Boulevard, which is identified as a *Minor Collector on the City's Master Thoroughfare Plan*. Beyond this, there are several single-family homes within the Park Place Subdivision followed by a light industrial facility (i.e. *SPR Manufacturing*). These areas are zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses and Light Industrial (LI) District.

West: Directly west of the subject property there are several single-family homes within the Park Place Subdivision followed by Renfro Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this, there are several single-family homes followed by Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are zoned Planned Development District 59 (PD-59) and Single-Family 7 (SF-7) District land uses.

CHARACTERISTICS OF THE REQUEST:

The applicant is proposing to install a SimTek fence along the rear property line. The proposed fence will be approximately 73-feet in length, and will be constructed of a composite polyethylene material that will have a look that is similar to a cedar fence. The panel will be six (6) feet in height and have a nominal thickness of two (2) inches. According to the district development standards contained within *Ordinance No. 19-08* of Planned Development District 59 (PD-59), all fences shall be required to be wrought-iron, tubular steel, or vinyl. Since the proposed fence is not one of these materials, the applicant is requesting a fence exception in accordance with Section 08.03(B)(3), *Special Exceptions*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), which states that "(t)he Planning and Zoning Commission may consider alternative materials that are permitted by Subsection 08.02(B) (e.g. vinyl or split rail fencing) and/or alternative fence standards on a case-by-case basis..." Staff should note that the composite polyethylene material is very similar to a vinyl fence, and that there are currently several vinyl fences in the Park Place Subdivision. It should also be noted that staff has spoken to a representative from the Homeowner's Association (HOA) [i.e. Bill Bricker] who expressed that there was no issue with this fence material. With this being said, this request is a discretionary decision for the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a special exception to the fence material, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall Project Plan Review History



Project Number	MIS2020-005	Owner	ADAM ARCHER	Applied	3/19/2020	AG
Project Name	1020 IVY LANE	Applicant	JACK CANNEDY	Approved		
Type	MISCELLANEOUS			Closed		
Subtype				Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
1020 IVY LANE	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
PARK PLACE WEST PH 2	6	D	6	4621-000D-0006-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
Building Inspections Di	Russell McDowell	3/23/2020		3/23/2020		APPROVED	
ENGINEERING	Sarah Johnston	3/26/2020	4/2/2020	3/26/2020		APPROVED	
Fire Department	Ariana Hargrove	3/25/2020		3/25/2020		APPROVED	
PLANNING	Korey Brooks	3/26/2020	4/2/2020	4/8/2020	13	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>MIS2020-005; Special Exception for Fence Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request request by Jack Cannedy of Buzz Custom Fence on behalf of Adam Archer for the approval of a Special Exception to the fence standards contained in Ordinance No. 19-08 and the Unified Development Code (UDC) for a 0.1843-acre parcel of land identified as Lot 6, Block D, Park Place West, Phase II Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) for Single-Family 7 (SF-7) District land uses.</p> <p>I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (MIS2020-005) in the lower right-hand corner of all pages on future submittals.</p> <p>I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).</p> <p>M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <p>1) Although you have provide a spec for the fence, please provide an updated letter stating that this is a composite fence, not a vinyl fence.</p> <p>I.6 Please note that failure to address all comments provided by staff by5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.7 The Planning & Zoning Meeting April 14, 2020.</p> <p>i.8 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.</p>						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. MIS 2020-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00) ✓

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1020 IVY LANE

Subdivision PARK PLACE WEST

Lot 6 Block D

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-59 (residential)

Current Use Single family residence

Proposed Zoning Same

Proposed Use Same

Acreage .2

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Adam Archer

Applicant BUZZ CUSTOM FENCE

Contact Person

Contact Person JACK CANNEDY

Address 1020 Ivy Lane

Address 5104 W. VICKERY

City, State & Zip Rockwall, TX 75087

City, State & Zip FORT WORTH, TX 76107

Phone 214-532-6935

Phone 214 384 0432

E-Mail adam.w.archer@gmail.com

E-Mail JCANNEDY@BUZZFENCE.COM

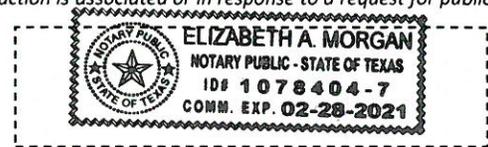
NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Adam Archer [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 19 day of March, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 19 day of March, 20 20.

Owner's Signature



Notary Public in and for the State of Texas

Elizabeth A Morgan

My Commission Expires

02-28-2021



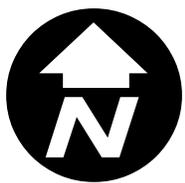
MIS2020-005- FENCE EXCEPTION FOR 1020 IVY LANE
MISCELLANEOUS - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



ARC Request

Adam and Shauna Archer are kindly requesting ARC approval to install a brown vinyl fence along the rear of our property that will blend in with the natural environment.

The next few slides show the current conditions of our home, which has changed the backyard views our home was designed around, as well as introducing a new privacy concern with construction and new drainage for Phase III.

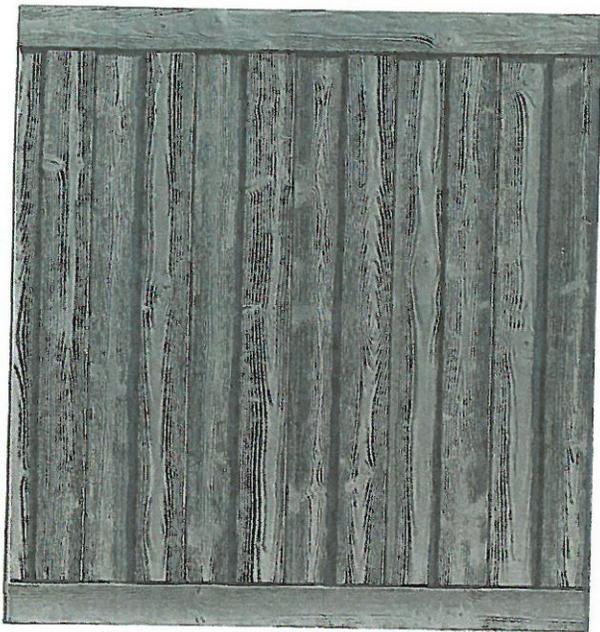
We have included the brand, style and color of the fence we would like to purchase and install.

As we believe, there are currently only 2 vinyl fences in the neighborhood: a tan fence that we installed at 1008 Ivy Lane in 2008 and another that is white at 914 Ivy Lane.

With additional construction underway in Phase III, we would like to suggest an additional fence option that the ARC can easily approve in order to provide a more natural landscape as well as privacy along these lots, for current and future homeowners.



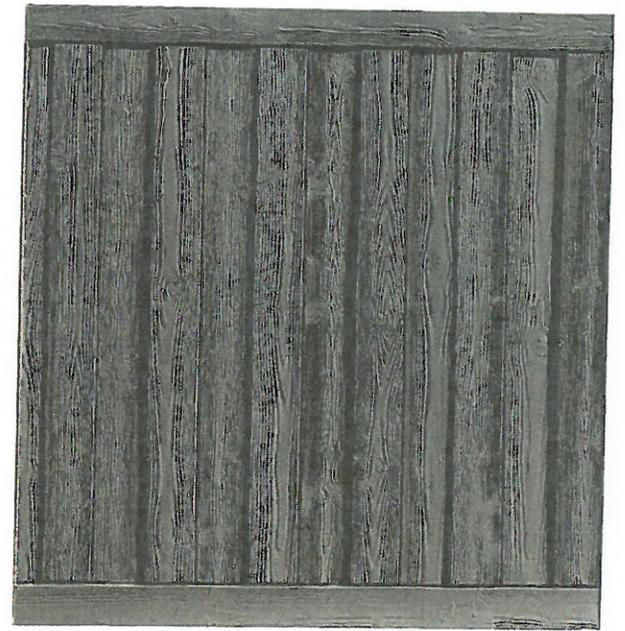
Other colors available



Nantucket Gray



Red Cedar



Walnut Brown

Park Place construction and installation approval by Park Place West HOA ARC

Homeowner	Address		
Archer	1020 Ivy Lane		
Item	Description	Date	ARC Signature
Home plans and design, style approval	_____	_____	_____
Site plan, grading and drainage plan approval	_____	_____	_____
Permit letter issued to City for start of construction	_____	_____	_____
House main body color approval	_____	_____	_____
Trim color approval	_____	_____	_____
Door type approval if different from plan	_____	_____	_____
Door color approval	_____	_____	_____
Roof material and color approval	_____	_____	_____
Foundation material and color	_____	_____	_____
Stone or brick chimney color and material approval	_____	_____	_____
Material for porch or sidewalk if not natural concrete	_____	_____	_____
Porch railing style, type and color	_____	_____	_____
Flower bed design, edging and materials	_____	_____	_____
Rear porche details if not on plan	_____	_____	_____
Fencing location, type and color approval	<u>As submitted</u>	<u>11-20</u>	<u>AW Bricker</u>
Diviation from plan request approval (if any)	_____	_____	_____
Diviation from plan request approval (if any)	_____	_____	_____
Mailbox ordered from HOA (billed to owner)	_____	_____	_____
House number plaque issued (provided)	_____	_____	_____

Ashland 6x6 Walnut Brown - rear property line only.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: MIS2020-006; *Exception to the Utility Placement Requirements for the Northgate Subdivision*

SUMMARY

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf Northgate Rockwall LD LP for the approval of a Special Exception to the utility placement requirements for overhead utilities in conjunction with a single-family residential subdivision on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of N. Stodghill Road [FM-3549] and Clem Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on December 1, 2008 by *Ordinance No. 08-66*. Upon annexation the subject property was zoned Agricultural (AG) District. On July 1, 2019, the City Council approved *Case No. Z2019-012 [Ordinance No. 19-26]*, which changed the zoning of the subject property from an Agricultural (AG) District to Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses. Upon approval of the zoning case, the applicant submitted a Master Plat [*Case No. P2019-030*] and Site Plan [*Case No. SP2019-028*] for the Northgate Subdivision, which is a 40-lot single-family subdivision with lots that are a minimum of one (1) acre in size. Following these approvals, the applicant submitted a Preliminary Plat [*Case No. P2019-029*], which was approved by the City Council on August 19, 2019. The Northgate Subdivision's civil plans are currently being reviewed by the Engineering Department.

PURPOSE

The applicant is requesting a special exception to utility placement requirements stipulated by the Unified Development Code (UDC) and the Municipal Code of Ordinances to allow the construction of overhead powerlines along a portion of Clem Road.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southwest corner of Clem Road and N. Stodghill Road [FM-3549]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Clem Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several single-family residential homes that are zoned Single-Family Estate 4.0 (SFE-4.0), Single-Family Estate 1.5 (SFE-1.5), and Single-Family 1 (SF-1) Districts.

South: Directly south of the subject property are the corporate limits of the City of Rockwall, followed by single-family homes on estates lots situated within the City's Extraterritorial Jurisdiction (ETJ). Beyond this is Cornelius Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is the corporate limits of the City of Rockwall. Beyond this is N. Stodghill Road, which is situated within the City of Fate and the City of Fate's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property are two (2) large tracts of land (*i.e. Tracts 22-05 & 24 of the W. M. Dalton Survey, Abstract No. 72*) zoned Agricultural (AG) District and which have single-family homes situated on them. Beyond this are the corporate limits of the City of Rockwall followed by a 20.74-acre tract of land (*i.e. Tract 22 of the W. M. Dalton Survey, Abstract No. 72*) that is situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). This property is currently under a 212 Development Agreement [Case No. A2010-002].

CHARACTERISTICS OF THE REQUEST:

Currently, there is overhead powerlines (*utility distribution lines*) along Clem Road. The applicant is proposing to construct a 40-lot residential subdivision on a 61.45-acre tract of land adjacent to Clem Road. Per the requirements of the Unified Development Code (UDC) and the Municipal Code of Ordinances, as part of the proposed subdivision the applicant is required to construct half of Clem Road to a *Minor Collector* specification (*i.e. a 41-foot back-to-back concrete street in a 60-foot right-of-way*) per the City's Master Thoroughfare Plan, which involves dedicating the required right-of-way and constructing a 20-foot portion of this roadway. In doing this, the existing overhead powerlines will be required to be relocated. According to Section 03.03, *Utility Distribution Lines*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(a)ll utility distribution lines shall be placed underground ... Utility distribution lines placed above-ground shall require special approval of the City Council based upon a recommendation of the Planning and Zoning Commission." In addition, Section 38-15, *Miscellaneous Requirements*, of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances states that, "(a)ll power and telephone service shall be underground ... No overhead service will be allowed without special permission being given by the City Council." Based on this, the applicant has submitted a letter stating that it would be cost prohibitive to relocate the powerlines underground based on the requirements stipulated by the Farmer's Electric Company (FEC). Staff should note that a meeting was held between representatives of FEC, the applicant, and staff to try and work through this issue; however, no satisfactory agreement could be reached. The representatives from FEC stated two (2) issues with burying the powerlines: [1] the extra cost was tied to the need to loop the powerlines (*much like the City does with its waterlines*), and [2] the overhead powerlines currently serve customers on the other side of the road and there would be a cost associated with reconfiguring their connections. The applicant has indicated to staff that he is waiting on a letter from FEC stating these issues; however, as of the date of this case memo the applicant had not received anything from FEC.

According to Section 09.01, *Exceptions to the General Standards*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC) where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship ... In cases where an exception ... is ... being requested, the applicant shall provide compensatory measures that directly offset the requested exception." In this case, the applicant is required to construct a 20-foot concrete section of Clem Road, from the subject property's western boundary to the subject property's eastern boundary, connecting into N. Stodghill Road [FM-3549]. The applicant is not technically required to build a portion of this roadway (*approximately 210-feet*) because there is an intervening property (*i.e. 961 Clem Road*) that the applicant does not own, that the subject property completely surrounds on three (3) sides, and that has frontage on Clem Road. As a compensatory measure, the applicant has agreed to engage this property owner to obtain the required dedication and pave this portion of the roadway (*i.e. the portion in front of 961 Clem Road*). From the City's standpoint this avoids an issue with having two (2) transitions (*i.e. transitioning from the existing roadway to the new roadway*) within a close proximity. This may justify the special exception; however, special exceptions are discretionary decisions for the Planning and Zoning Commission and City Council, and each exception request should be considered on a case-by-case basis. Staff should note that the approval of any special exception request requires a three-quarter (¾) majority vote of the City Council.

CONDITIONS OF APPROVAL

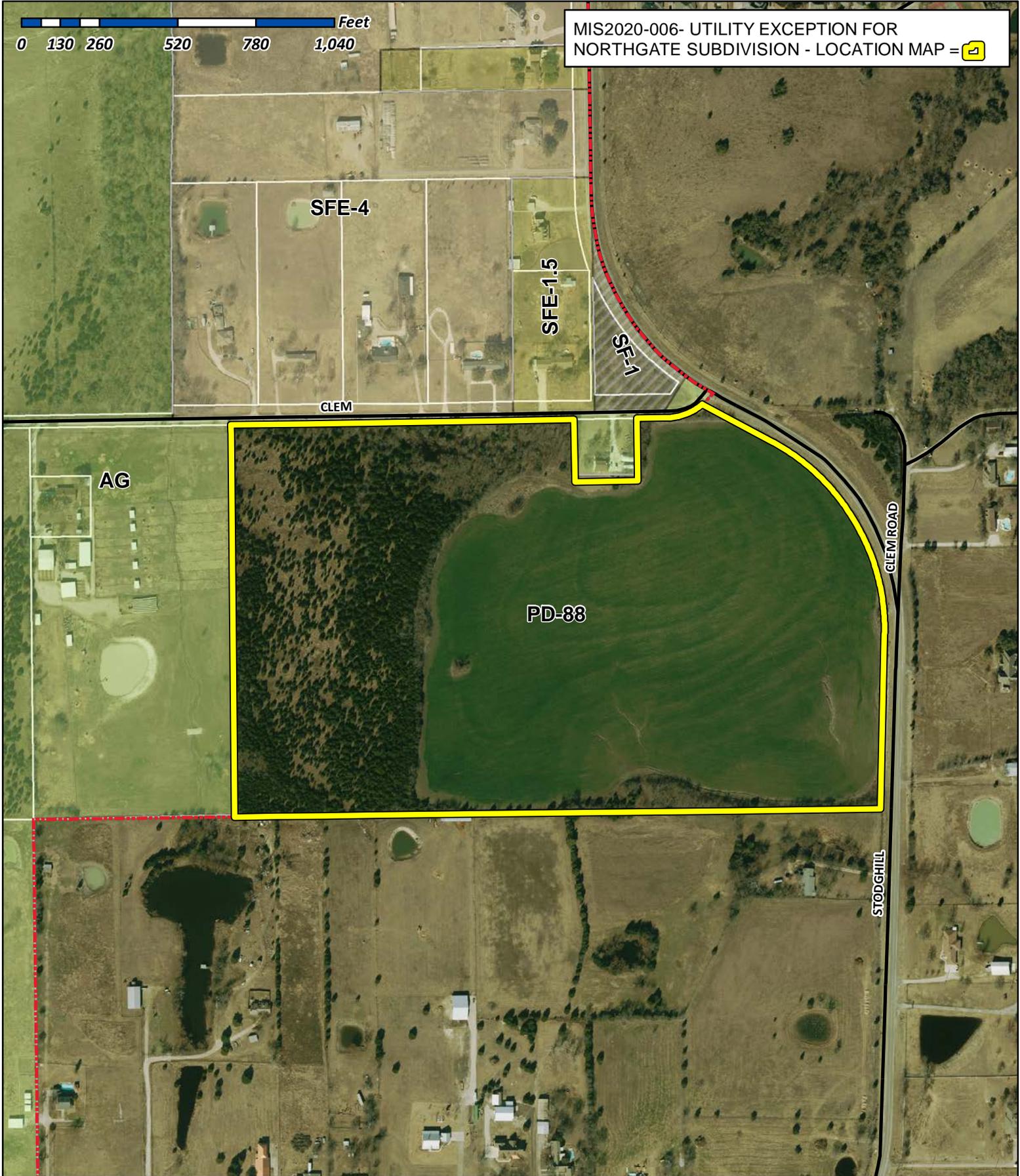
If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a special exception, then staff would propose the following conditions of approval:

- (1) If approved the applicant will be required to revise the civil engineering plans to include the 20-foot roadway in front of 961 Clem Road; and
- (2) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city

adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 130 260 520 780 1,040 Feet

MIS2020-006- UTILITY EXCEPTION FOR NORTHGATE SUBDIVISION - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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1189 Waters Edge Drive
Rockwall, TX 75087

April 4, 2020

Mr. Ryan Miller
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087

RE: Request for Variance to Underground Ordinance, Northgate Development

Mr. Miller:

I am writing in request of an appointment with recommendation to council at the April 14th 2020 Planning and Zoning meeting to be held in the City of Rockwall Council Chambers.

Since approval in July of 2019, the Northgate development team has been diligently moving toward an engineering approval and ground breaking in the next few weeks. We have worked to overcome a number of hurdles and unforeseen issues and worked directly with our engineer, Rockwall City Staff and Engineering to finalize everything.

We strive to conform to the applicable development code as closely as possible but there is one issue that we are struggling to overcome. I would like to request a variance to the overhead service line requirements. The requirement would require the lines as shown in yellow on the Exhibit "A" to be buried. While this is normally a pretty straight forward issue, in this case the answer is not as simple as placing the lines underground. This particular line services an area that far exceeds the boundaries of the Northgate Development. The line serves approximately 12 rural properties located within the city limits. These areas are highlighted in green on the attached Exhibit "B".

Exhibit "B" shows the areas that are currently served by the existing line. To bury this line would require a significant amount of infrastructure work to be completed outside the realm of the property that is currently being developed for the Northgate Subdivision. These improvements would require several additional offsite easements, the placement of 2 large switch gears, and the addition of several thousand feet of buried wires in order to facilitate all



1189 Waters Edge Drive
Rockwall, TX 75087

existing houses continued to be served by existing overhead service while maintaining a buried line along the perimeter of the property.

All interior lots will be serviced by an underground with service being looped through the develop from the existing lines along Clem road and looping back around to the lines on the Southeastern portion of the development. There is no issue with providing the interior lots as it will be a direct feed being supplied of the existing lines.

I request a variance to allow the existing overhead lines along Clem Road to remain in place while still adhering to the development ordinance for underground service for all new interior lots of the development. I understand the spirit and intention behind this ordinance, however the improvements and easements needed to service the areas as shown in Exhibit "B" amount to an unsurmountable cost for our project.

Additionally, if granted this variance, Northgate is willing to pave the 20' street section detail improving Clem Road as well as improvements along the frontage of the existing single family residence located along the Southern portion of Clem Road. This additional paving would be subject to the owner dedicated the required 30' of Right of Way as Northgate is also doing.

Allowing for a waiver to the city's requirement to bury the existing overhead powerline would make developing the Northgate property feasible. I want to be clear that all facilities located within the Northgate development shall be underground as required. The only overhead line would be the existing lines along Clem Road.

I thank you for your continued support to bring this development to the City of Rockwall with large estate lots. I look forward to discussing this request at the April 14th 2020 Planning and Zoning Meeting.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ryan Joyce', written over a light blue horizontal line.

Ryan Joyce

Michael Joyce Properties

Exhibit "A"



1189 Waters Edge Drive
Rockwall, TX 75087

Exhibit "B"



City of Rockwall Project Plan Review History



Project Number Z2020-009	Owner J R FLEMING INVESTMENTS LLC	Applied 3/13/2020	AG
Project Name 2635 Observation Trail, Suite 110	Applicant BRIAN PARSONS	Approved	
Type ZONING		Closed	
Subtype SUP		Expired	
Status Staff Review		Status	
Site Address 2935 OBSERVATION		City, State Zip ROCKWALL, TX 75032	
Subdivision ROCKWALL TECHNOLOGY PARK		Tract 9	Block D
		Lot No 9	Parcel No 4816-000D-0009-00-OR
			General Plan
			Zoning

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/13/2020	3/20/2020				
ENGINEERING	Sarah Johnston	3/13/2020	3/20/2020	3/26/2020	13	APPROVED	
FIRE	Ariana Hargrove	3/13/2020	3/20/2020	3/25/2020	12	APPROVED	
PLANNING	David Gonzales	3/13/2020	3/20/2020	3/30/2020	17	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(3/30/2020 4:28 PM DG)						Z2020-009; SUP for Indoor Motor Vehicle Dealership– 2635 Observation Trail Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request for the approval of a Specific Use Permit (SUP) for a New and/or Used Indoor Motor Vehicle Dealership/Showroom on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110.
I.2						For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.
M.3						For reference, include the case number (Z2020-009) in the lower right-hand corner of all pages of all revised plan submittals(if any).
I.4						This project is subject to all requirements stipulated by the Unified Development Code(UDC), and the Development Standards of Article 04 & Article 05 that are applicable to the subject property.
M.5						Please review the draft ordinance when received by staff and provide comments to staff by April 21, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting(i.e. Public Hearing) to be held on April 28, 2020.
M.6						Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a New and/or Used Indoor Motor Vehicle Dealership/Showroom on the Subject Property, and conformance to these operational conditions is required for continued operations
(a)						The sales/storage facility must be a completely enclosed building
(b)						Outside display or storage of vehicles shall be prohibited This includes storing vehicles under canopies/awnings or similar covered structures.
(c)						All activities shall remain inside the building (i.e. no detailing, sales activities, et cetera shall be performed outside the building).
(d)						Accessory uses may be allowed in compliance with Land Use Schedule.
I.7						Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested Revisions for this case will be due on April 21, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 28, 2020 Planning & Zoning Meeting (Public Hearing).
I.8						Please note the scheduled meetings for this case:
1)						Planning & Zoning Work Session meeting will be held on April 14, 2020.
2)						Planning & Zoning Public Hearing meeting will be held on April 28, 2020.
3)						City Council Public Hearing will be held on May 4, 2020. (1st Reading of Ordinance)
4)						City Council meeting will be held on May 18, 2020. (2nd Reading of Ordinance)
I.9						Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2635 Observation Trail, Suite 110, Rockwall, Texas

Subdivision Rockwall Technology Park

Lot

g

Block

D

General Location Rockwall Technology Park

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial

Current Use Manufacturing/Distribution

Proposed Zoning SUP

Proposed Use Manufacturing/Dist'n/Indoor Auto Showroom

Acreage 11.153

Lots [Current]

N/A

Lots [Proposed]

N/A

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner J R Fleming Investments

Applicant Brian Parsons

Contact Person Jeff Fleming

Contact Person

Address PO Box 489

Address 2635 Observation Trail

City, State & Zip Rockwall, Texas 75087

City, State & Zip Rockwall, Texas 75032

Phone 214.503.2581

Phone 940.452.0143

E-Mail FlemingJ@InterstateWire.com

E-Mail ParsonsB@InterstateWire.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature _____

Notary Public In and for the State of Texas _____

My Commission Expires _____



2635 Observation Trail
Rockwall, Texas 75032
214.503.2581 phone
800.527.0010 sales
www.interstatewire.com

March 12, 2020

Mr. Ryan Miller
Director of Planning & Zoning
Planning and Zoning Division
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087

Re: Specific Use Permit for Interstate Classic Cars, Suite 110

Mr. Miller,

Please accept this summary as an addendum to the Development Application, as prepared and submitted concurrently, in support of the proposed zoning revision for our applicable property located at 2635 Observation Trail, Rockwall. The existing facility is composed of three suites, with Suites 120 and 130 being appropriately categorized as Light Industrial, with only the third suite being included within the scope of this request for a Specific Use Permit. This suite, Suite 110, consumes approximately 10,000 sq. ft. of the estimated 250,000 sq. ft. structure.

Mr. Jeff Fleming (J R Fleming Investments) recently relocated his manufacturing and distribution businesses (Interstate Wire Company, Inc and Agave Wire LLC) to Rockwall, Texas, as a result of the promotional efforts conducted by the Rockwall Economic Development Corporation. Part of the relocation initiative included the relocation of Interstate Classic Cars (ICC), an Indoor Motor Vehicle Showroom, which includes a private collection of antique and/or special interest vehicles. ICC may acquire or dispose of five to ten vehicles per a year, with an inventory not exceeding twenty vehicles at any time within the past five years.

Please note that all planned activities at this location will comply with restrictions as defined within Subsection 2.03, Auto and Marine-Related Land Uses, New and/or Used Indoor Motor Vehicle Dealership/Showroom. All vehicles and related activities will be contained and enclosed within the building envelope, with no outside storage or display. Hours of operations will be limited to appointments only, with the showroom not being open to the general public.

If you have any questions or concerns regarding the application or this addendum, please contact me at your convenience at the number above, or email at parsonsb@interstatewire.com.

Best Regards,

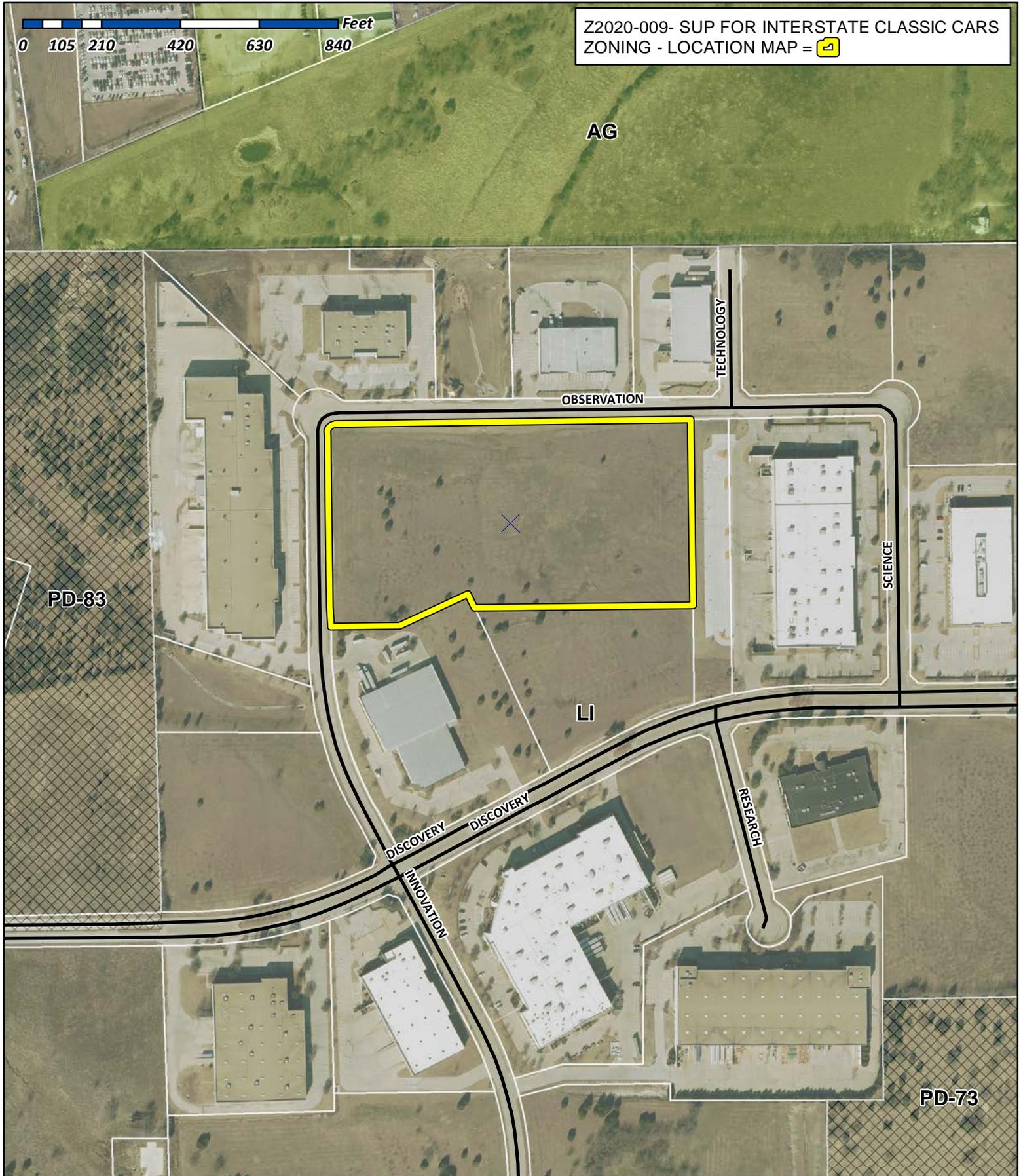


W. Brian Parsons
President & CEO
Interstate Wire Company, Inc.

Cc Jeff Fleming



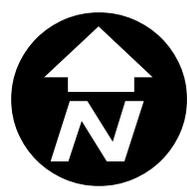
Z2020-009- SUP FOR INTERSTATE CLASSIC CARS ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

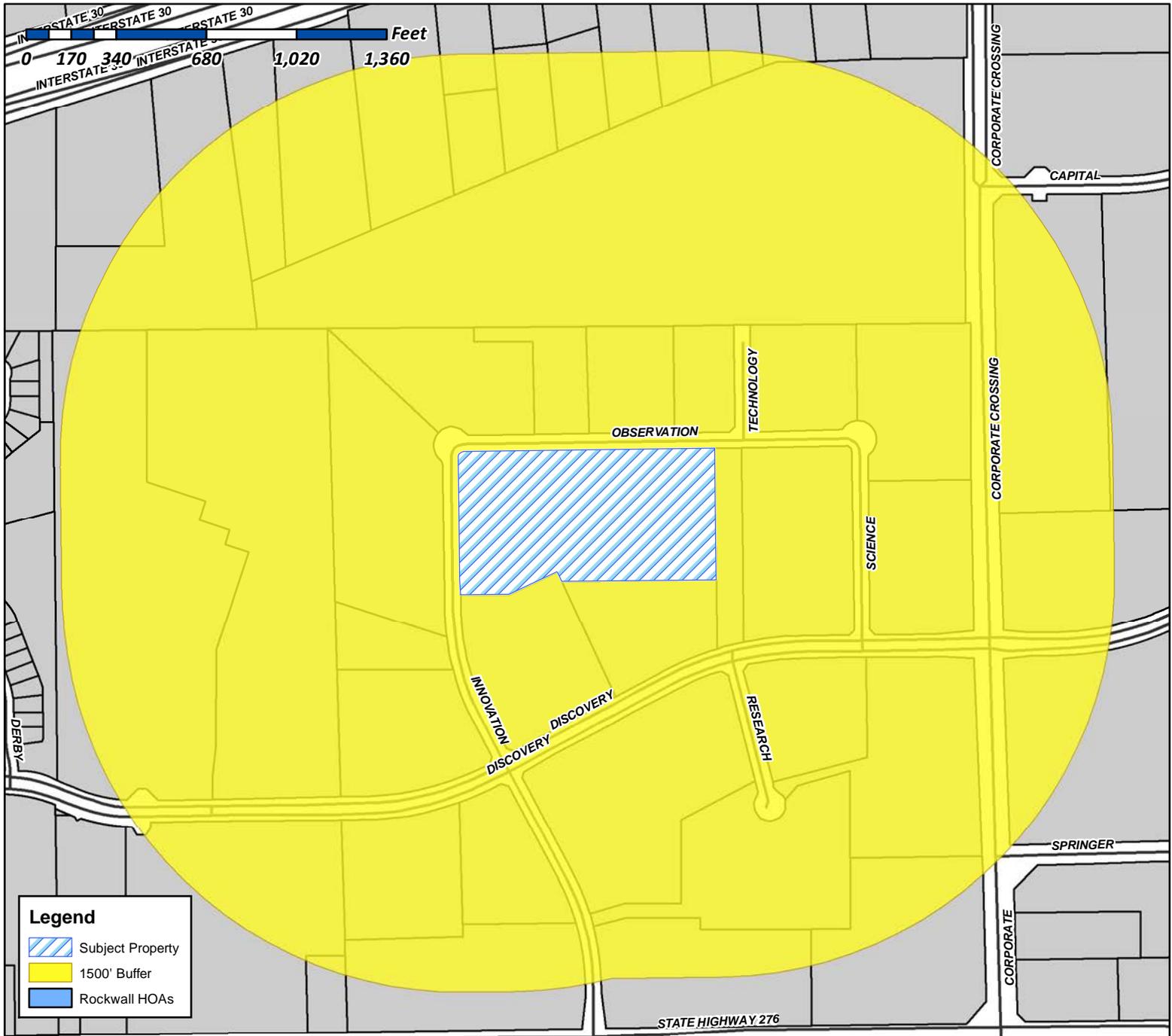




City of Rockwall

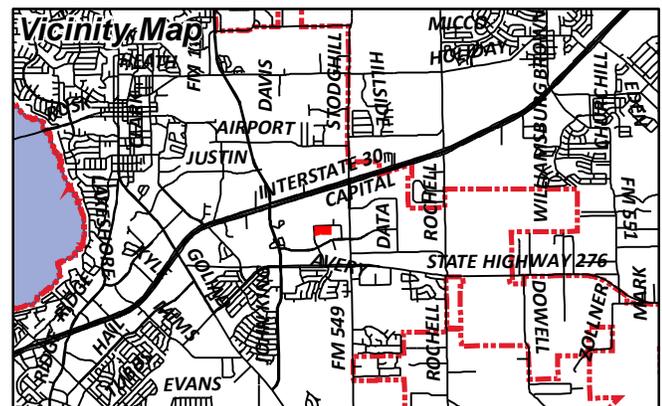
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Case Number: Z2020-009
Case Name: SUP for Interstate Classic Cars
Case Type: Specific Use Permit
Zoning: Light Industrial (LI) District
Case Address: 2635 Observation Trail, Suite 110

Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745

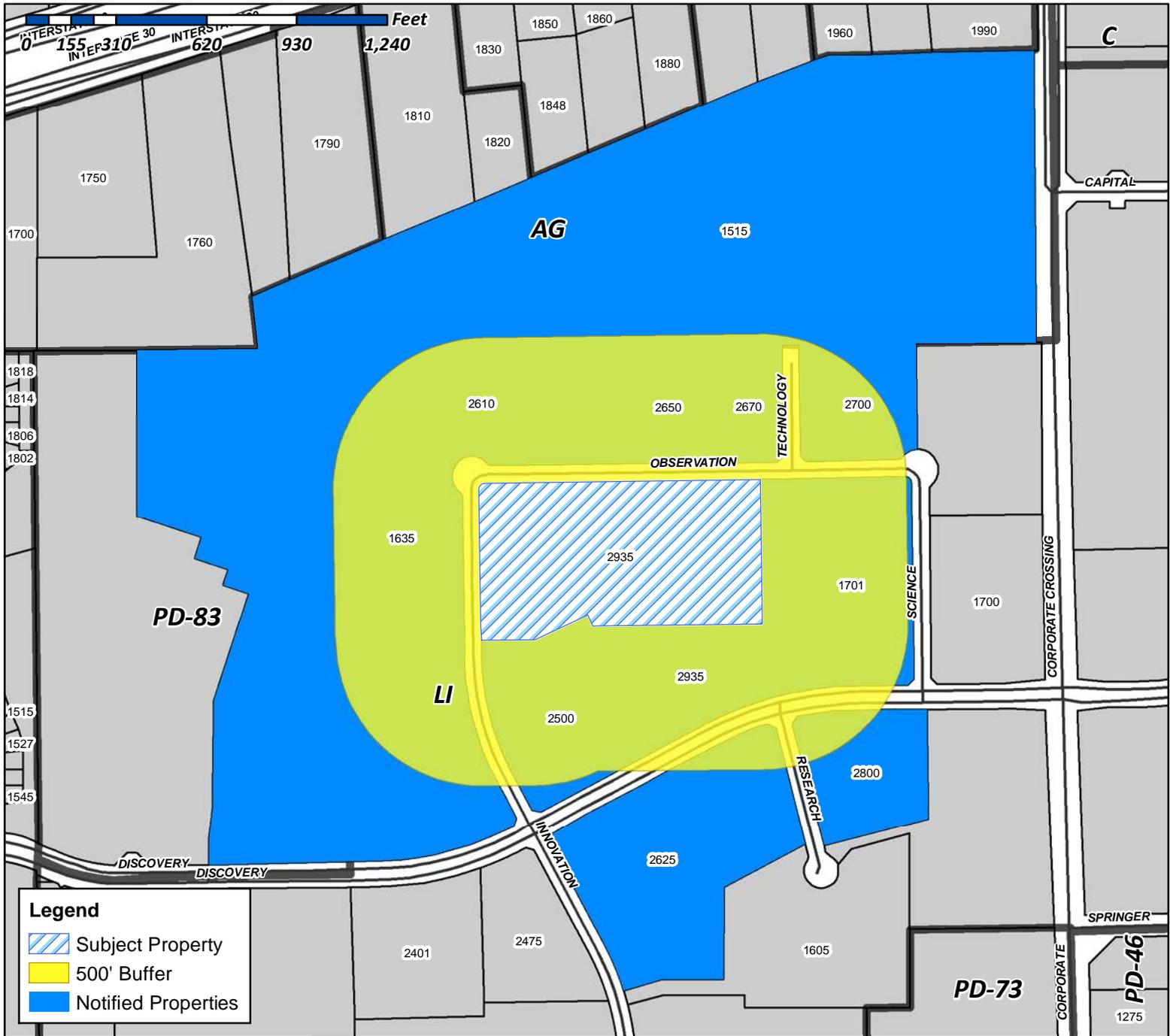




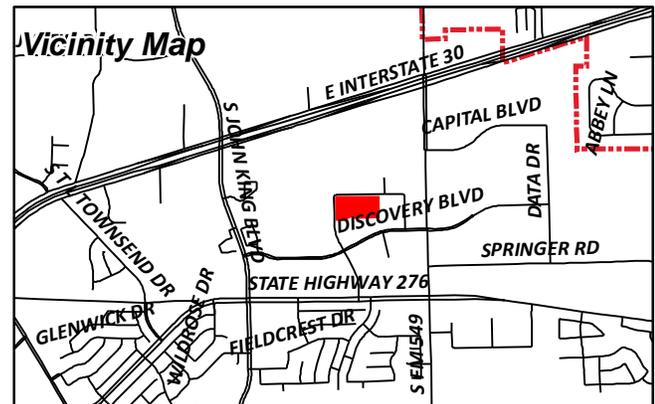
City of Rockwall

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Date Created: 3/24/2020
 For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
DISCOVERY BLVD
ROCKWALL, TX 75032

CURRENT RESIDENT
INNOVATION DR
ROCKWALL, TX 75032

CURRENT RESIDENT
OBSERVATION TRAIL
ROCKWALL, TX 75032

J R FLEMING INVESTMENTS LLC
10355 SANDEN DRIVE
DALLAS, TX 75238

CURRENT RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75032

CURRENT RESIDENT
1635 INNOVATION DR
ROCKWALL, TX 75032

BELLE HAV/TEX LP
1690 WOODSIDE RD STE 120
REDWOOD CITY, CA 94061

CURRENT RESIDENT
1701 SCIENCE PLACE
ROCKWALL, TX 75032

Z06 PROPERTIES INC
2500 DISCOVERY BLVD
ROCKWALL, TX 75032

CURRENT RESIDENT
2610 OBSERVATION TRAIL
ROCKWALL, TX 75032

SPECIAL PRODUCTS REALTY LTD
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

PRECISION SHEET METAL SHOP INC
2650 OBSERVATION TRAIL
ROCKWALL, TX 75032

CURRENT RESIDENT
2670 OBSERVATION TRAIL
ROCKWALL, TX 75032

CURRENT RESIDENT
2700 OBSERVATION TRAIL
ROCKWALL, TX 75032

CURRENT RESIDENT
2800 DISCOVERY BLVD
ROCKWALL, TX 75032

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN RD
PARKER, TX 75002

CURRENT RESIDENT
2935 OBSERVATION TRAIL
ROCKWALL, TX 75032

TREADWELL FAMILY TRUST AND
JANIEKS FAMILY TRUST
5161 VISTA MIGUEL DR
LA CANADA, CA 91011

PNEUMA VENTURES LTD
714 SANCTUARY WAY
HEATH, TX 75032

HITT FAMILY LIMITED PARTNERSHIP
7836 YAMINI DR
DALLAS, TX 75230

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

KRT ENTERPRISES INC
PO BOX 1103
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-009: SUP for a New and/or Used Motor Vehicle Dealership/Showroom at 2635 Observation Trail

Hold a public hearing to discuss and consider a request by Brian Parsons on behalf of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) for a New and/or Used Indoor Motor Vehicle Dealership/Showroom on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-009: SUP for a New and/or Used Motor Vehicle Dealership/Showroom at 2635 Observation Trail

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2635 Observation Trail
Rockwall, Texas 75032
214.503.2581 phone
800.527.0010 sales
www.interstatewire.com

March 12, 2020

Mr. Ryan Miller
Director of Planning & Zoning
Planning and Zoning Division
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087

Re: Specific Use Permit for Interstate Classic Cars, Suite 110

Mr. Miller,

Please accept this summary as an addendum to the Development Application, as prepared and submitted concurrently, in support of the proposed zoning revision for our applicable property located at 2635 Observation Trail, Rockwall. The existing facility is composed of three suites, with Suites 120 and 130 being appropriately categorized as Light Industrial, with only the third suite being included within the scope of this request for a Specific Use Permit. This suite, Suite 110, consumes approximately 10,000 sq. ft. of the estimated 250,000 sq. ft. structure.

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Please note that all planned activities at this location will comply with restrictions as defined within Subsection 2.03, Auto and Marine-Related Land Uses, New and/or Used Indoor Motor Vehicle Dealership/Showroom. All vehicles and related activities will be contained and enclosed within the building envelope, with no outside storage or display. Hours of operations will be limited to appointments only, with the showroom not being open to the general public.

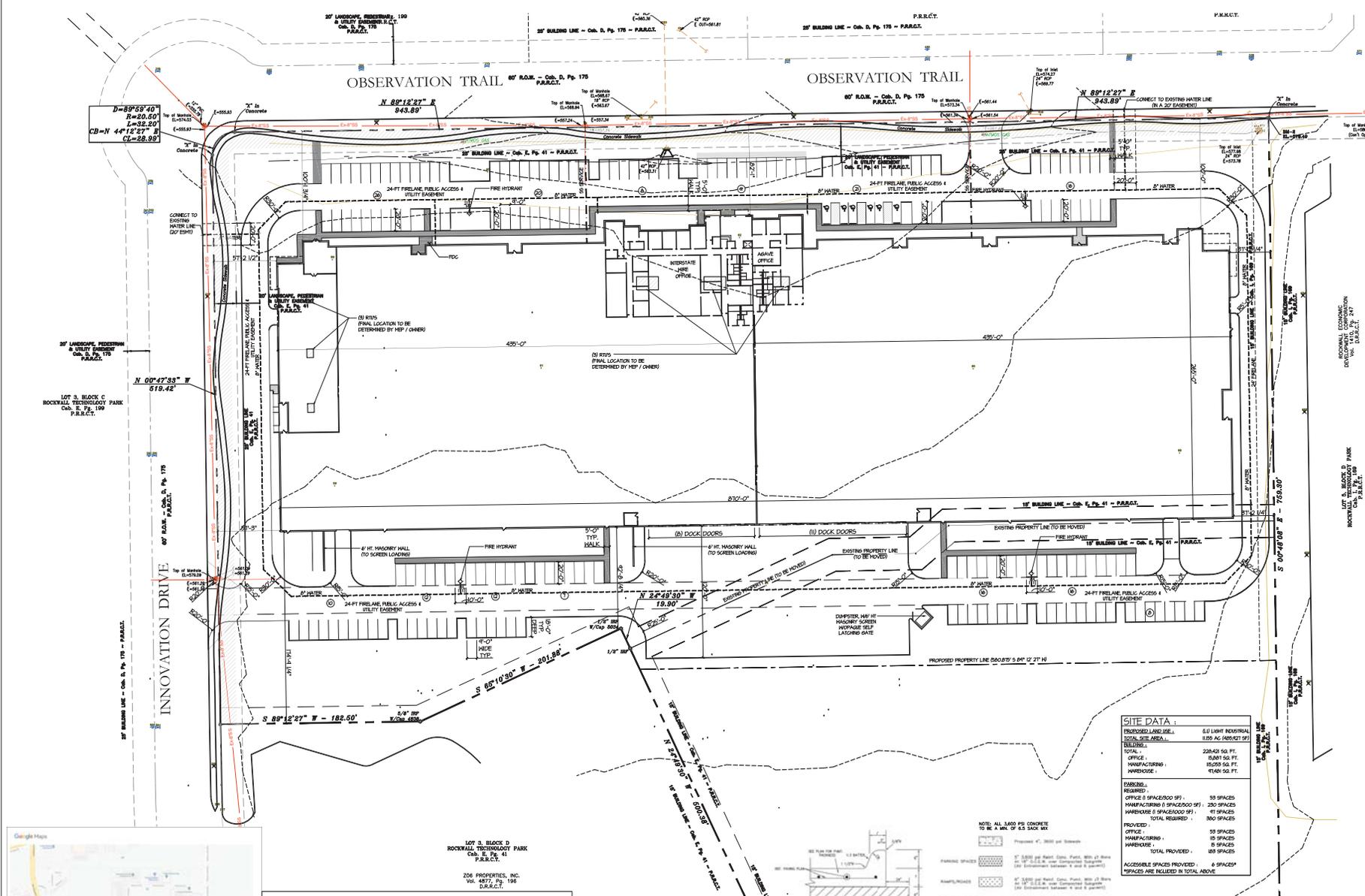
If you have any questions or concerns regarding the application or this addendum, please contact me at your convenience at the number above, or email at parsonsb@interstatewire.com.

Best Regards,



W. Brian Parsons
President & CEO
Interstate Wire Company, Inc.

Cc Jeff Fleming



MATTHEW J. PETERSON, AIA
 ARCHITECT / All contractors, no
 2400 GREAT SOUTHWEST PARKWAY
 FORT WORTH, TEXAS 76106
 817 626-7500
 817 626-4505

STATUS:
 SITE PLAN SUBMITTAL : 12 JAN 2018
 REVISED PER COMMENTS : 08 FEB 2018

REGISTRATION ENGINEERING
 DEVELOPMENT CORPORATION
 1000 DALLAS STREET, SUITE 240
 DALLAS, TEXAS 75201

REGISTRATION ENGINEERING
 DEVELOPMENT CORPORATION
 1000 DALLAS STREET, SUITE 240
 DALLAS, TEXAS 75201

d/b constructors inc.
 GENERAL CONTRACTOR
 2400 GREAT SOUTHWEST PARKWAY
 FORT WORTH, TEXAS 76106
 817 626-7500
 817 626-4505 FAX

NEW FACILITY
 for
INTERSTATE WIRE CO, INC.
AGAVE WIRE, LTD
 LOT 7, BLOCK D #
 PARTIAL LOT 6, BLOCK D
 ROCKHALL, TX

CASE NUMBER : 5P2018-002

Drawing Number

A-1.0

SITE DATA :

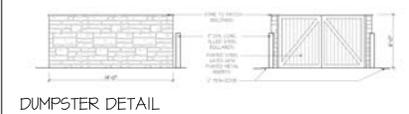
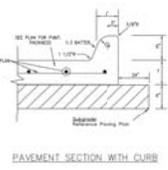
PROPOSED LAND USE :	LI LIGHT INDUSTRIAL
TOTAL SITE AREA :	1155 AC (405421 SF)
REQUIRED :	
OFFICE (8 SPACES/100 SF) :	33 SPACES
MANUFACTURING (8 SPACES/100 SF) :	330 SPACES
WAREHOUSE (8 SPACES/100 SF) :	41 SPACES
WAREHOUSE :	68 SPACES
TOTAL REQUIRED :	368 SPACES
PROVIDED :	
OFFICE :	33 SPACES
MANUFACTURING :	330 SPACES
WAREHOUSE :	68 SPACES
TOTAL PROVIDED :	431 SPACES
ACCESSIBLE SPACES PROVIDED :	4 SPACES*
*SPACES ARE INCLUDED IN TOTAL ABOVE	

NOTE: ALL 3,000 PSI CONCRETE
 TO BE A MIN. OF 6.5 INCH MIN.

1" = 12'-0"

1" = 12'-0"

1" = 12'-0"



1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 40'





FIRE LANE NO PARKING



Interstate Classic Cars

FIRE LANE NO PARKING





EXIT



 Interstate Classic Cars





'67
Corvette
Hendrick
1967 Chevrolet Corvette Convertible
Beautiful 427 Corvette Roadster in Pristine Condition

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A SPECIFIC USE PERMIT (SUP) WITHIN A LIGHT INDUSTRIAL (LI) DISTRICT ALLOWING FOR A NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM ON A 11.153-ACRE PARCEL OF LAND IDENTIFIED AS LOT 9, BLOCK D, ROCKWALL TECHNOLOGY PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brian Parsons on behalf of Jeff Fleming of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) to allow for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* to be located on an 11.153 acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for an *Indoor Motor Vehicle Dealership/Showroom* within a Light Industrial (LI) District, as stipulated by Subsection 02.03.H.5, *Auto and Marine-Related Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] for the *Subject Property*, and,

SECTION 2. That the Specific Use Permit shall be subject to the conditions set forth in Subsection 02.03.H.5, *Auto and Marine-Related Land Uses*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] as heretofore amended, as

amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the *Subject Property*, and conformance to these operational conditions is required for continued operations:

- (1) The area designated for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall be restricted to Suite 110 (*i.e. ~10,000 SF*) of 2635 Observation Trail as depicted in Exhibit 'B' of this ordinance; and,
- (2) The sales/storage facility must be in a completely enclosed building; and,
- (3) Outside display and/or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures; and,
- (4) All activities shall remain inside the building (*i.e. no detailing, washing, sales activities, etcetera shall be performed outside the building*); and,
- (5) Accessory uses may be allowed in compliance with the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC); and,
- (6) The *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall be restricted to the sale of motor vehicles only (*i.e. cars and/or light trucks*); and,
- (7) The subject property shall comply with all standard of the City of Rockwall Fire Department for such use.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require compliance to the following:

- 1) Upon obtaining or maintaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and

each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

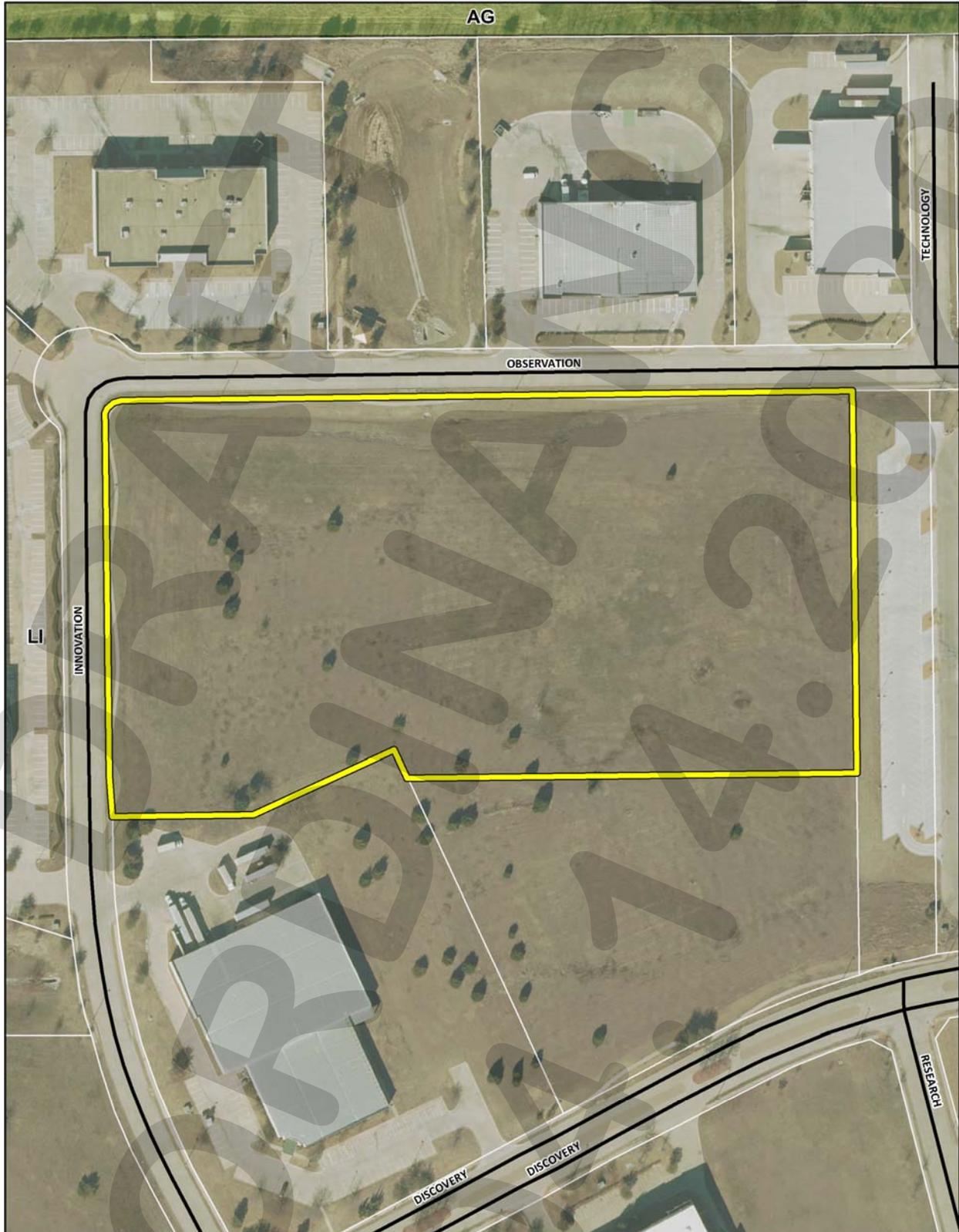
1st Reading: May 4, 2020

2nd Reading: May 18, 2020

**Exhibit 'A':
Zoning Exhibit**

Location: 2635 Observation Trail

Legal Description: Lot 9, Block D, Technology Park Addition



4/8/2020

City of Rockwall Project Plan Review History



Project Number	Z2020-010	Owner	ECHOLS, EDWIN & BRITTEN	Applied	3/20/2020	AG
Project Name	SUP for 204 Lakehill Drive	Applicant		Approved		
Type	ZONING			Closed		
Subtype	SUP			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
204 LAKEHILL	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
LAKERIDGE PARK	17	B	17	4220-000B-0017-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020				
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-010; SUP for Accessory Building						Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request by Edwin Echols for the approval of a Specific Use Permit(SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive.
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (Z2020-010) in the lower right-hand corner of all pages on future submittals
I.4						This project is subject to all requirements stipulated by the Unified Development Code(UDC).
M.5						In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.
M.6						Specific Use Permit (SUP).
1)						Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April28, 2020.
I.7						Please note that failure to address all comments provided by staff by5:00 PM on March 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
I.8						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18, 2020.
I.9						Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 204 Lake hill Dr Rockwall 75087
 Subdivision Lakeridge Park Lot 17 Block B
 General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	<u>SF2</u>	Current Use	<u>Single Family</u>
Proposed Zoning	<u>SF2</u>	Proposed Use	<u>Single Family w/Accessory Bldg</u>
Acreage	<u>0.28</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>N/C</u>

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner <u>Edwin Echols</u>	<input type="checkbox"/> Applicant
Contact Person <u>self</u>	Contact Person _____
Address <u>204 Lakehill Dr.</u>	Address _____
City, State & Zip <u>Rockwall Tx 75087</u>	City, State & Zip _____
Phone <u>469 261 2483</u>	Phone _____
E-Mail <u>ed.echols@hotmail.com</u>	E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Edwin Echols [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature Edwin Echols



Notary Public in and for the State of Texas

My Commission Expires _____

0 20 40 80 120 160 Feet

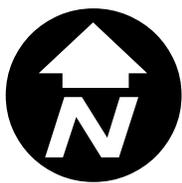
Z2020-010- SUP FOR 204 LAKEHILL DRIVE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

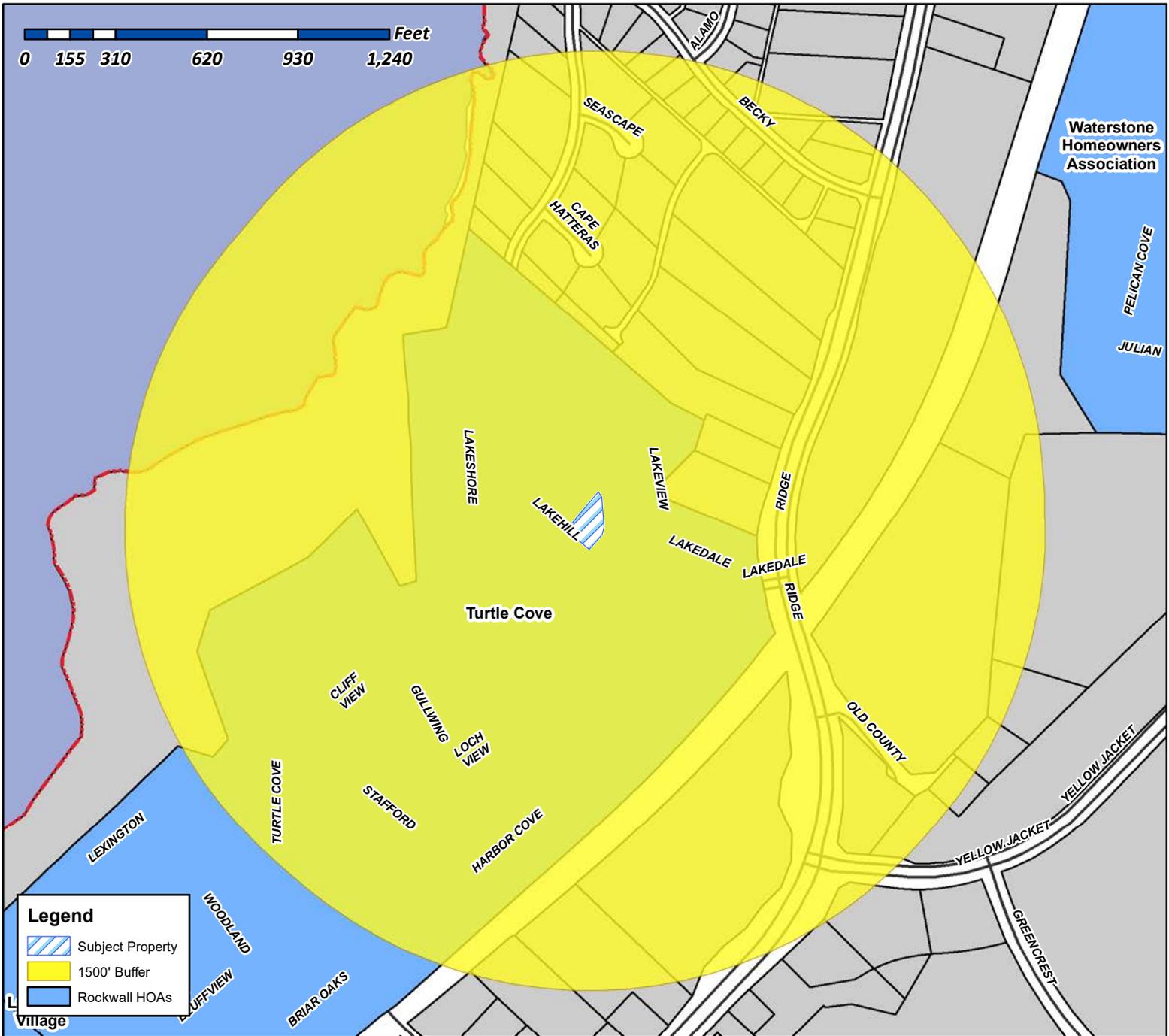
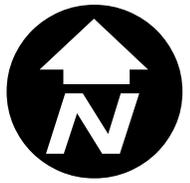




City of Rockwall

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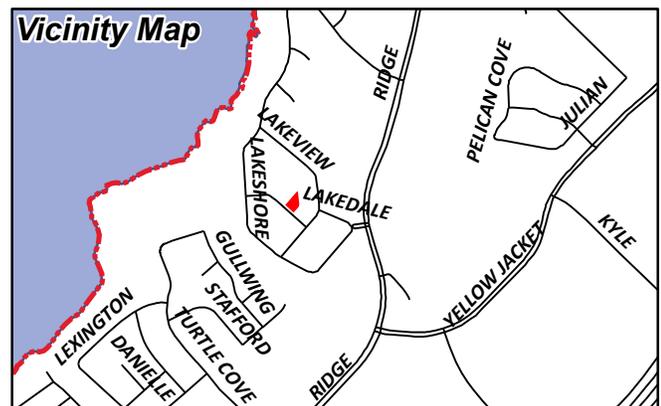
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Case Number: Z2020-010
Case Name: SUP for 204 Lakehill Dr.
Case Type: Specific Use Permit
Zoning: Single Family 10 (SF-10) District
Case Address: 204 Lakehill Dr.

Date Created: 3/24/2020

For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Brooks, Korey](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Tuesday, April 7, 2020 11:39:07 AM
Attachments: [HOA Map \(03.24.2020\).pdf](#)
[PUBLIC NOTICE 04.07.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning cases that was published in the Rockwall Herald Banner on [April 10, 2020](#). The Planning and Zoning Commission will hold a virtual public meeting on [Tuesday, April 28, 2020 at 6:00 PM](#), and the City Council will hold a virtual public meeting on [Monday, May 4, 2020 at 6:00 PM](#). Both hearings will take place virtually at 6:00 PM and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-010- SUP for an Accessory Building at 204 Lakehill Drive

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

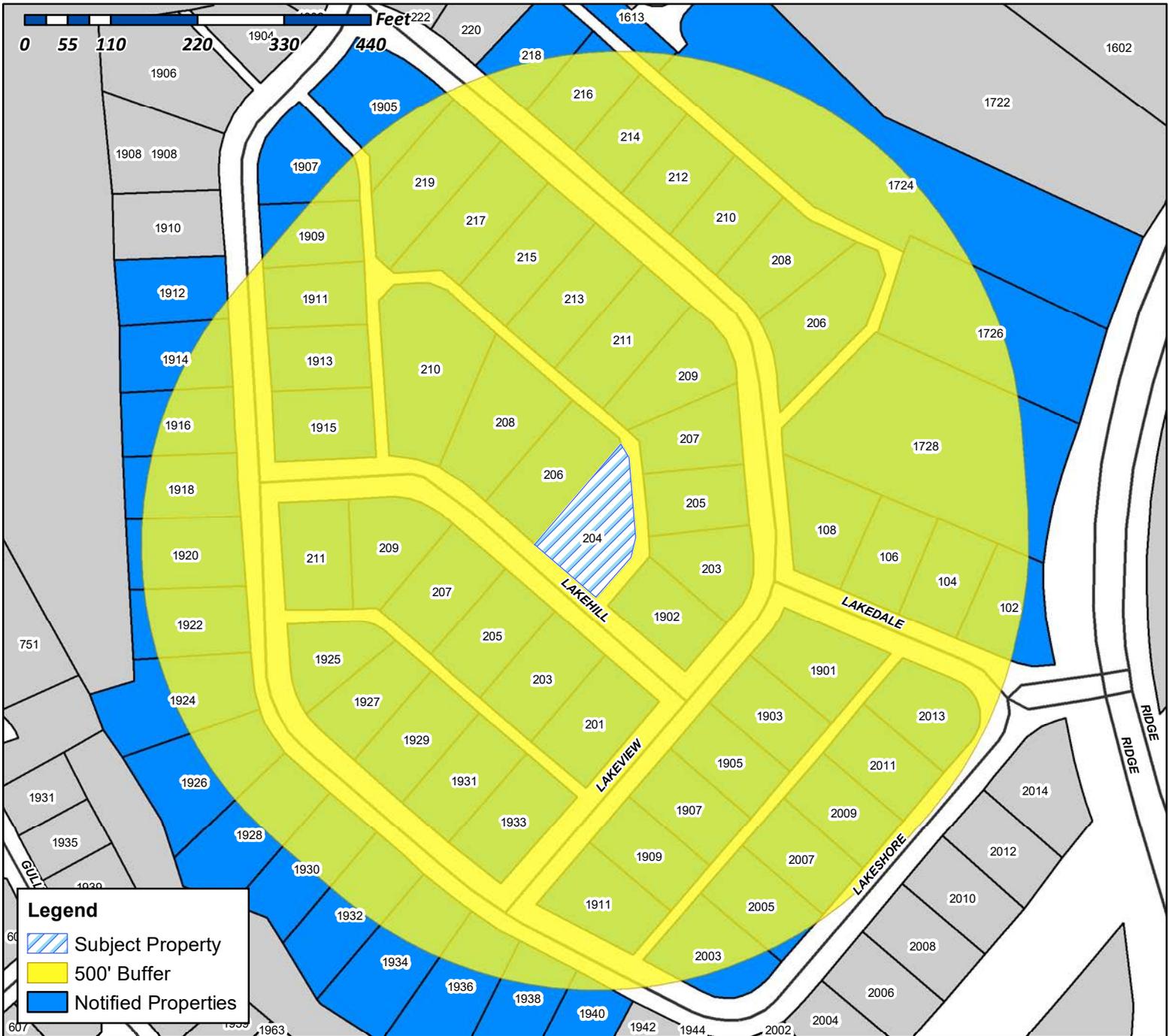
<http://www.rockwall.com/planning/>



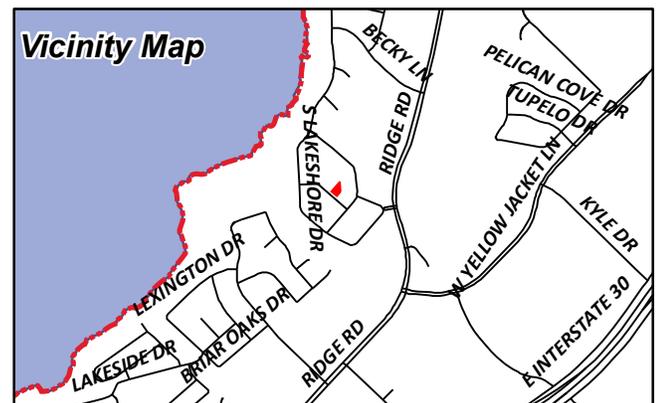
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-010
Case Name: SUP for 204 Lakehill Dr.
Case Type: Specific Use Permit
Zoning: Single Family 10 (SF-10) District
Case Address: 204 Lakehill Dr.



Date Created: 3/24/2020

For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
102 LAKEDALE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

MCCULLAR EMILY JEAN
104 LAKEDALE DRIVE
ROCKWALL, TX 75087

MILLER KATIE BROOKE AND PETER JR
106 LAKEDALE DR
ROCKWALL, TX 75087

PECK RUTH H
108 LAKEDALE DR
ROCKWALL, TX 75087

SCHULTZ STEVEN LUKE
1333 OLD SPANISH TRAIL APT 4154
HOUSTON, TX 77054

NOBLE DAVID D & LESLIE A
1613 CAPE HATTERAS PL
ROCKWALL, TX 75087

CASSELMAN STEVEN AND JEANNETTE
1724 RIDGE ROAD
ROCKWALL, TX 75087

PALOS MICKEY SUE &
CODY S & MARIA T LOWERY
1726 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1728 RIDGE
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC
180 N STETSON AVE SUITE 3650
CHICAGO, IL 60601

PETTIGREW TERESA VIOLA
1901 LAKEVIEW DR
ROCKWALL, TX 75087

FULKERSON CHARLES D & LANA C
1902 LAKEVIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1903 LAKEVIEW
ROCKWALL, TX 75087

CURRENT RESIDENT
1905 LAKESHORE
ROCKWALL, TX 75087

KERN ROBERT JR & LORNA
1905 LAKEVIEW DR
ROCKWALL, TX 75087

BALLARD KEVIN L ETUX
1907 LAKEVIEW DR
ROCKWALL, TX 75087

COWAN JOHNNY L ET UX
1907 S LAKESHORE DR
ROCKWALL, TX 75087

LALUMIA JOE AND LAURA GAMBILL
1909 LAKEVIEW DR
ROCKWALL, TX 75087

MCADEN CURTIS D AND MELISSA L
1909 S LAKESHORE DR
ROCKWALL, TX 75087

CHURCH ADRIA AND COLT
1911 LAKEVIEW DR
ROCKWALL, TX 75087

CRANE GEORGE R
1911 S LAKESHORE DR
ROCKWALL, TX 75087

HOFFMAN MICHAEL AND ANGELA
1912 S LAKESHORE ROAD
ROCKWALL, TX 75087

FULBRIGHT CHRISTOPHER AND ANGELINE
1913 S LAKESHORE DR
ROCKWALL, TX 75087

PATTON JAMES DOUGLAS
1914 S LAKESHORE DRIVE
ROCKWALL, TX 75087

MILLER DAVID M
1915 S LAKESHORE DR
ROCKWALL, TX 75087

MASSAR STACY L & BERNARD A
1916 S LAKESHORE DRIVE
ROCKWALL, TX 75087

SPENCER GARY S
1918 S LAKESHORE DR
ROCKWALL, TX 75087

HARBIN ERIC S & STACEY R
1920 S LAKESHORE DR
ROCKWALL, TX 75087

TAYLOR LARRY S AND APRIL
1922 SOUTH LAKESHORE DRIVE
ROCKWALL, TX 75087

LUIZ ALBERT H
1924 S LAKESHORE DR
ROCKWALL, TX 75087

MCCLARD HARRY A
1925 S LAKESHORE DRIVE
ROCKWALL, TX 75087

SPRING TRUMAN E JR AND JANE C
1926 S LAKESHORE DR
ROCKWALL, TX 75087

POST JEREMY AND JENNIFER
1927 S LAKESHORE DR
ROCKWALL, TX 75087

BAHN ERIC AND
JANET JONES
1928 S LAKESHORE DR
ROCKWALL, TX 75087

WHITE JOHN N & FRANCES
1929 LAKESHORE DR
ROCKWALL, TX 75087

RAY CYNTHIA
1930 S LAKESHORE DR
ROCKWALL, TX 75087

STRACK KENNETH E & SHARON C TRUSTEES
STRACK FAMILY LIVING TRUST
1931 S LAKESHORE DR
ROCKWALL, TX 75087

GOSH GUY P & REBECCA
1932 S LAKESHORE DR
ROCKWALL, TX 75087

MCCAFFITY LLOYD R JR
1933 S LAKESHORE DR
ROCKWALL, TX 75087

TERRELL DEBRA
1934 S LAKESHORE DR
ROCKWALL, TX 75087

MOORE SAMUEL & MARION
1936 S LAKESHORE DR
ROCKWALL, TX 75087

MOORE RHONDA
1938 SOUTH LAKESHORE DRIVE
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E
1940 S LAKESHORE DR
ROCKWALL, TX 75087

BOSWELL MICHAEL AND ANN
2003 S LAKESHORE DRIVE
ROCKWALL, TX 75087

PADILLA KRIS AND JOE
2005 LAKESHORE DRIVE
ROCKWALL, TX 75087

FRITSCH TERYL W AND JANICE L
2007 S LAKESHORE
ROCKWALL, TX 75087

HIGGINS BYRON STEPHEN AND
KIMBERLY LEE PETRIELLO
2009 S LAKESHORE DRIVE
ROCKWALL, TX 75087

COOK PAUL W ETUX
201 LAKEHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2011 LAKESHORE
ROCKWALL, TX 75087

FREEMAN C L
2013 S LAKESHORE DR
ROCKWALL, TX 75087

INGRAM KENNY DON
203 LAKEHILL DR
ROCKWALL, TX 75087

RIIS RICK LEE
203 LAKEVIEW DRIVE
ROCKWALL, TX 75087

ECHOLS EDWIN & BRITTEN
204 LAKEHILL DR
ROCKWALL, TX 75087

KOLAR MARC AND MONICA A
205 LAKEHILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
205 LAKEVIEW
ROCKWALL, TX 75087

RICKERSON CHARLES & VIRGINIA RICKERSON
206 LAKEHILL DRIVE
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN
206 LAKEVIEW DR
ROCKWALL, TX 75087

STEGMAN SARAH A
207 LAKEHILL DR
ROCKWALL, TX 75087

BROYLES LYNN
207 LAKEVIEW DR
ROCKWALL, TX 75087

JOHNSON DAVID L & MELODY D
208 LAKEHILL DR
ROCKWALL, TX 75087

ESTES AMY RACHELLE & JOSHUA ELDEN
208 LAKEVIEW DR
ROCKWALL, TX 75087

STEVENS JOSHUA D
209 LAKEHILL DR
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE
209 LAKEVIEW DR
ROCKWALL, TX 75087

LARUE PATRICIA D & TIMOTHY L
210 LAKEHILL DRIVE
ROCKWALL, TX 75087

SHELLITO SUSAN G
210 LAKEVIEW DR
ROCKWALL, TX 75087

MOORE MIKE T & DIANA
211 LAKEHILL DR
ROCKWALL, TX 75087

TURNER KENNETH K
211 LAKEVIEW DR
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R
212 LAKEVIEW DR
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R
213 LAKEVIEW DR
ROCKWALL, TX 75087

FENTON DONYELLE
214 LAKEVIEW DRIVE
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM
215 LAKEVIEW DR
ROCKWALL, TX 75087

ODEN ELRA C
216 LAKEVIEW DR
ROCKWALL, TX 75087

MCCRACKEN SUSAN M
217 LAKEVIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
218 LAKEVIEW
ROCKWALL, TX 75087

BURKS JANETTA BETH
219 LAKEVIEW DR
ROCKWALL, TX 75087

JUNKER SHAWN W & LEANNE
519 E. INTERSTATE 30 # 631
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

ALLEN DENNIS L & GLENNA L
PO BOX 801161
BALCH SPRINGS, TX 75180

RUTH DOWER LIVING TRUST DATED JUNE 3
2014
RUTH DOWER TRUSTEE
PO BOX 871239
MESQUITE, TX 75187



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

3/19/20

To City of Rockwall

From Edwin Echols

204 Lakehill Dr 75087

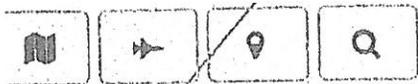
SUBJECT Variance Request

I am in need of a workshop to enable wood working projects and moving power tools out of our garage. The design in mind is 14 x 28 to be on the west side of our driveway. Placement here may need a variance on the 6ft. property offset and the structure height limit of 15 ft.

I plan to keep the offset from the Alleyway approximately 14 ft even though Accessory structure allowance is 3 ft.

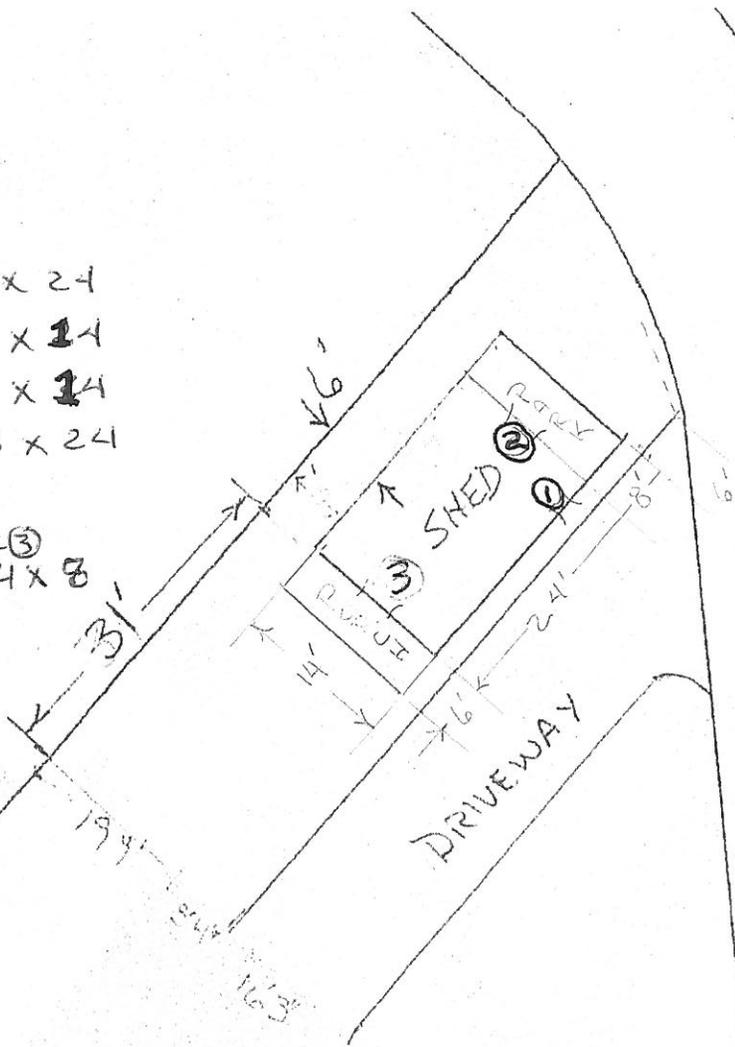
Thanks for your consideration

EM Echols



- SHED 14 x 24
- Park 8 x 14
- Porch 6 x 14
- SLAB 28 x 24
- Main door ①
- Roll UP DOORS ②+③ 4 x 8

18950

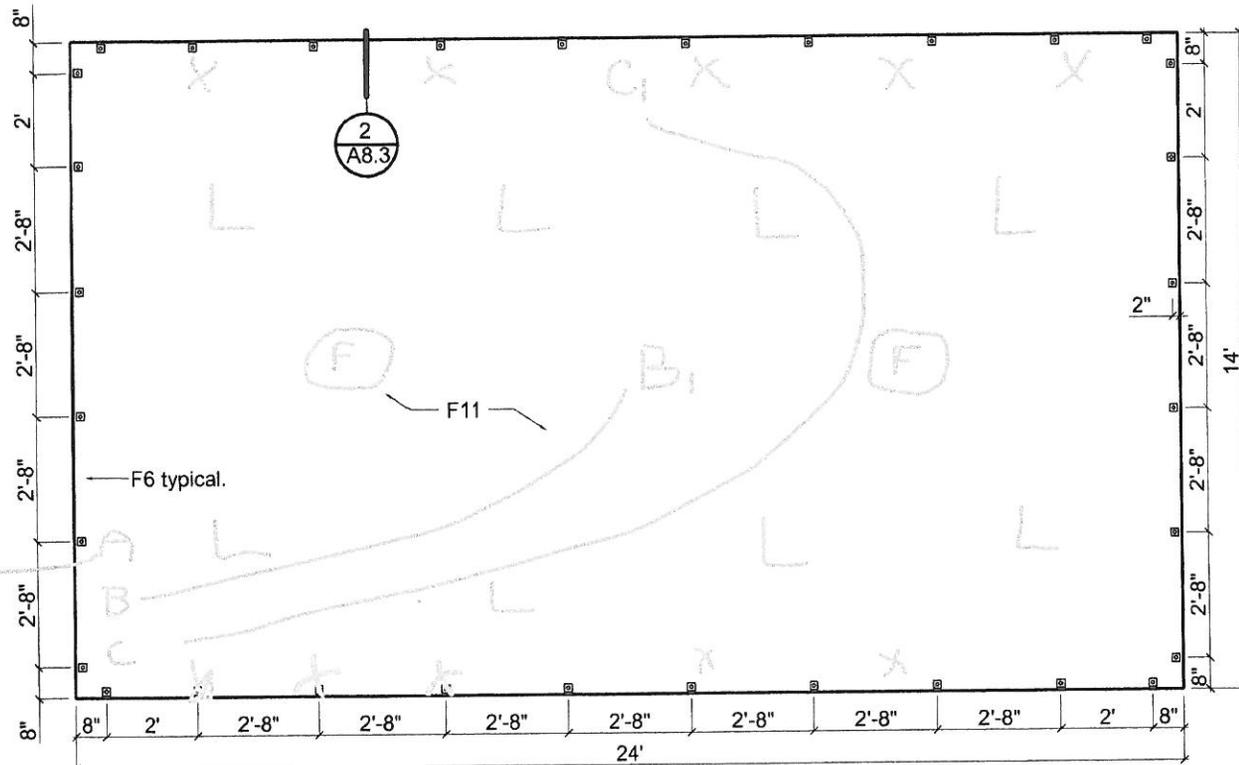


18949

204
LAKEHILL

3- 2" Conduit
 1 - to end of slab to "A" House to Submain
 1 - to mid slab B-B, (120V SAW)
 1 to mid West Wall (240V HVAC)

Drill to set anchors
 w/ framing



NOTES:

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

FOUNDATION MATERIALS

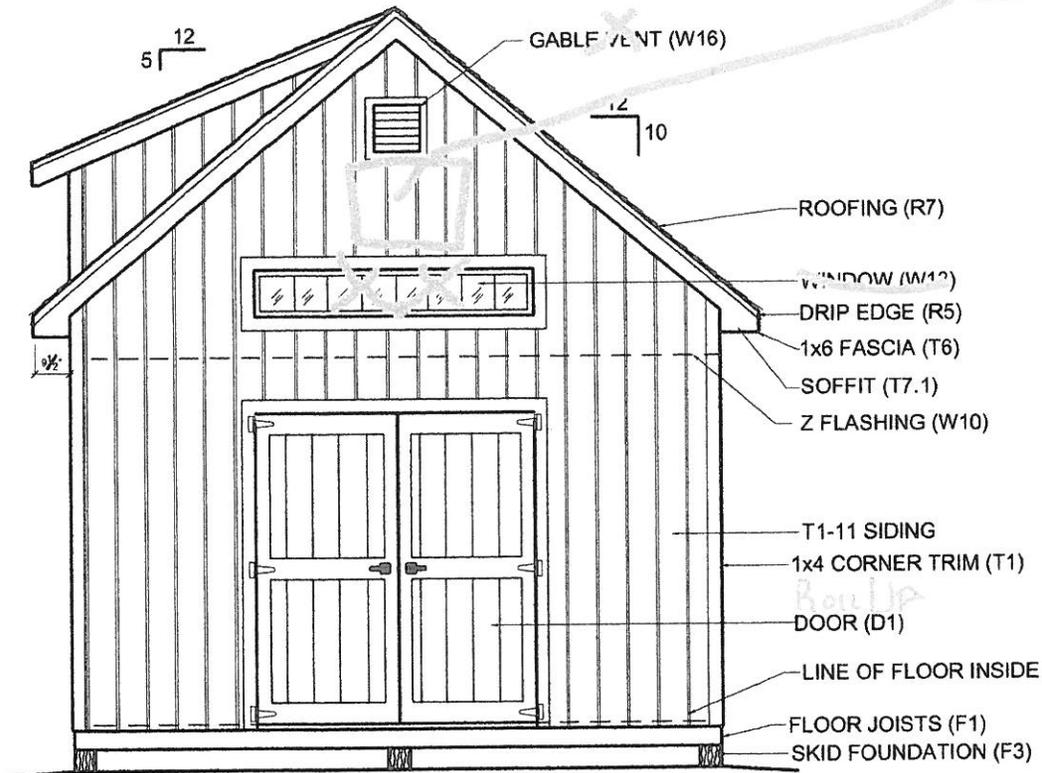
CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

CONCRETE SLAB FLOOR PLAN

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"
 8 4' LED Shop lights - "L"
 2 " " - Loft

2 Fans (F)



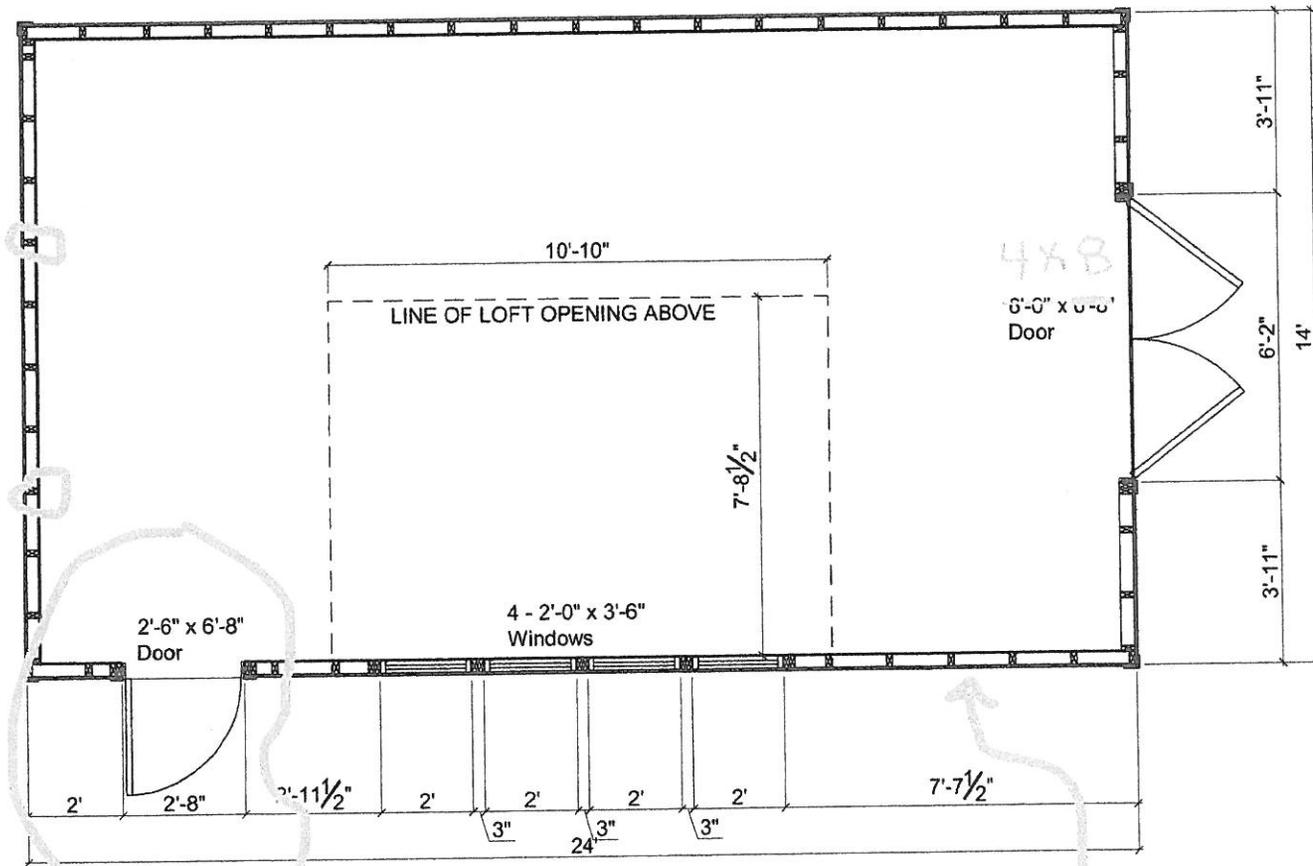
FRONT ELEVATION

SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1½"x1½"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	2010 Fixed Window	6'-0" x 1'-0"	1
W14	3016 Fixed window	3'-0" x 1'-6"	3
W15	Pre-made gable vent	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6068 Double door	6'-0" x 5'-0"	1

Ramp or stair materials are not shown

4x8
Roll Up

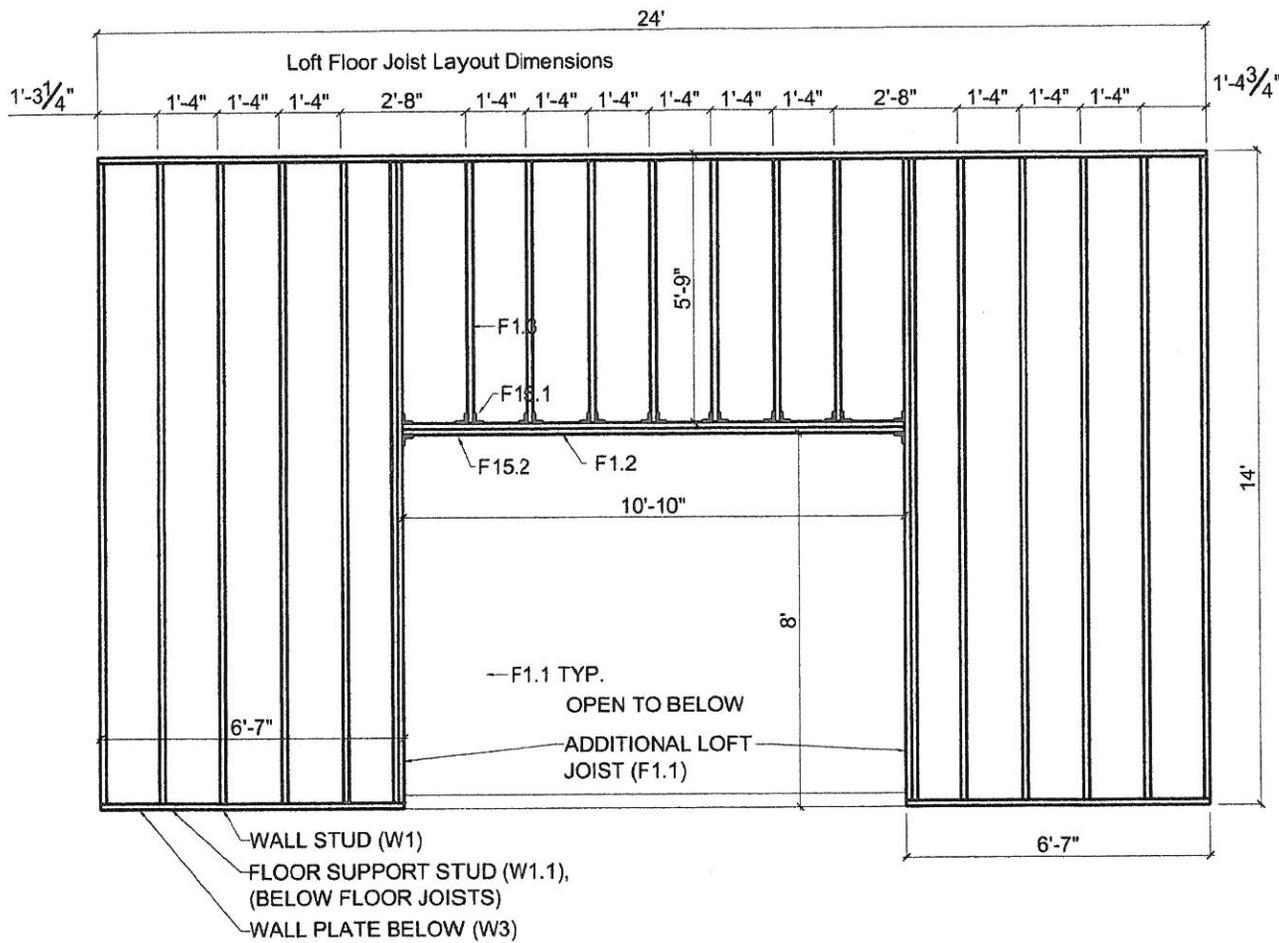


Rollup

FLOOR PLAN

1/4" = 1'-0" See wall framing plans for stud layout and material take off.

Reverse
Wall
Door on Right



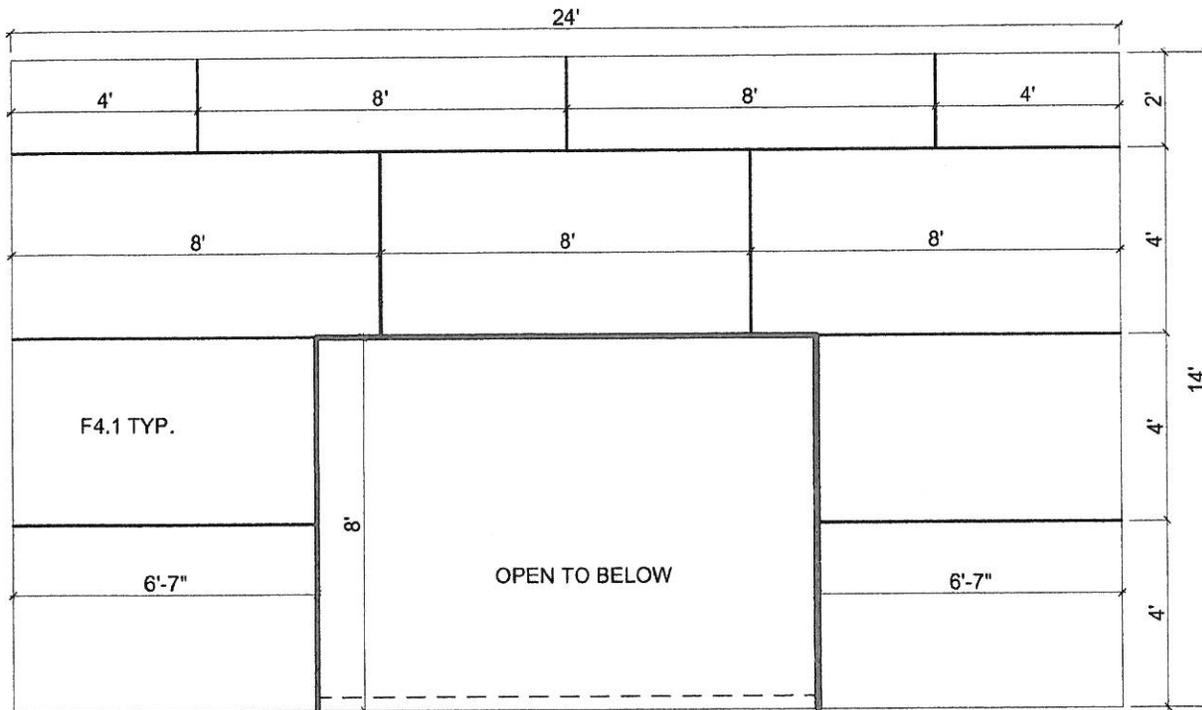
LOFT FLOOR FRAMING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
F1.1	2x8 Loft Floor Joist	14'-0"	14
F1.2	2x8 Loft Floor Joist	12'-0"	2
F1.3	2x8 Loft Floor Joist	8'-0"	7
F4.1	Full Face O.S.B. T.&G.	4'x8'x3/4"	9
F15.1	Simpson Hanger	LUS26	7
F15.2	Simpson Hanger	LUS46	2

(NOTE: Use manufacturers recommended nails for Simpson Hangers)

NOTE: OWNER VERIFY DESIRED STRENGTH AND BOARDS TO ACHIEVE THAT STRENGTH FOR LOFT JOISTS)

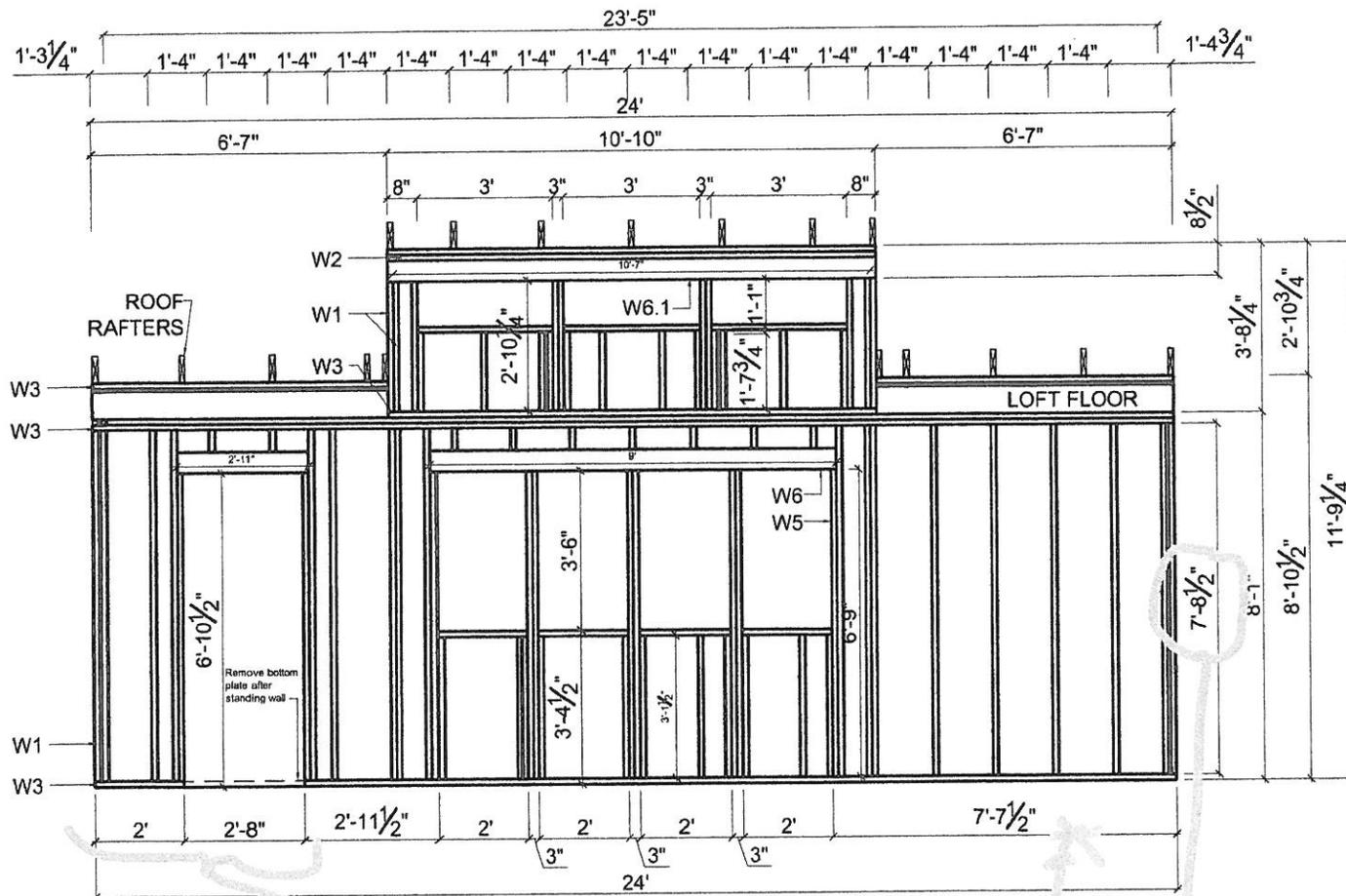
LOFT FLOOR JOIST PLAN



LOFT FLOOR SHEETING PLAN

LOFT FLOOR FRAMING NOTES

- UPPER FLOOR JOISTS (F1.1) MUST BE INSTALLED EVEN IF YOU DO NOT INTEND TO USE THE AREA AS STORAGE SPACE. THE JOISTS ACT AS A REINFORCEMENT TO HOLD THE WALLS SECURE.
- PROVIDE BLOCKING BETWEEN FLOOR JOIST ENDS
- NAIL FLOOR SHEETING EDGES AT 6" O.C., FIELD 12" O.C.
- INSTALL 2X4 PLATE ON FLOOR TO SUPPORT ROOF RAFTERS.

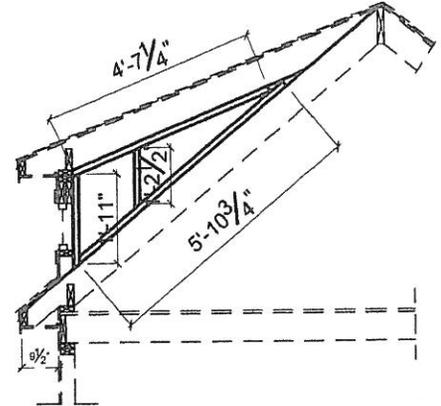
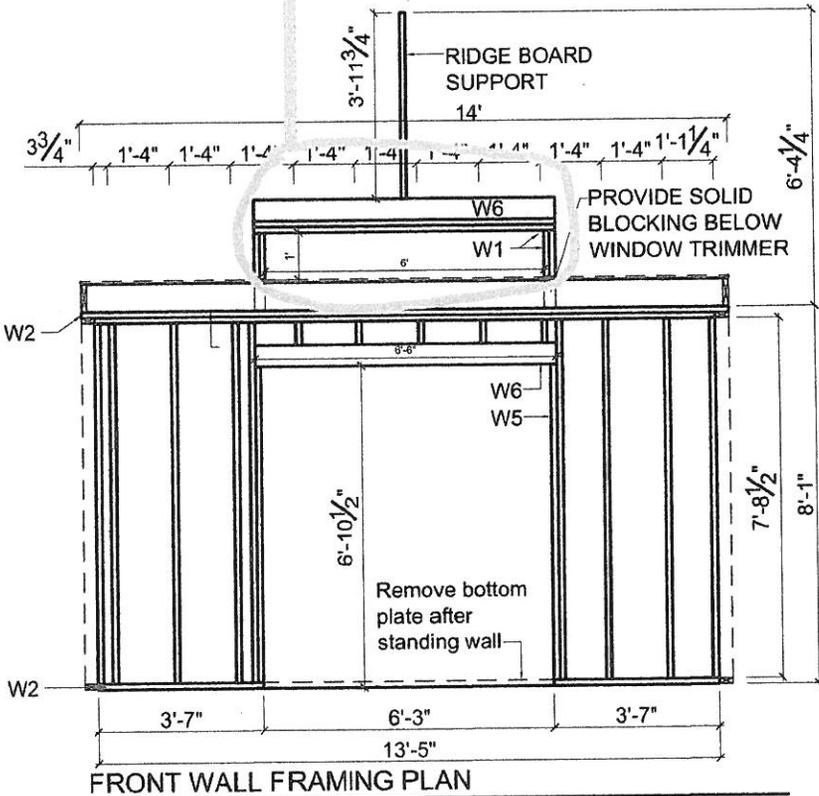


WALL FRAMING MATERIALS

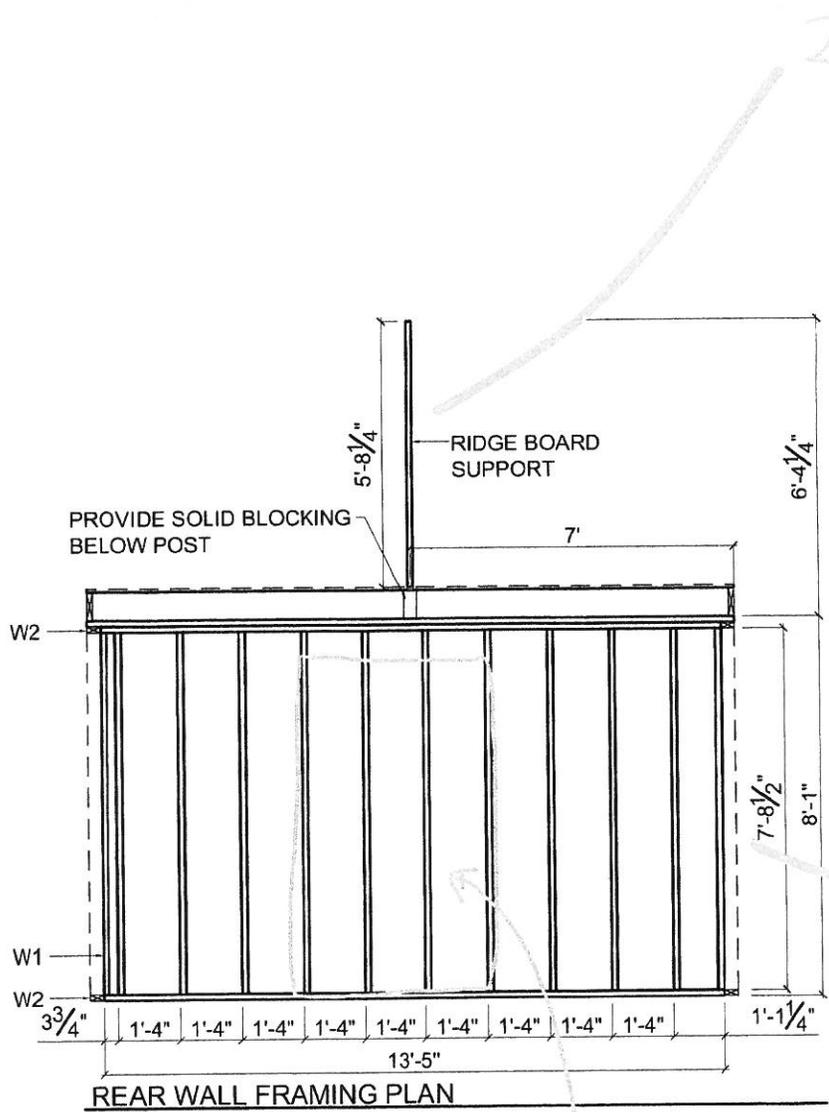
CODE	DESCRIPTION	LENGTH	QTY.
W1	2x4 Wall Stud	22'-5 1/2"	72
W2	2x4 Wall Plate, Short	14'-0"	8
W3	2x4 Wall Plate, Long	16'-0"	12
W5	2x4 Trimmer	8'-0"	14
W6	2x6 Header	8'-0"	2
W6.1	2x6 Header	12'-0"	4

See wall elevations for siding amounts.

2x3 window



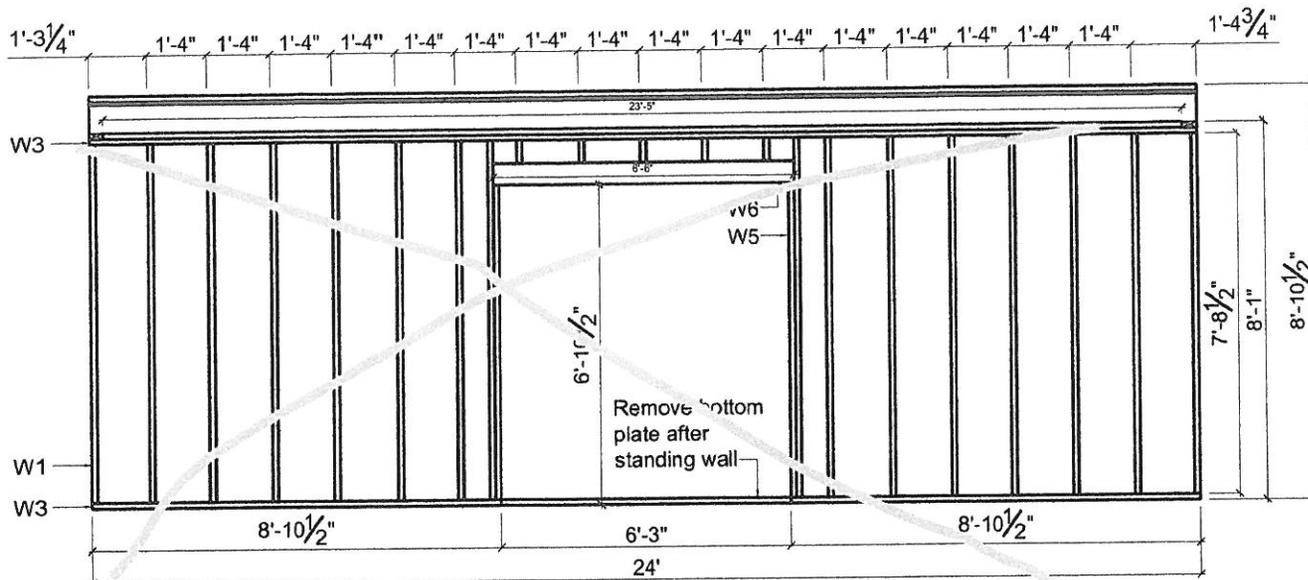
UPPER SIDE WALL FRAMING PLAN
 NAIL PONY WALL TO ROOF FRAMING AFTER ROOF IS INSTALLED.
 VERTICAL STUDS = 4/12 TOP CUT, 10/12 BOTTOM CUTS



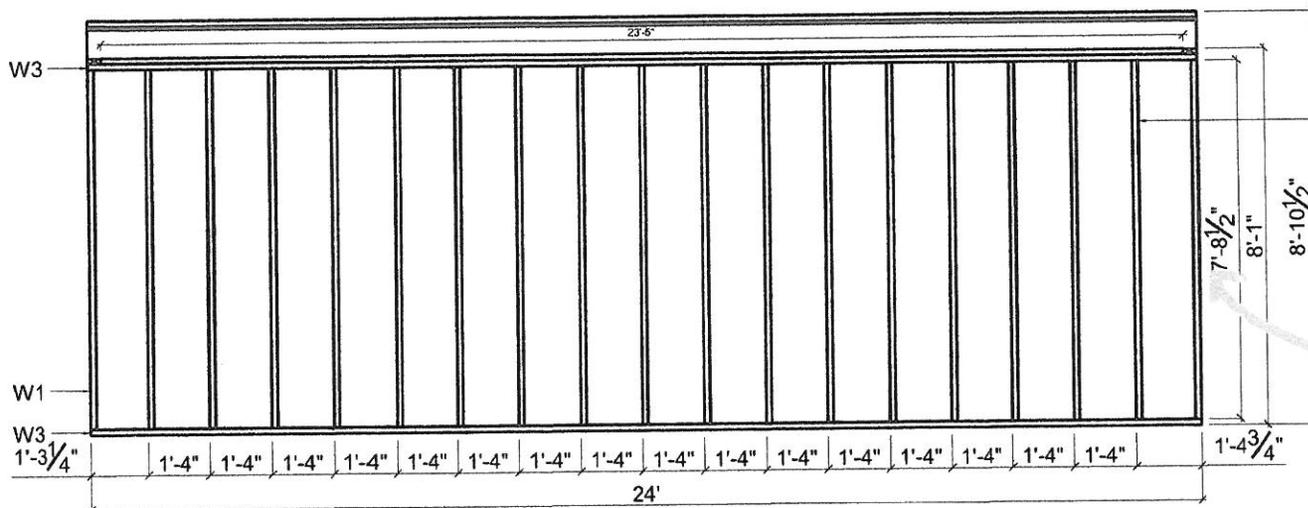
2x2 window

10' studs

4x8 Roll Up Door

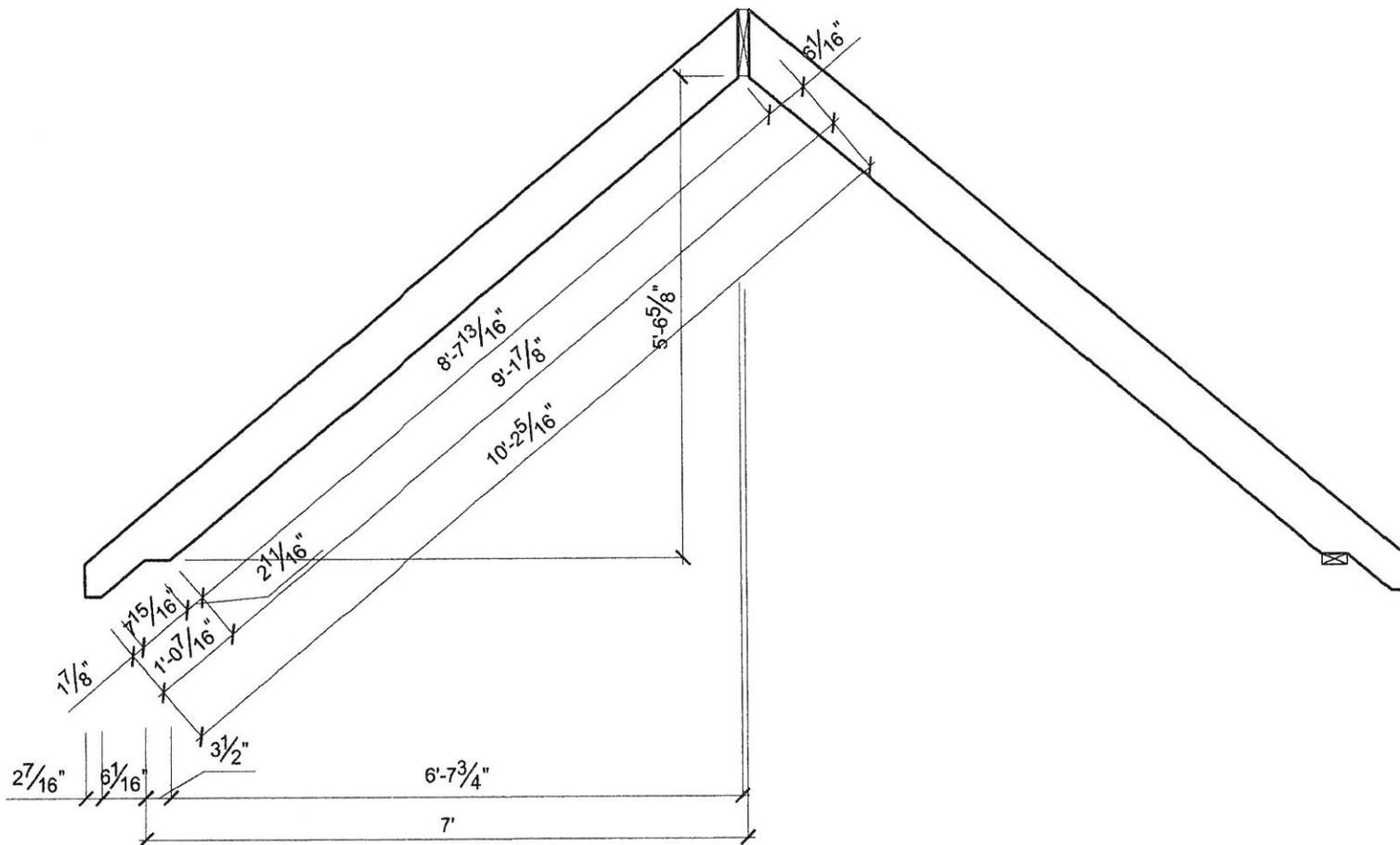


ALTERNATE RIGHT WALL FRAMING PLAN



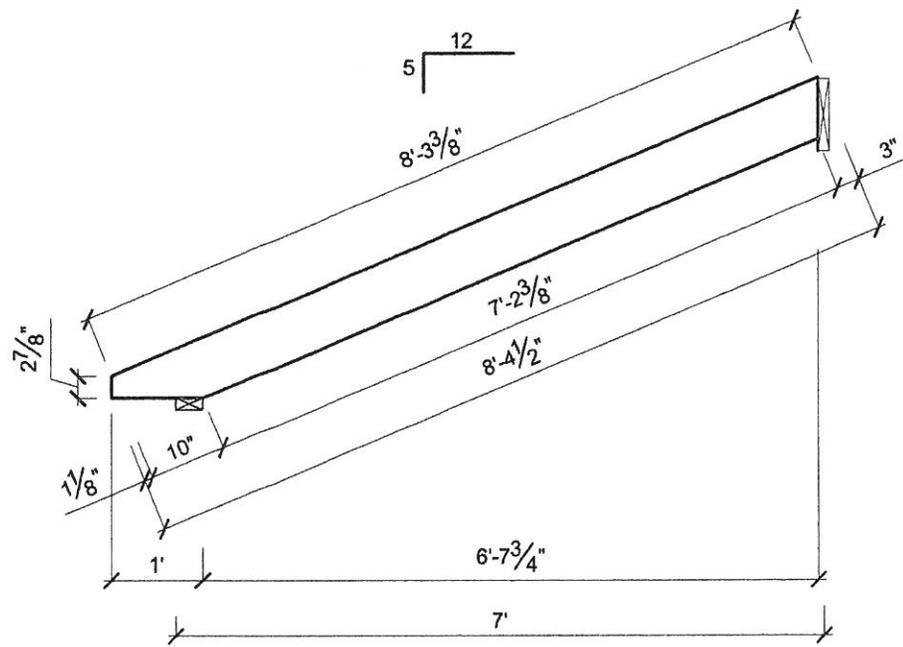
RIGHT WALL FRAMING PLAN

NOTE: WHEN STANDING WALLS MAKE SURE THAT THE STUDS IN THE LONG WALLS ARE ALIGNED WITH THE OPPOSING SIDE SO THAT THE LOFT FLOOR JOISTS WILL ATTACH TO THE SIDE OF THE WALL STUDS CORRECTLY.



RAFTER DETAIL (R1) 14'-0" SPAN - 10/12 PITCH - RIDGE BOARD

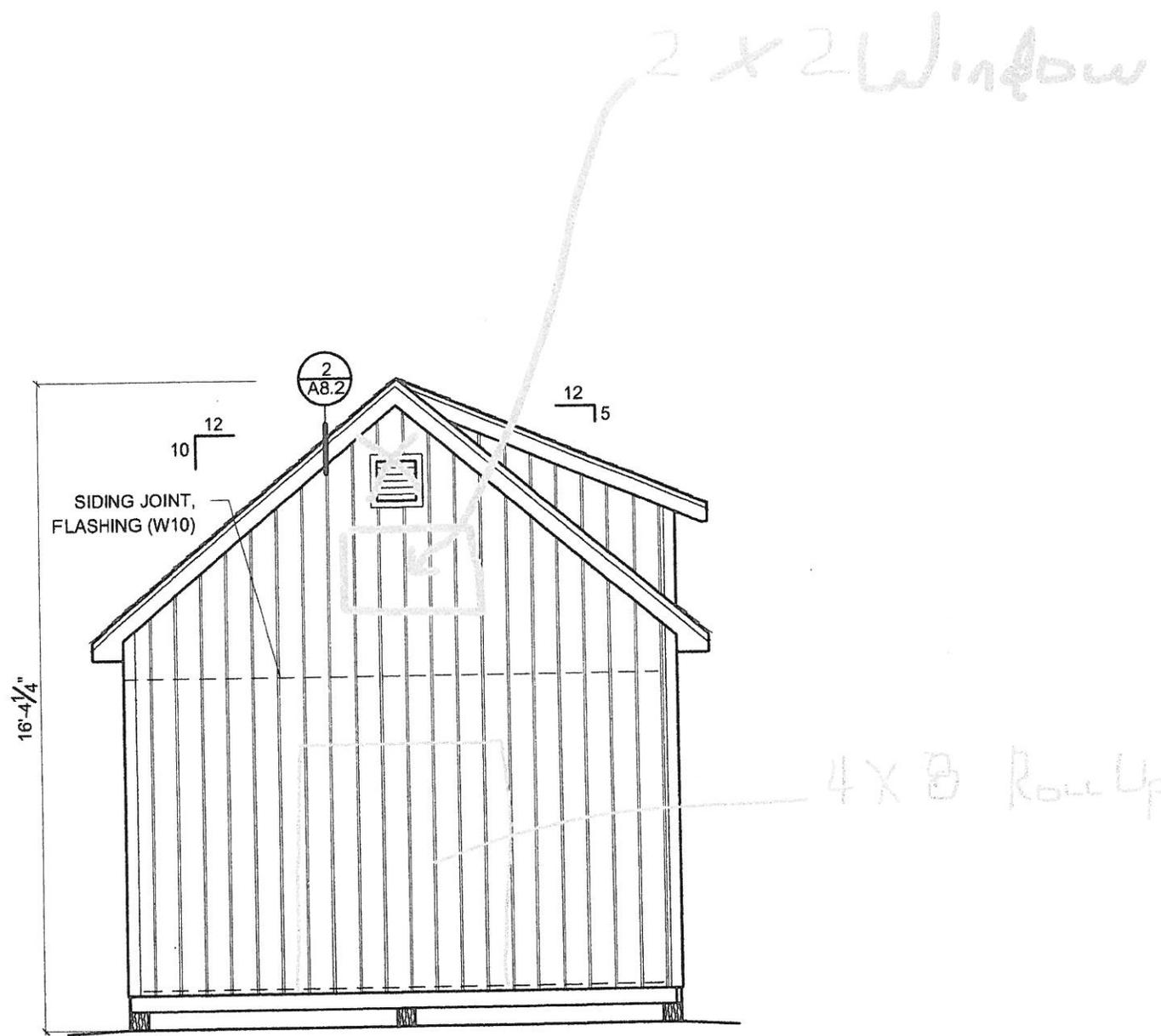
$\frac{1}{2}" = 1'-0"$



LOFT RAFTER DETAIL (R1.1) 14'-0" SPAN - 5/12 PITCH - RIDGE BOARD

1/2" = 1'-0"





2 x 2 Window

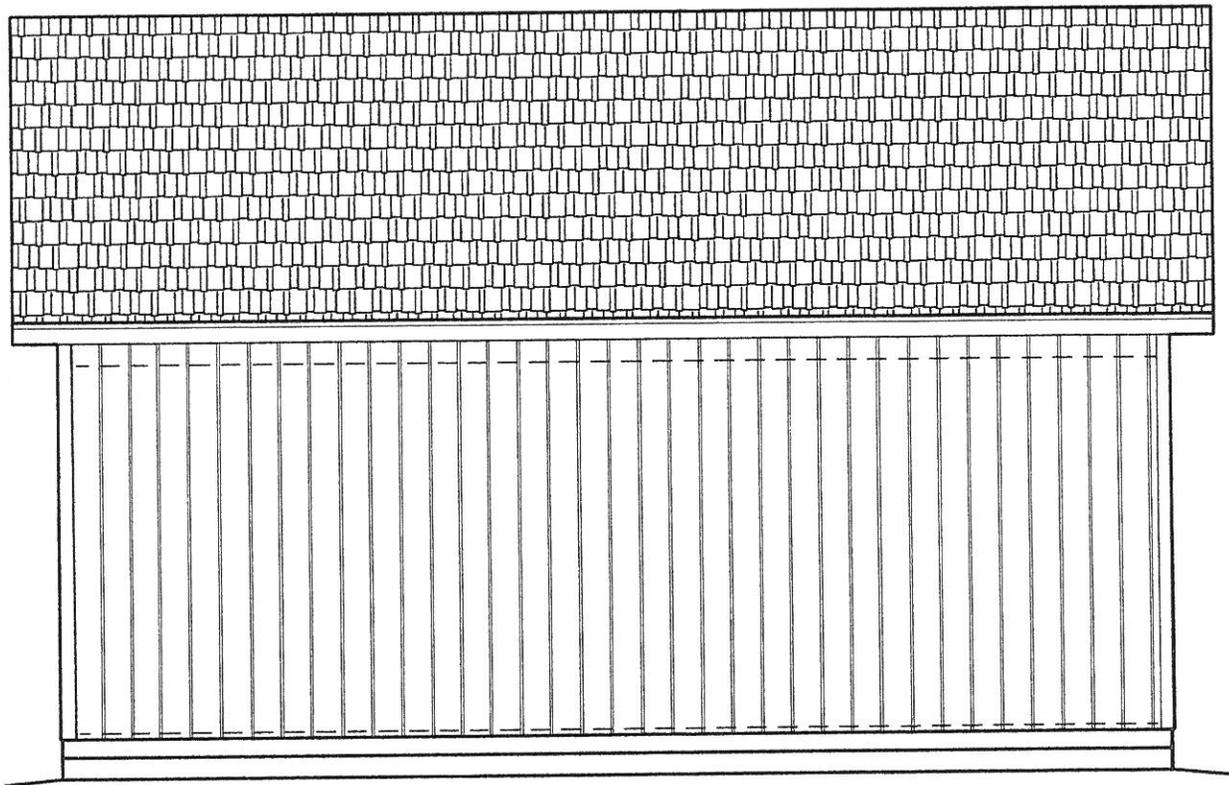
4 x 8 Row Up

REAR ELEVATION

SOUTH

Exterior Elevations 3.2

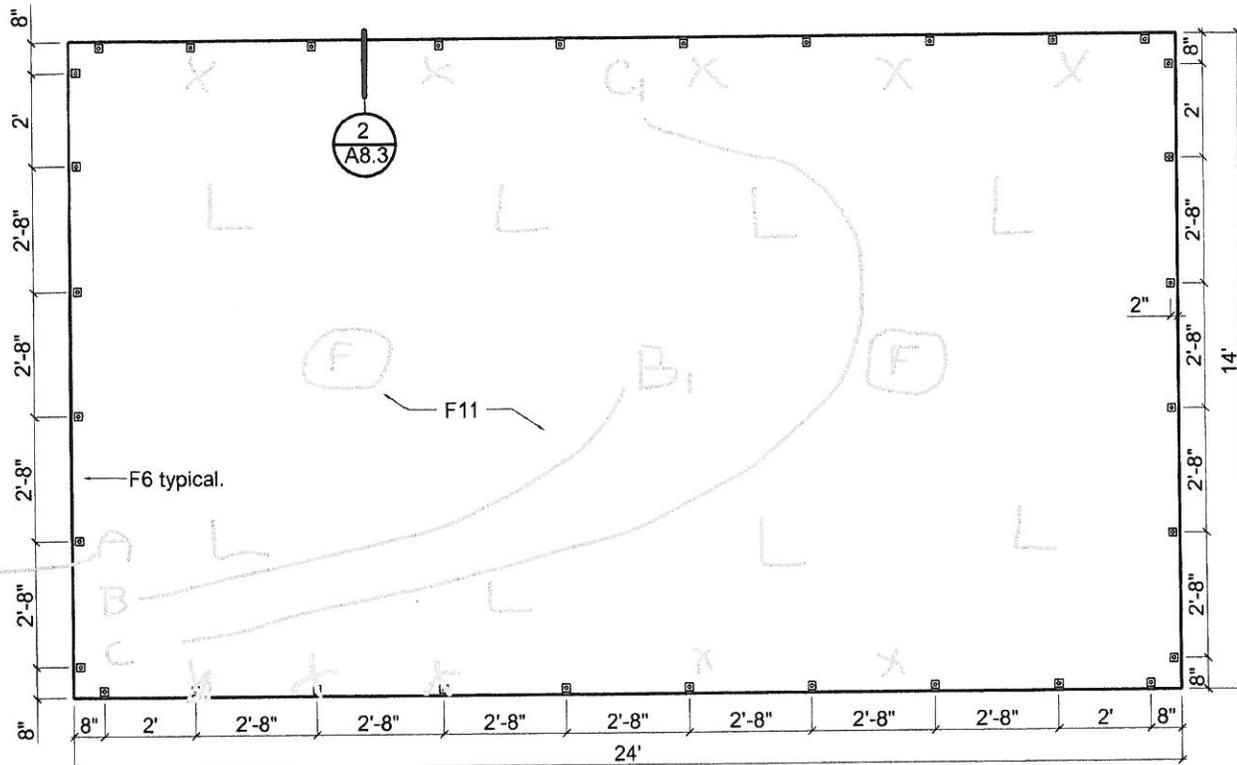
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RIGHT ELEVATION

3- 2" Conduit
 1 - to end of slab to "A" House to Submain
 1 - to mid slab B-B, (120V SAW)
 1 to mid West Wall (240V HVAC)

Drill to set anchors
 w/ framing



NOTES:

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

FOUNDATION MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

CONCRETE SLAB FLOOR PLAN

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"
 8 4' LED Shop lights - "L"
 2 " " - Loft

2 Fans (F)

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.28-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 17, BLOCK B, LAKERIDGE PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Edwin Echols for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.28-acre parcel of land being described as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 340 SF.
- (3) The *Accessory Building* shall not exceed an overall height of 15-feet.
- (4) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A'
Zoning Exhibit

Address: 204 Lakehill Drive

Legal Description: Lot 17, Block B, Lakeridge Park Addition



Exhibit 'B':
Concept Plan

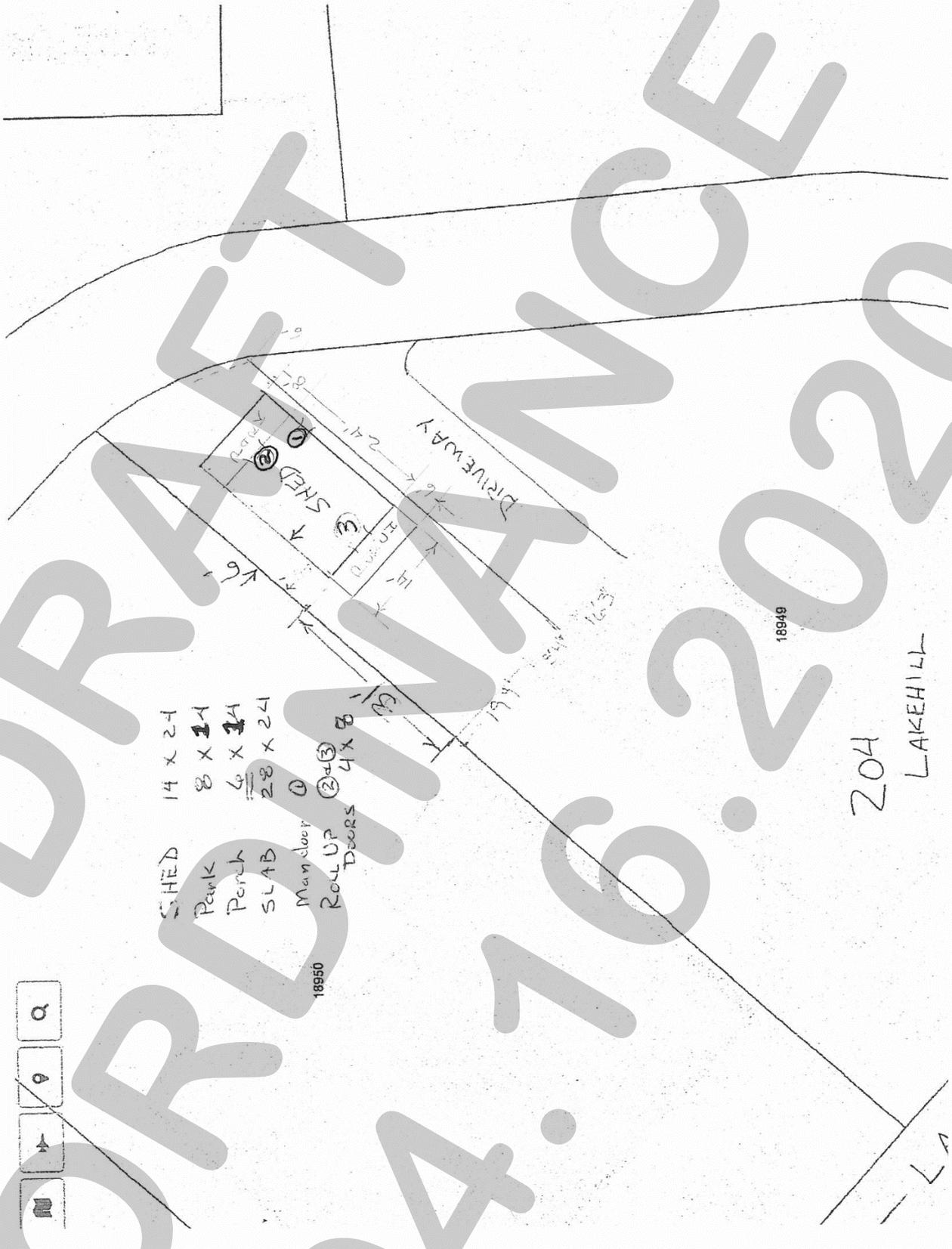
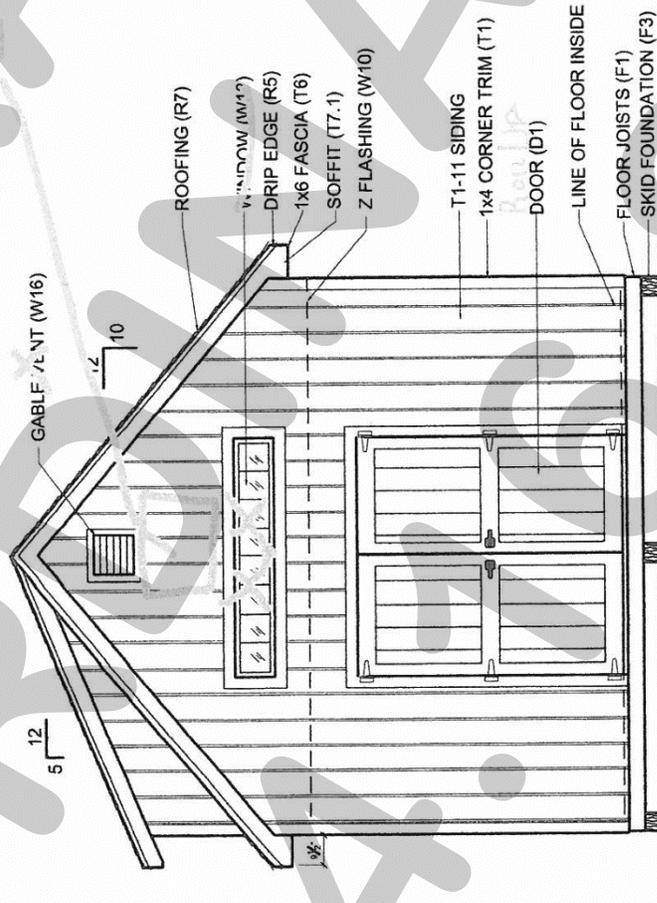


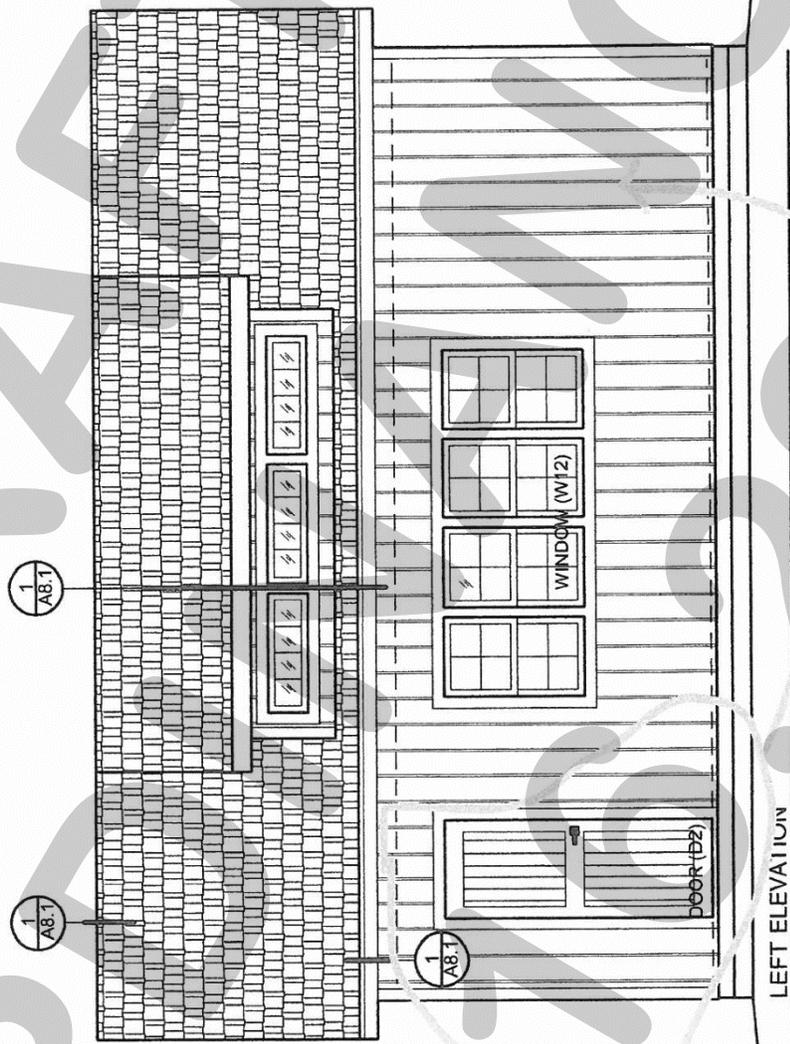
Exhibit 'C':
Conceptual Building Elevations



SIDING AND ROOFING MATERIALS			QTY.
CODE	DESCRIPTION	LENGTH	
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1 1/2"x1 1/2"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	3016 Fixed Window	3'-0" x 1'-6"	3
W14	3016 Fixed Window	3'-0" x 1'-6"	3
D1	2668 Door	12" x 12"	2
D2	6'-0" x 6'-8" door	2'-6" x 6'-8"	1

Ramp or stair materials as shown

Exhibit 'C':
Conceptual Building Elevations



Exterior Elevations 3.1
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4/8/2020

City of Rockwall Project Plan Review History



Project Number	Z2020-012	Owner	VARTAN JIZMEJIAN	Applied	3/20/2020	AG
Project Name	SUP for 706 Sherman Street	Applicant	RICHARD EXPO RYSZARD	Approved		
Type	ZONING			Closed		
Subtype	SUP			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
706 SHERMAN	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
B F BOYDSTON	4	111	4	3140-0111-0004-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	See Notes
(3/26/2020 2:17 PM SJ) I - The culvert under the driveway will need to be engineered with the building permit. Your engineer must analyze the drainage area, drainage calculations, and the culvert sizing calculations. I - This property may also need a sewer tap that can be done with the building permit.							
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-012; SUP for Detached Garage Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Ryszard M Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit(SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2020-012) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.						
M.6 Specific Use Permit (SUP).						
1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April28, 2020.						
I.7 Please note that failure to address all comments provided by staff by5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18th, 2020.						
I.9. Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 706 Sherman St. Rockwall, TX. 75087

Subdivision

Lot 4

Block 111

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner VARTAN JIZMEJIAN

Applicant RICHARD EXPO

Contact Person

Contact Person

Address 33171 ELISA DR

Address

1536 Timber Ridge Dr.

City, State & Zip

DANA POINT, CA. 92629

City, State & Zip

Rockwall, TX. 75032

Phone

949-412-4452

Phone

972-400-8047

E-Mail

E-Mail

RICHARDEXPO@HOTMAIL.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Vartan Jizmejian [owner] the undersigned, who stated the information on this application to be true and certified the following:

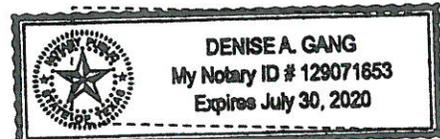
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020.

Owner's Signature

[Signature]

Notary Public in and for the State of Texas



My Commission Expires

DECLARATION OF REPRESENTATIVE

<u>Property Owner(s) Name(s) as it appears on the Change of Value Notice</u> Vartan Jizmejian
<u>Property Owner's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 33171 Elisa Dr. Dana Point CA 92629
<u>Property Owner's Telephone Number</u> (949) 412-4452

hereby appoints the following individual, corporation, limited liability company, organization, firm or partnership

<u>Individual Representatives Name and Title</u> Construction Builder Ryszard M. Waszczuk
<u>If applicable, provide Corporation, Limited Liability Company, Organization, Firm or Partnership Name</u> <p style="text-align: center;">Richard Expo</p>
<u>Representative's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 1536 Timber Ridge Dr. Rocwall. Tx 75087
<u>Representative's Telephone Number</u> (972) 400-8047

To represent the above named property owner before the State Board of Tax Appeals pursuant to the Board's rules and regulations for property located in 3005 preston ct. Rockwall County for the TX. 2015 tax year(s).

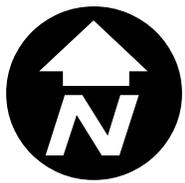
<u>Signature of Property Owner</u> <i>Vjizmejian</i>	<u>March 30/2015</u> Date
<u>If signing on behalf of a corporation, limited liability company, organization, firm or partnership, provide below the printed name and title of person signing.</u>	
<u>Ryszard M. Waszczuk</u> Printed Name	<u>Builder</u> Title



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

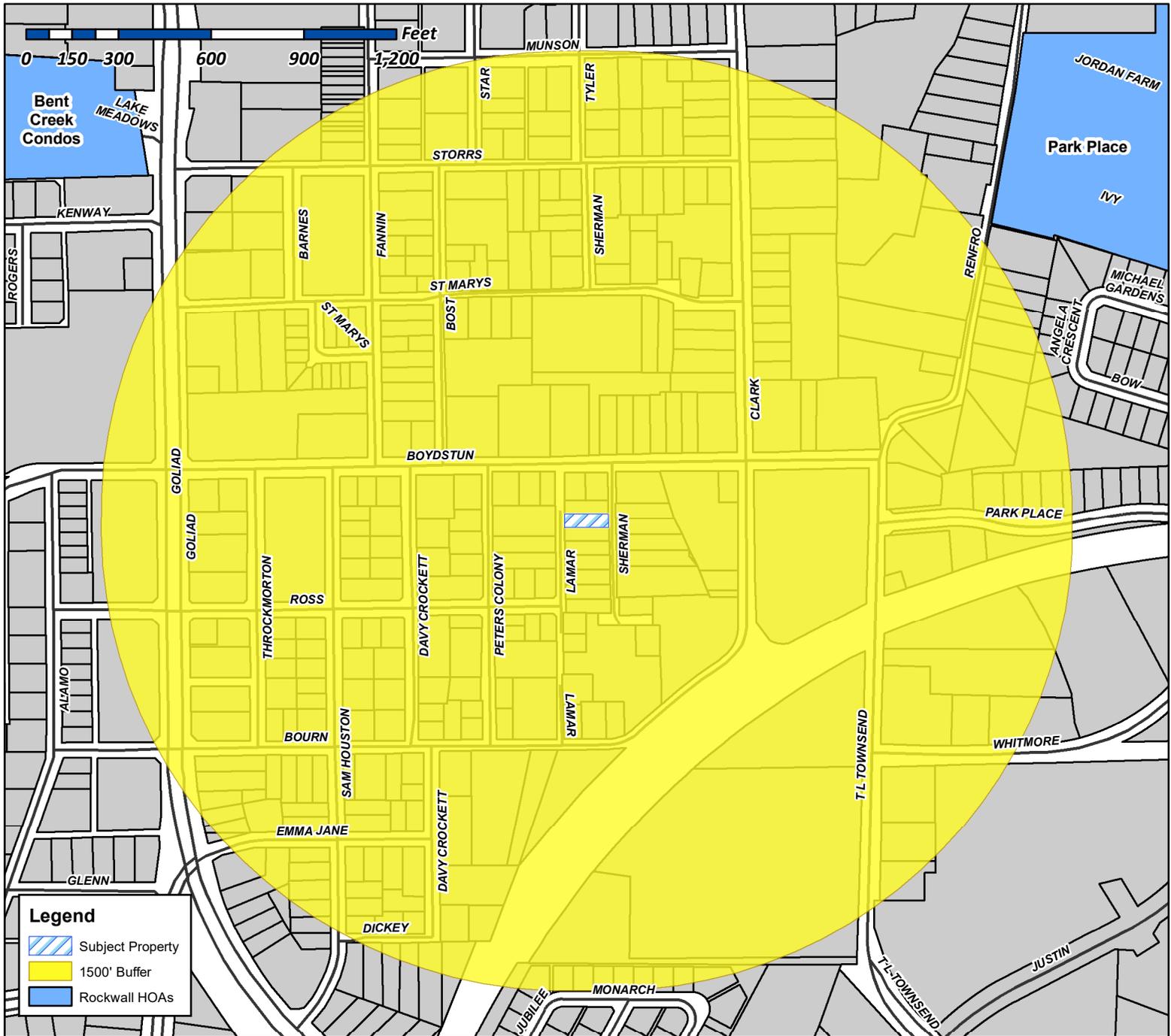
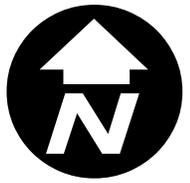




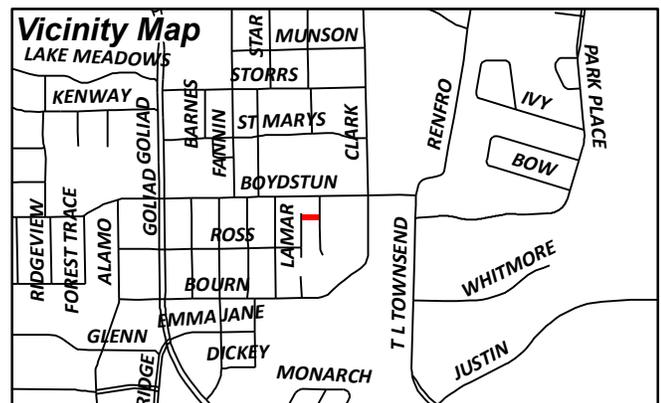
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-012
Case Name: SUP for 706 Sherman St.
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



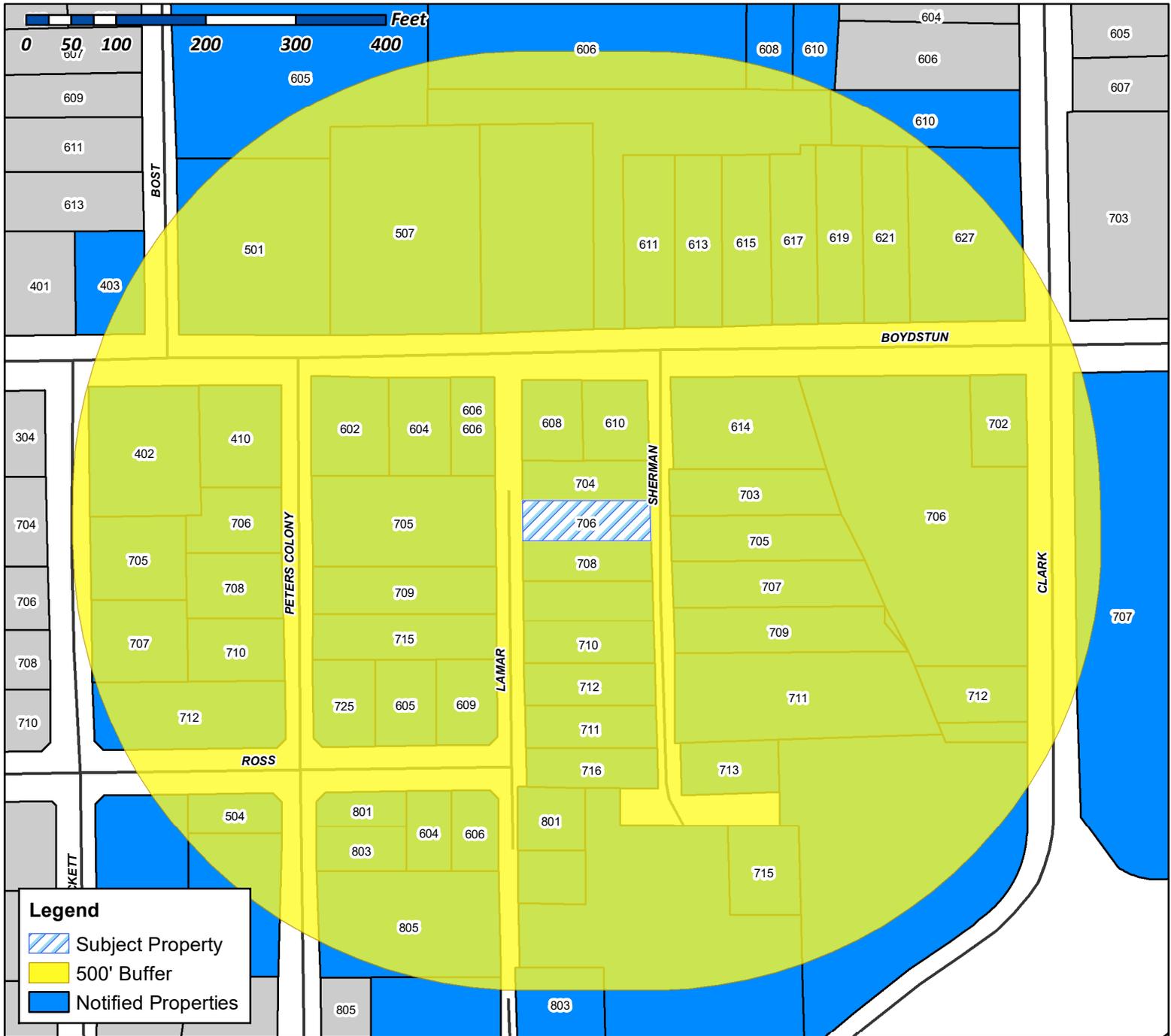
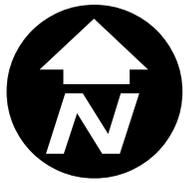
Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745



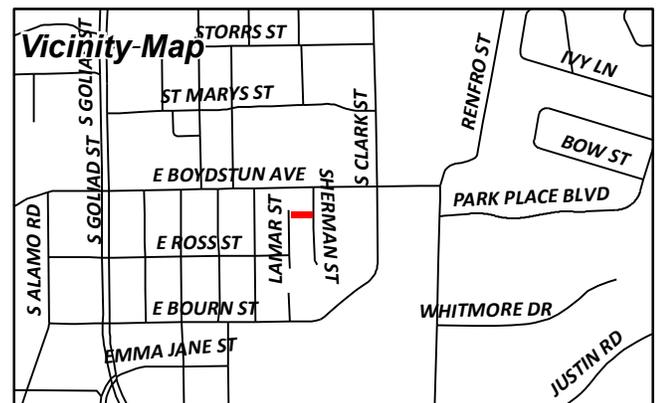
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



Date Created: 3/24/2020

For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
709 N SHERMAN
ROCKWALL, TX 75087

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

SMITH CHARLES ELLIOT
1421 COASTAL DR
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC
2289 CR 643
NEVADA, TX 75173

OSORNIO JEANNIFFER AND
NOHEMA ESTRADA MACHARIGUE
2307 WHITE ROAD
HEATH, TX 75032

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

KATELY CHARLES LEE & THELMA S
309 ANDERSON ST
OAKDALE, LA 71463

HAMANN BRENT
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
3314 ANNA CADE RD
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
403EBOYDSTUN
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
504 ROSS
ROCKWALL, TX 75087

CURRENT RESIDENT
507EBOYDSTUN
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

MOORE JAMES L
604 S CLARK
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D
605 E ROSS STREET
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
606 ROSS
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
608 ST MARYS
ROCKWALL, TX 75087

CURRENT RESIDENT
608EBOYDSTUN
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610SCLARK
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
611EBOYDSTUN
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

CURRENT RESIDENT
617EBOYDSTUN
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
621 BOYDSTUNAVE
ROCKWALL, TX 75087

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

CURRENT RESIDENT
627EBOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
702SCLARK
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
706 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
706SCLARK
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707SCLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
708 SHERMAN
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

HOLLAND ROBIN
709 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
712 CLARK
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
712 SHERMAN
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
715 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
716 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC
900 HEATHLAND CROSSING
HEATH, TX 75032

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

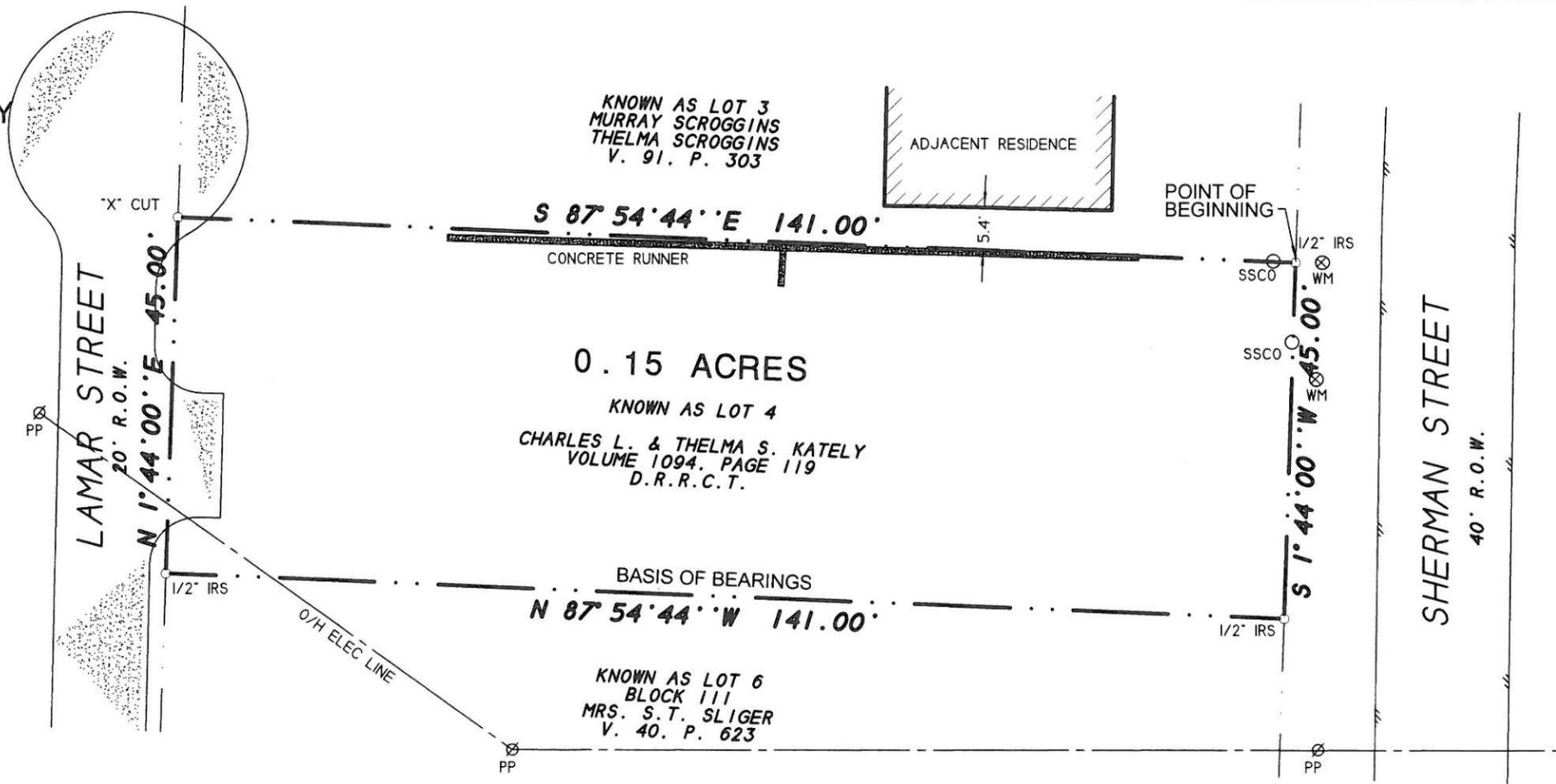
Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being all of a tract of land known as Lot 4, Block 111, as described in a Warranty deed from Tom Bieger to Charles Lee Kately and Thelma S. Kately, dated February 29, 1996 and being recorded in Volume 1094, Page 119 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of Sherman Street (40' R.O.W.) at the Northeast corner of said Kately tract and being at the Southeast corner of Lot 3, Block 111 as described in a Warranty deed from James Brown and Lavesta Lee Brown to Murray Scroggins and Thelma Scroggins, dated April 1, 1970 and being recorded in Volume 91, Page 303 of the Real Estate Records of Rockwall County, Texas;

THENCE S. 01 deg. 44 min. 00 sec. W. along said right-of-way line, a distance of 45.00 feet to a 1/2" iron rod found for corner at the Southeast corner of said Kately tract;

THENCE N. 87 deg. 54 min. 44 sec. W. a distance of 141.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the east line of Lamar Street (20' R.O.W.);

THENCE N. 01 deg. 44 min. 00 sec. E. along said right-of-way line, a distance of 45.00 feet to an "X" cut for corner at the Southwest corner of said Lot 3 and the Northwest corner of said Kately tract;

THENCE S. 87 deg. 54 min. 44 sec. E. along the common line between said Lot 3 and Kately tract, a distance of 141.00 feet to the POINT OF BEGINNING and containing 0.15 acres of land.

SURVEY ACCEPTED BY:

DATE _____

DATE _____

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT VOL. 40, PG. 148, D.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Charles L. and Thelma S. Kately at 706 Sherman Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of November, 2019.


Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE
ELECTRIC METER	ELECTRIC BOX	WATER METER	LIGHT POLE	
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK

2020-012

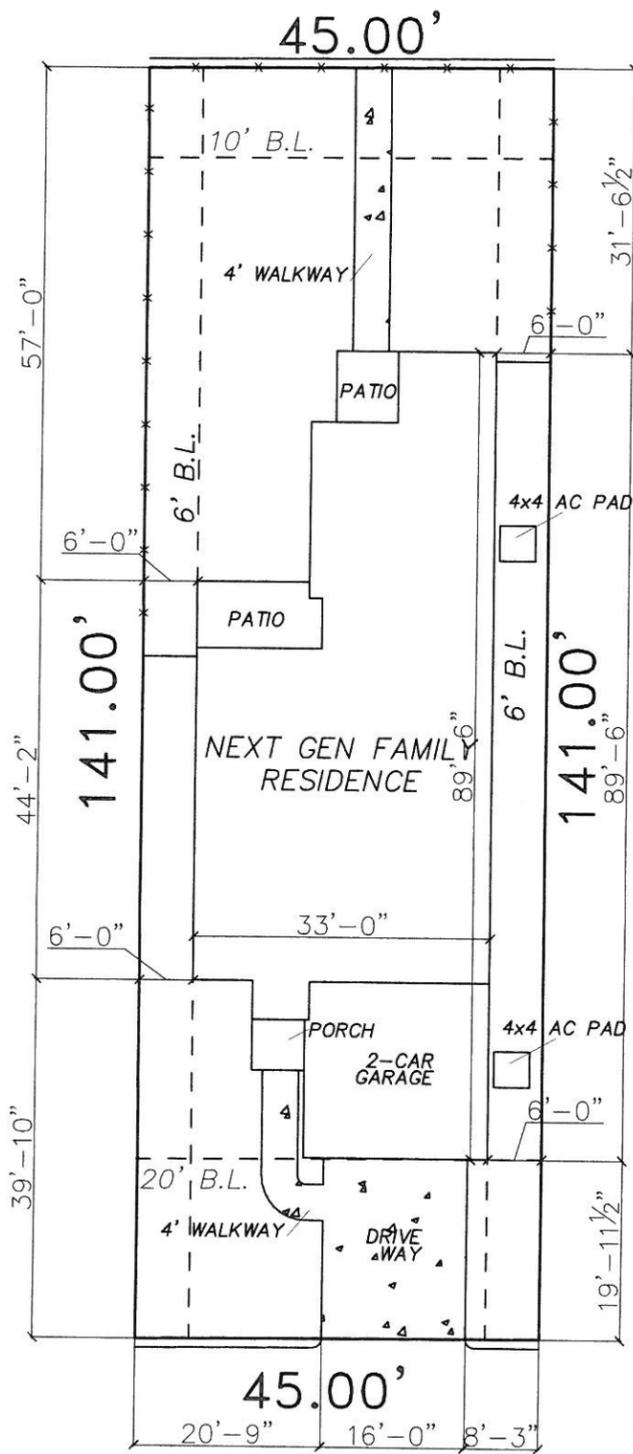
H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 18, 2019
SCALE 1" = 20' FILE # 20190380
CLIENT KATELY GF # NONE



NORTH
SCALE: 1' = 20'-0"

LAMAR STREET



SHERMAN STREET

22020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

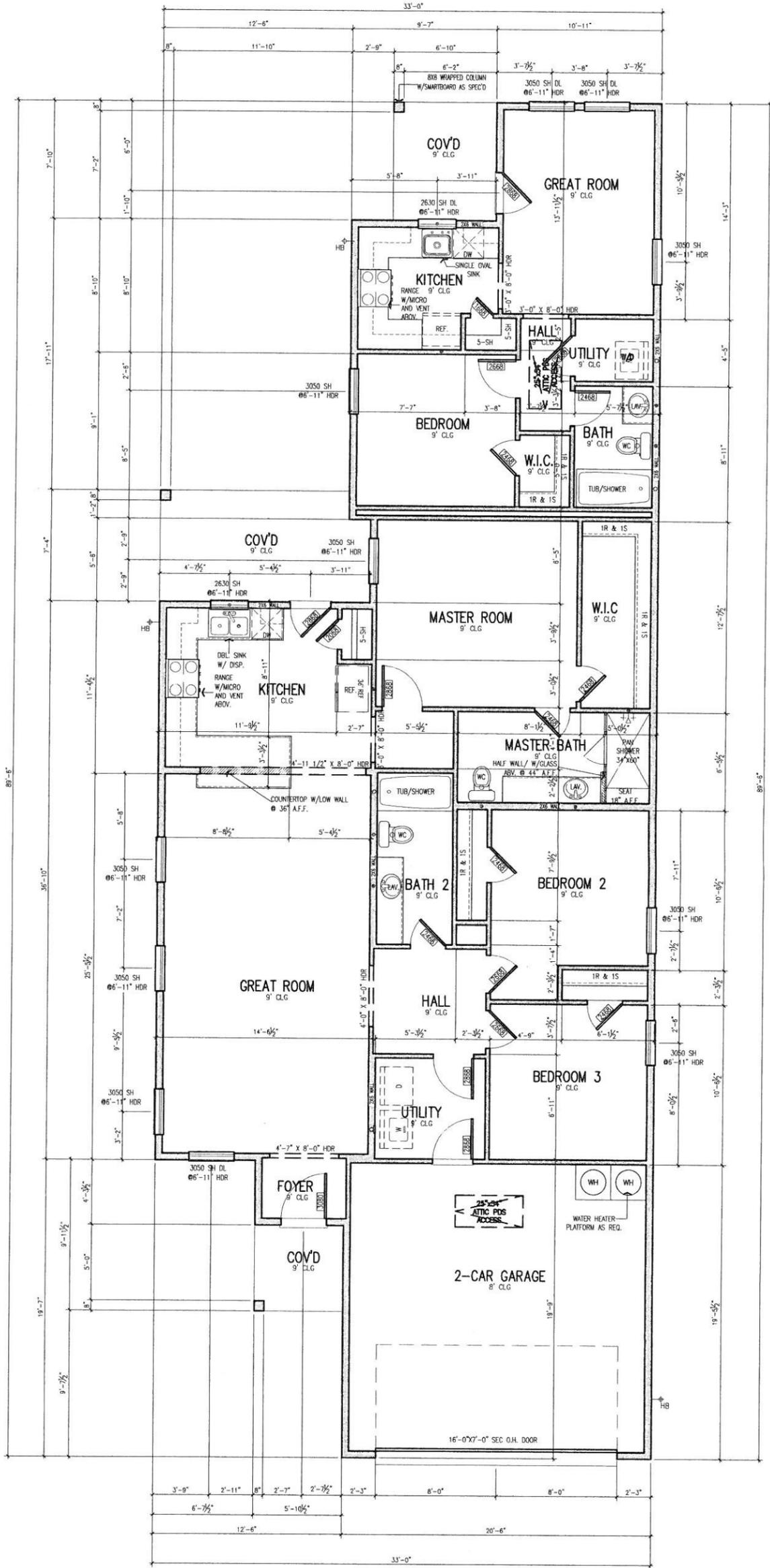
DATE: _____

NOTES:

LEGEND	→ - DRAINAGE FLOW	B.L. - BUILDING LINE
	-x-x- - PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
—○— - EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
▨ - CURLEX	S.S.E. - SANITARY SEWER EASEMENT	
▩ - RETAINING WALL	T.E. - TRANSFORMER EASEMENT	
⊙ - REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT	
⬢ - REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
	⬢ - EXPOSED AGGREGATE CONCRETE	

BUILDER: RICHARD EXPO.	DATE: 02/07/20	DDS GROUP <hr/> <hr/> <hr/> PLOT PLAN
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A	
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL	
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND AL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	

AREA CALCULATIONS_1803A				
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY	
First Floor	1839	SQ. FT.	1745	SQ. FT.
Second Floor	0	SQ. FT.	0	SQ. FT.
Total Living Area	1,839	SQ. FT.	1,745	SQ. FT.
1-Car Garage	0	SQ. FT.	0	SQ. FT.
2-Car Garage	398	SQ. FT.	373	SQ. FT.
3-Car Garage	0	SQ. FT.	0	SQ. FT.
Total Garage Area	398	SQ. FT.	373	SQ. FT.
Covered Porch	0	SQ. FT.	33	SQ. FT.
Covered Patio	0	SQ. FT.	153	SQ. FT.
Covered Balcony	0	SQ. FT.	0	SQ. FT.
Total Covered Porch/Patio Area	0	SQ. FT.	186	SQ. FT.
Total Slab Area			2,304	SQ. FT.
Total Under Floor			2,304	SQ. FT.
Total Interior Frame	2,237	SQ. FT.		
Total Exterior Frame				
Overall Width = 39'-11"			Overall Depth = 61'-6"	

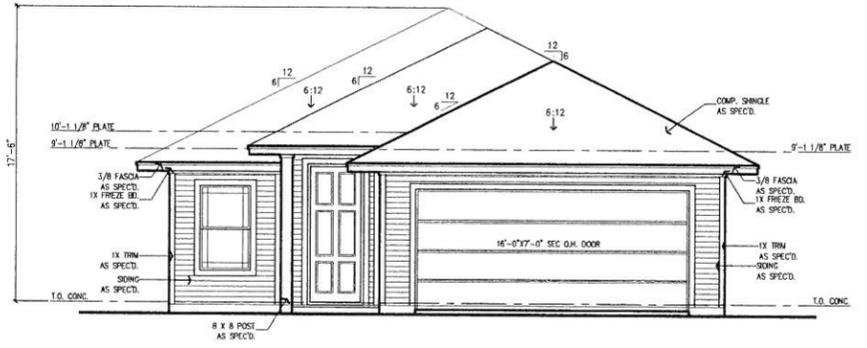


1 ELEVATION A
FIRST FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

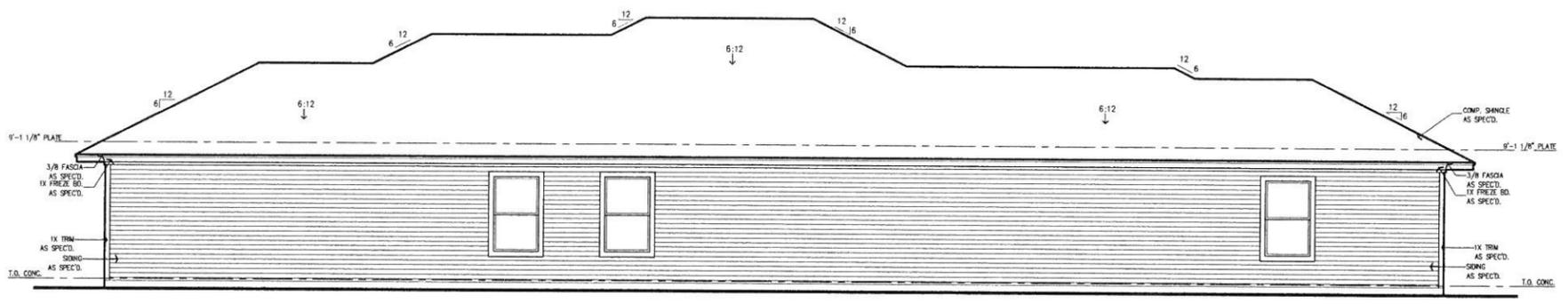
Z 2020-012

SHEET NO. A1 OF 15	ISSUED FOR REVIEW 02/06/2020	REVISIONS:	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR: DESIGN & DRAFTING GROUP SERVICES ADDRESS: 132 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	DDS GROUP
			ELEVATION: A GARAGE: FRONT ENTRY		

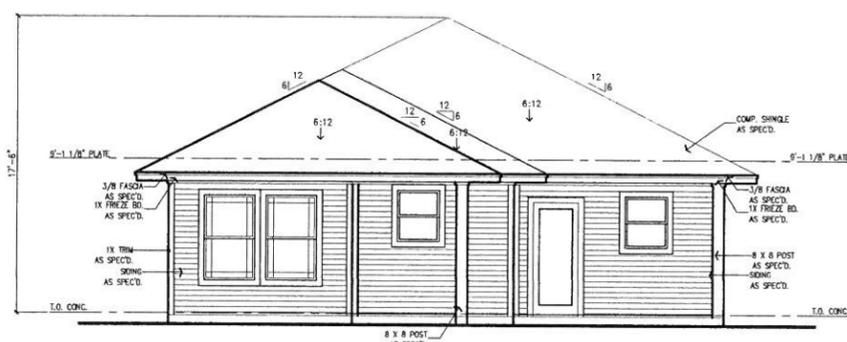
MATERIAL AREA TABULATIONS										
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL
Front Elevation	0	S.F.	0.00%	0	S.F.	0.00%	64	S.F.	100.00%	64 S.F.
Right Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	622	S.F.	100.00%	622 S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	133	S.F.	100.00%	133 S.F.
Left Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	532	S.F.	100.00%	532 S.F.
Total Area	0	S.F.		0	S.F.		1,351	S.F.		1,351 S.F.
Total Brick Area							0	S.F.		0.00%
Total Stone Area							0	S.F.		0.00%
Total Siding Area							1,351	S.F.		100.00%
Overall Width = 39'-11"					Overall Depth = 61'-6"					



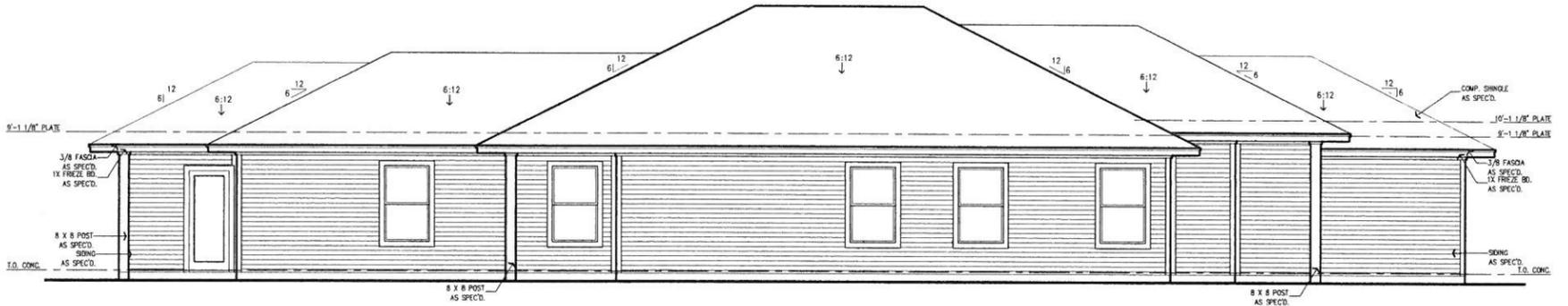
1 ELEVATION A
A3 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2 ELEVATION A
A3 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3 ELEVATION A
A3 REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4 ELEVATION A
A3 LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO. A3 OF 15	LULLAM CUSTOM HOMES 2017 DRAWN BY: DDSG-AA	REVISIONS:	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR: DESIGN & DRAFTING GROUP SERVICES ADDRESS: 132 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	
	ISSUED FOR REVIEW 02/06/2020		ELEVATION-A GARAGE: FRONT ENTRY		

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1030-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request Ryszard M. Waszczuk for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1030-acre parcel of land being described as Lot 4, Block 111, B. F. Boydstud Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A'
Zoning Exhibit

Address: 706 Sherman Street

Legal Description: Lot 4, Block 111, B. F. Boydston Addition

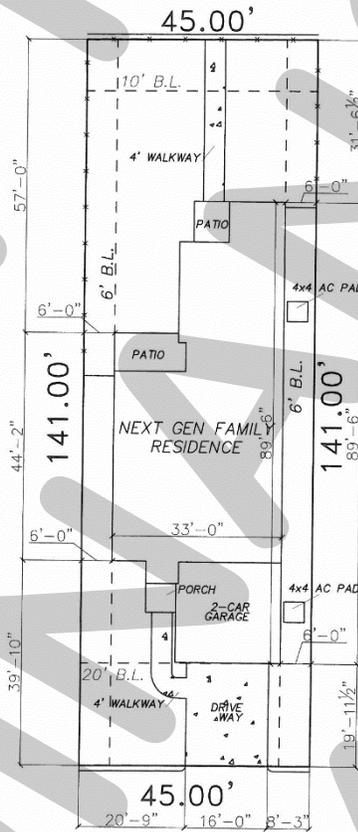


Exhibit 'B':
Residential Plot Plan



NORTH
SCALE: 1" = 20'-0"

LAMAR STREET



SHERMAN STREET

Z2020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

DATE: _____

NOTES:

LEGEND	DRAINAGE FLOW	B.L. - BUILDING LINE
	PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
CURLEX	S.S.E. - SANITARY SEWER EASEMENT	
RETAINING WALL	T.E. - TRANSFORMER EASEMENT	
REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT	
REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
	* - EXPOSED AGGREGATE CONCRETE	

BUILDER: RICHARD EXPO.	DATE: 02/07/20	DDS GROUP
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A	
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL	PLOT PLAN
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A		

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAN. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF TOES AND ALL PLANTWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE CITY OF ROCKWALL. IT IS THE WORKER'S RESPONSIBILITY TO VERIFY ALL INFORMATION.

City of Rockwall Project Plan Review History



Project Number Z2020-014	Owner ALEJANDRO PORTOCARRERO	Applied 3/20/2020 AG
Project Name SUP for 328 Harborview Drive	Applicant	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status Staff Review		Status
 Site Address 328 HARBORVIEW		Zoning
City, State Zip ROCKWALL, TX 75032		
Subdivision HARBOR LANDING PH 2	Tract 24	Block C
		Lot No 24
		Parcel No 3808-000C-0024-00-0R
		General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	David Gonzales	3/20/2020	3/27/2020	3/30/2020	10	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(3/30/2020 4:37 PM DG)						Z2020-0014; SUP for Residential Infill in Established Subdivision– 328 Harborview Drive Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive.
I.2						For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.
M.3						For reference, include the case number (Z2020-014) in the lower right-hand corner of all pages of all revised plan submittals(i.e. site plan and landscape plan).
I.4						This project is subject to all requirements stipulated by the Development Standards of Planned Development District8 (PD-8), and Article 04 & Article 05 the Unified Development Code (UDC) that are applicable to the subject property.
M.5						Please review the draft ordinance when received by staff and provide comments to staff by April21, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting(i.e. Public Hearing) to be held on April 28, 2020.
M.6						Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a boat sales, storage and repair facility on the Subject Property, and conformance to these operational conditions is required for continued operations
						<ol style="list-style-type: none"> 1) The subject property shall generally conform to the Plot Plan as depicted in Exhibit 'B' of the draft ordinance; and, 2) The subject property shall generally conform to the Building Elevations as depicted in Exhibit 'C' of the draft ordinance. 3) Upon obtaining a building permit for the subject property and upon approval of the final inspection by the Building Inspections Department of the City of Rockwall, this Specific Use Permit shall expire on the effective date of said final inspection
I.7						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 28, 2020 Planning & Zoning Meeting.
I.8						Please note the scheduled meetings for this case:
						<ol style="list-style-type: none"> 1) Planning & Zoning Work Session meeting will be held on April 14, 2020. 2) Planning & Zoning Public Hearing meeting will be held on April 28, 2020. 3) City Council Public Hearing will be held on May 4, 2020. (1st Reading of Ordinance) 4) City Council meeting will be held on May 18, 2020. (2nd Reading of Ordinance)
I.9						Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-014

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 328 HARBORVIEW DR

Subdivision HARBOR LANDING PHASE 2 Lot 24 Block C

General Location HARBORVIEW DR CURVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-8 Current Use N/A (Empty lot)

Proposed Zoning _____ Proposed Use RESIDENTIAL

Acreage 0.23 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ALEJANDRO PORTOCARRERO Applicant _____

Contact Person ALEJANDRO PORTOCARRERO Contact Person _____

Address 7205 STONE MEADOW CIR Address _____

City, State & Zip Rowlett, TX 75088 City, State & Zip _____

Phone 214774 7323 Phone _____

E-Mail alejandroportocarrero@hotmail.com E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

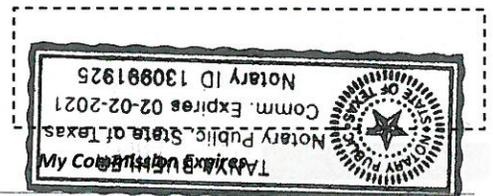
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 20 20

Owner's Signature

Notary Public in and for the State of Texas

Jay Bue



0 15 30 60 90 120 Feet

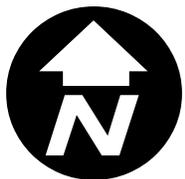
Z2020-014- SUP FOR 328 HARBORVIEW DR.
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

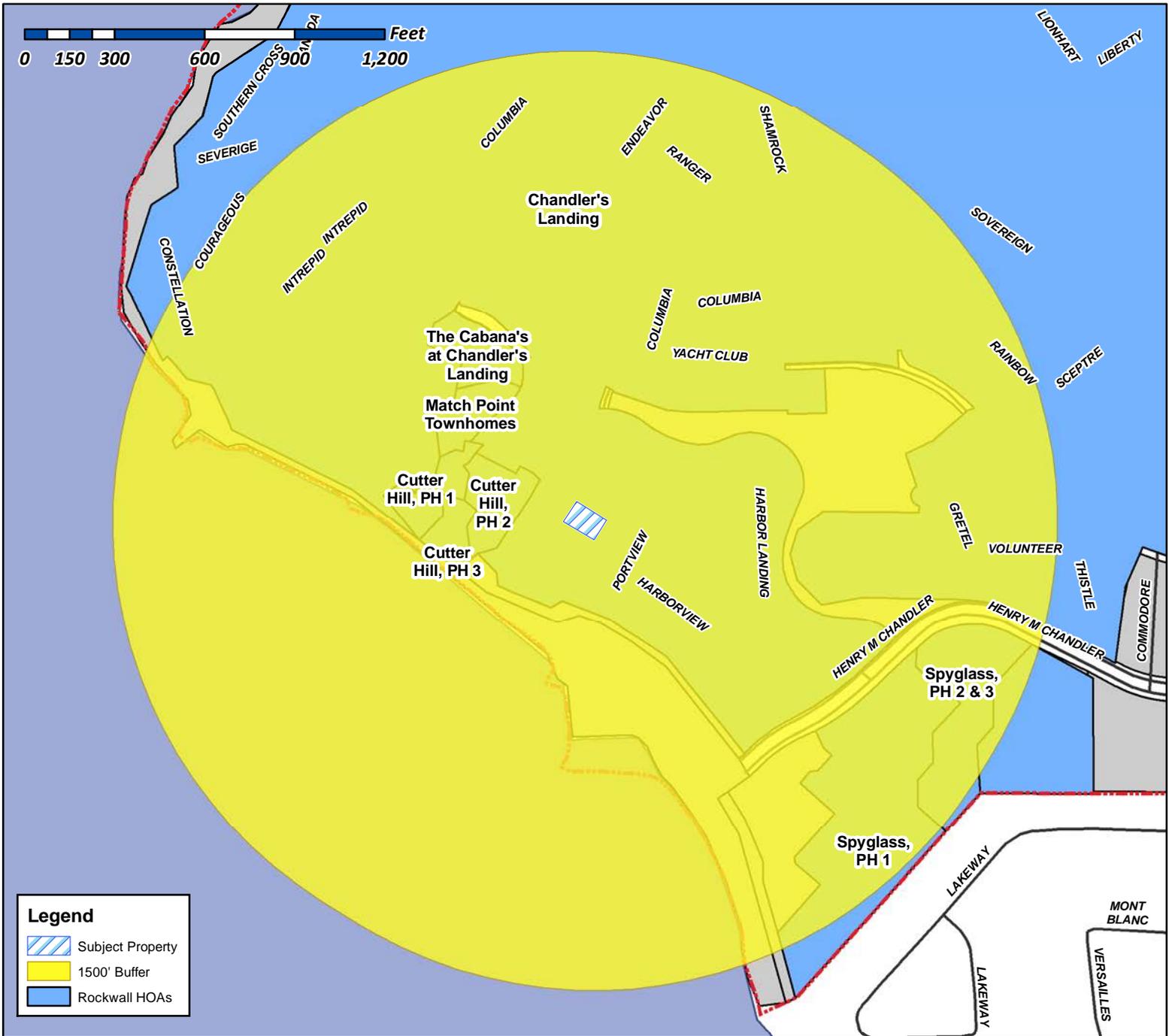




City of Rockwall

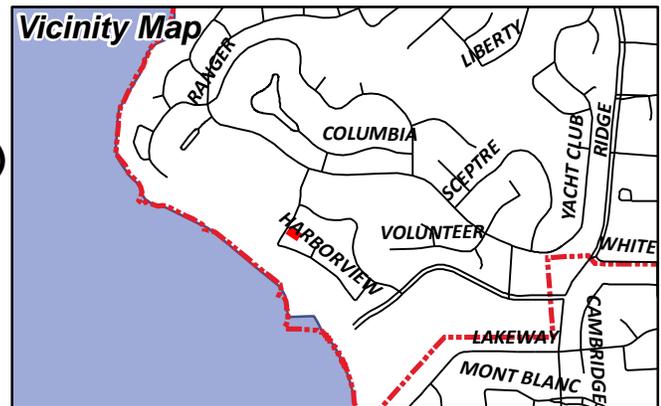
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-014
Case Name: SUP for 328 Harborview Dr.
Case Type: Specific Use Permit
Zoning: Planned Development District 8 (PD-8)
Case Address: 328 Harborview Dr.

Date Created: 3/24/2020
 For Questions on this Case Call (972) 771-7745



Gonzales, David

From: Gamez, Angelica
Sent: Tuesday, April 7, 2020 11:38 AM
Cc: Miller, Ryan; Brooks, Korey; Gonzales, David
Subject: Neighborhood Notification Program
Attachments: HOA Map Z2020-014.pdf; PUBLIC NOTICE (04.07.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning cases that was published in the Rockwall Herald Banner on *April 10, 2020*. The Planning and Zoning Commission will hold a virtual public meeting on *Tuesday, April 28, 2020 at 6:00 PM*, and the City Council will hold a virtual public meeting on *Monday, May 4, 2020 at 6:00 PM*. Both hearings will take place virtually at 6:00 PM and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-014- SUP for Residential Infill for 328 Harborview Drive

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-014
Case Name: SUP for 328 Harborview Dr.
Case Type: Specific Use Permit
Zoning: Planned Development District 8 (PD-8)
Case Address: 328 Harborview Dr.

Date Created: 3/24/2020
 For Questions on this Case Call (972) 771-7745



GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

SOON HERALD
14300 CERVANTES AVE
GERMANTOWN, MD 20874

THE POTTS-REAGIN HOUSE LLC
1460 E MAIN ST
BARTOW, FL 33830

D'ALISO CHRISTOPHER J
1701 HICKORY CHASE CIR
KELLER, TX 76248

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

SLATE CRAIG AND TANYA
185 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

PONDER KENNETH & ELMA
1850 ASHBOURNE DR
ROCKWALL, TX 75087

DINKLANG ARTURO A
1923 NORTH FLOYD RD
RICHARDSON, TX 75080

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER DEANNA
202 RAINBOW CIRCLE
ROCKWALL, TX 75032

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

CROMEENS SHAN
2720 EGANRIDGE LN
ROCKWALL, TX 75087

TRAYAH LLC
2897 S NELSON ST
LAKEWOOD, CO 80227

JOHNSON DAVID LEO AND
LINDA J JOHNSON
3021 RIDGE RD #285
ROCKWALL, TX 75032

VINES KENT C AND LINA ZHU
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
307 HARBORVIEW
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
308 HARBORVIEW
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DRIVE
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
310 HARBORVIEW
ROCKWALL, TX 75032

JONES SHERIDAN S
311 COLUMBIA DR
ROCKWALL, TX 75032

WIZMANN ERIC & DALE
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

CURRENT RESIDENT
312 HARBOR LANDING
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

HENDRICKSON PATSY A
317 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
317 HARBORVIEW
ROCKWALL, TX 75032

REYNOLDS MARVIN C JR & CLARE D
319 HARBOR LANDING DR
ROCKWALL, TX 75032

SELF SCOTT & JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

LOHR JAMES A & MARGARET P
320 HARBOR LANDING DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
321 HARBORVIEW
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

BRADSHAW MARCKUS LEWIS AND
VANESSA RIZZARI
324 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

SIVILS LINDA LUDDEN
325 YACHT CLUB DR
ROCKWALL, TX 75032

HOWELL ELMIN K & BETTY K
326 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
326 HARBORVIEW
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

ABOU-HAIDAR ISSA S & LAMORA
327 YACHT CLUB DR
ROCKWALL, TX 75032

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
328 HARBORVIEW
ROCKWALL, TX 75032

CURRENT RESIDENT
329 HARBORVIEW
ROCKWALL, TX 75032

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDO AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

VOSPER ALAN AND SHIRLEY
333 HARBORVIEW
ROCKWALL, TX 75032

KUIPERS ROY & KATHY SALFEN
333 YACHT CLUB DR
ROCKWALL, TX 75032

MANASCO MARTIN E AND LISA M
335 HARBORVIEW DR
ROCKWALL, TX 75032

CURRENT RESIDENT
337 HARBORVIEW
ROCKWALL, TX 75032

MOHAN KENNETH
3415 WATERVIEW TRL
ROCKWALL, TX 75087

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

CENSULLO TERESA ANN
405 COLUMBIA DR
ROCKWALL, TX 75032

CURRENT RESIDENT
405 YACHT CLUB
ROCKWALL, TX 75032

MALLARD DAVID S & SHERRY A
407 COLUMBIA DR
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

O'BOYLE MICHAEL
426 YACHT CLUB DR
ROCKWALL, TX 75032

STENBERG BARBARA JANE
426 YACHT CLUB DR APT C
ROCKWALL, TX 75032

CONINE CHRISTOPHER T
426 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

FORSYTHE LESLEY K AND
PETER J HOLLY
426 YACHT CLUB DRIVE #H
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

DAVIS KERRI
436 YACHT CLUB DR #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

PATRICK ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

BRUNS BEVERLY LYNN
440B YACHT CLUB DR
ROCKWALL, TX 75032

VREELAND DENISE AND
DAN CALNON
442 YACHT CLUB DRIVE #B
ROCKWALL, TX 75032

CARRIGAN DOROTHY
450 YACHT CLUB DR APT B
ROCKWALL, TX 75032

RUNYON FLOYD D AND DANA
450 YACHT CLUB DRIVE UNIT # A
ROCKWALL, TX 75032

HARRIS CHAD M
452 YACHT CLUB DRIVE A
ROCKWALL, TX 75032

POWELL COQUEACE
454 S YACHT CLUB DRIVE A
ROCKWALL, TX 75032

POWELL COQUEACE
454 S YACHT CLUB DRIVE A
ROCKWALL, TX 75032

MCCALISTER SHAWN D & RUSS W WILLIAMSON
&
ELIZABETH R WILLIAMSON
456A YACHT CLUB DR
ROCKWALL, TX 75032

KNEEDLER BRADLEY HARRISON
456C YACHT CLUB DRIVE UNIT 302
ROCKWALL, TX 75032

GREEN JOHN W JR
458 YACHT CLUB DR APT A
ROCKWALL, TX 75032

TUCKER JOHN
4748 SECRET CV
ROCKWALL, TX 75032

CURRENT RESIDENT
501 YACHT CLUB
ROCKWALL, TX 75032

OIWA TAKAAKI
C/O OPEN HOUSE CO LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

BARBEE NATHAN DAVID
517 SKELTON ST
ROYSE CITY, TX 75189

HAMMOND HUDDLE LIVING TRUST
EUGENE WESLEY HUDDLE AND JANE
HAMMOND TRUSTEES
519 E I-30 #704
ROCKWALL, TX 75087

HAMMOND JANE AND
EUGENE WESLEY HUDDLE
519 E INTERSTATE 30 #704
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

COWAN AMY
DAVID SPOENEMAN
5203 SCARBOROUGH LN
DALLAS, TX 75287

GUNTER MARGIE ANN
524 YACHT CLUB DR
ROCKWALL, TX 75032

HUNT DIANE DOLORES
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

PEARMAN JANICE
536 YACHT CLUB DR
ROCKWALL, TX 75032

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

CURRENT RESIDENT
544 YACHT CLUB
ROCKWALL, TX 75032

GILL ATLANTA PROPERTIES LLC
545 KIRNWOOD DRIVE
DALLAS, TX 75232

CURRENT RESIDENT
546 YACHT CLUB
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

STROUD SUZETTE AND
LINA NIKOLE SWIZE
581 LOUDER WAY
FATE, TX 75087

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5814 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

CONSOLIDATED SYSTEMS INC
6220 GASTON AVE STE 700
DALLAS, TX 75214

CURRENT RESIDENT
7 GREENBELT
ROCKWALL, TX 75032

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

OYHARCABAL HENRY A
783 17TH AVE
SAN FRANCISCO, CA 94121

PROSEK SHERI
803 VILLAGE GREEN DR
ROCKWALL, TX 75087

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

KAPRANTZAS ENTERPRISES LLC
904 E DAVIS ST. 400
MESQUITE, TX 75149

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

SELF BILLY & KATIE
C/O PRO SOAP 1830 E I30
ROCKWALL, TX 75087

LUCIA LODEMA S TRUSTEE
LUCIA REVOCABLE INTER-VIVOS TRUST
PO BOX 1600
ROCKWALL, TX 75087

MASULA II LIVING TRUST
DURELL D AGHA TRUSTEE
PO BOX 221337
CARMEL, CA 93922

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
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ROCKWALL, TX 75087

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PO BOX 638
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-014: SUP for Residential Infill for 328 Harborview Drive

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-014: SUP for Residential Infill for 328 Harborview Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

MATERIALS LEYEND	
	• STUCOO 1283 SQF SMOOTH FINISH
	• BRICK VENEER 953 SQF VALENTINO WHITE SPLITFACE
	• WOOD SIDING 363 SQF CUMARU SHIPLAP 6" SIDING

PROJECT EL= 20'-8"
MAX ROOF EL= 479'-0"
PROJECT EL= 19'-0"
ROOF EL= 477'-4"



PROJECT EL= 19'-10"
ROOF EL= 478'-2"

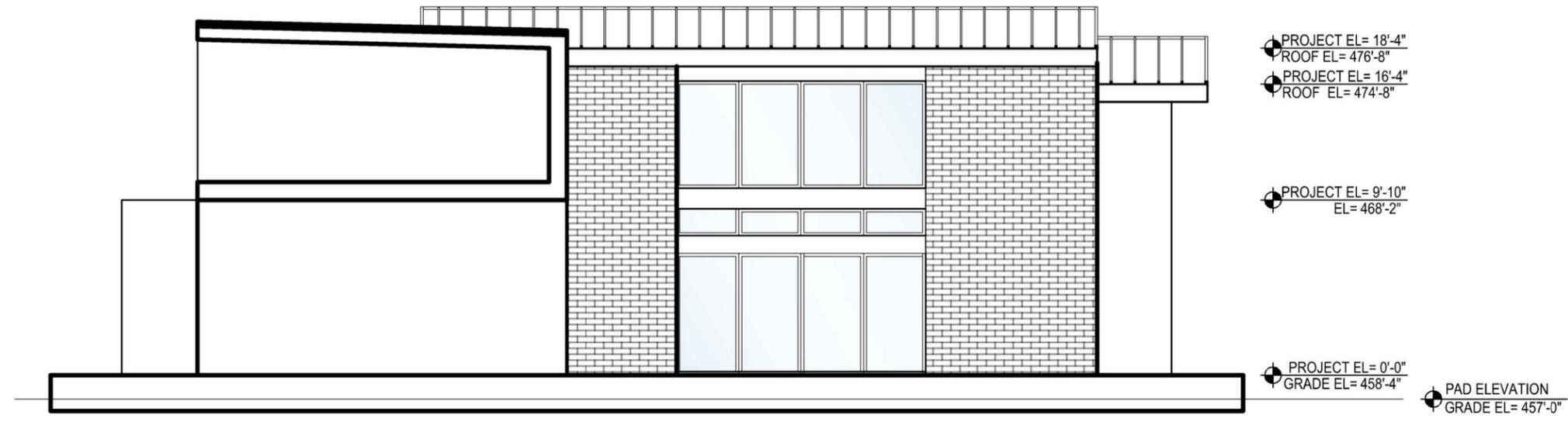
PROJECT EL= 9'-10"
EL= 468'-2"

PROJECT EL= 0'-0"
EL= 458'-4" PAD ELEVATION
GRADE EL= 457'-0"

ELEVATION 1/A.04
SCALE 1/8"=1'-0"

PROJECT EL= 19'-10"
ROOF EL= 478'-2"

PROJECT EL= 9'-10"
EL= 468'-2"



PROJECT EL= 18'-4"
ROOF EL= 476'-8"

PROJECT EL= 16'-4"
ROOF EL= 474'-8"

PROJECT EL= 9'-10"
EL= 468'-2"

PROJECT EL= 0'-0"
GRADE EL= 458'-4" PAD ELEVATION
GRADE EL= 457'-0"

ELEVATION 2/A.04
SCALE 1/8"=1'-0"

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd, Suite F2
Magnolia Texas 77354



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

DRAWING TITLE:

PROJECT NO.
ISSUE DATE 12/14/2019
DRAWN BY /CHECKED BY
APPROVED BY

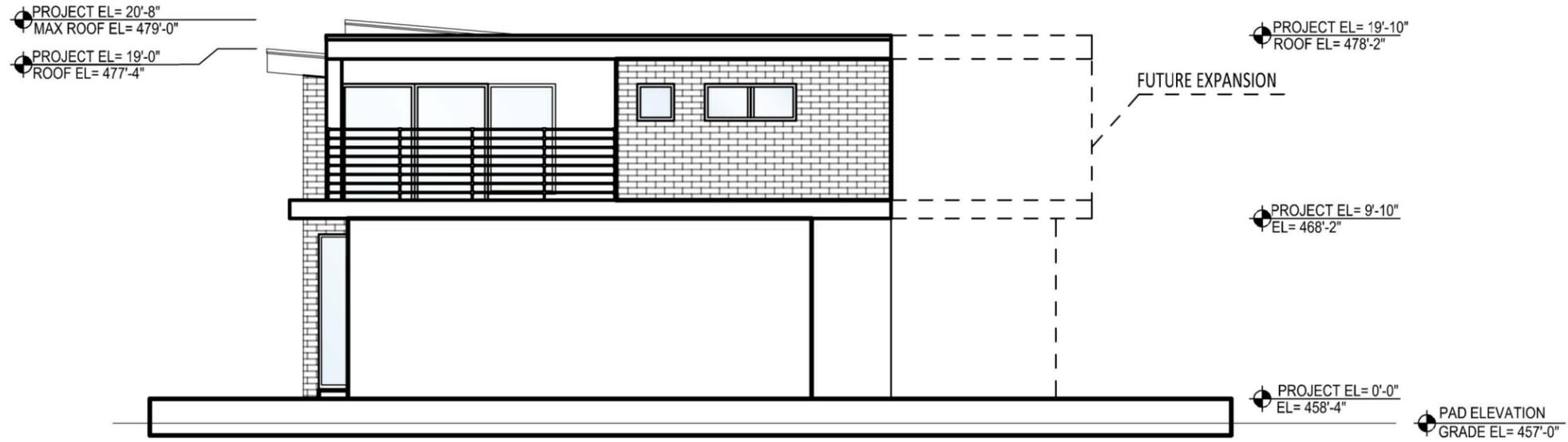
DRAWING NO.
OF
A0.4

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd, Suite F2
Magnolia Texas 77354

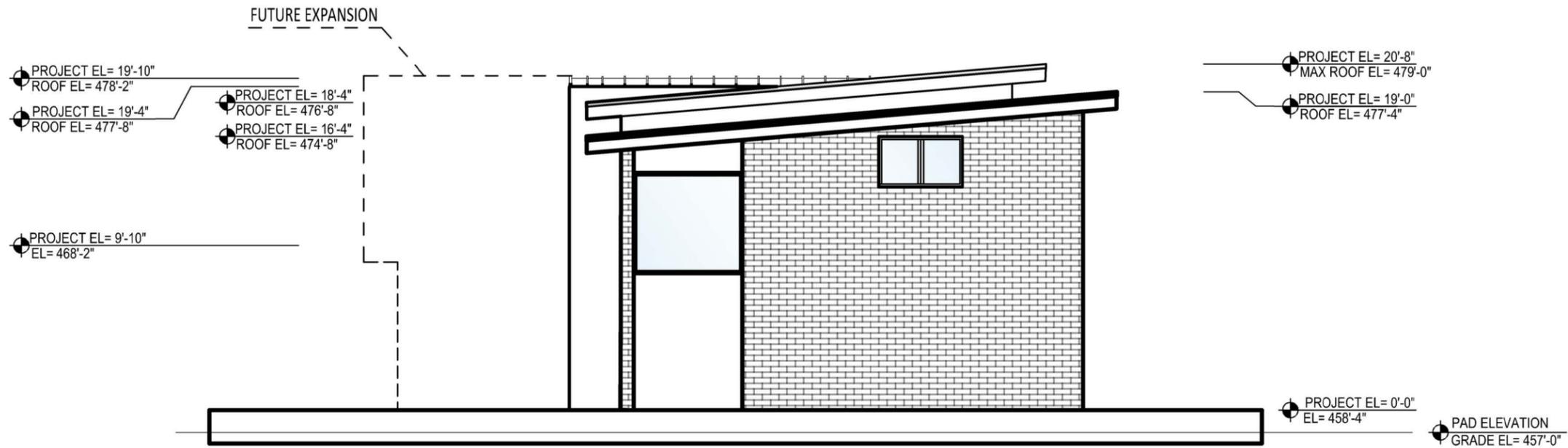


PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



ELEVATION 1/A.05

SCALE 1/8"=1'-0"



ELEVATION 2/A.05

SCALE 1/8"=1'-0"

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

DRAWING TITLE:

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY /CHECKED BY
APPROVED BY

DRAWING NO.
OF
A0.5

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd. Suite F2
Magnolia, Texas 77354



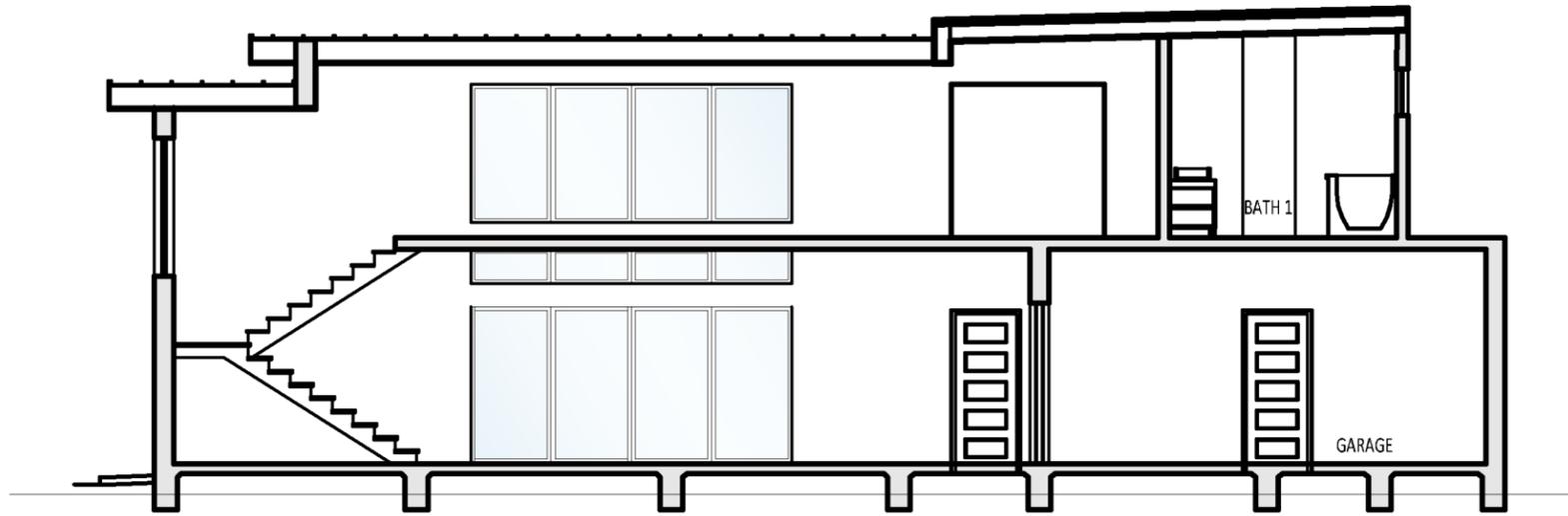
PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

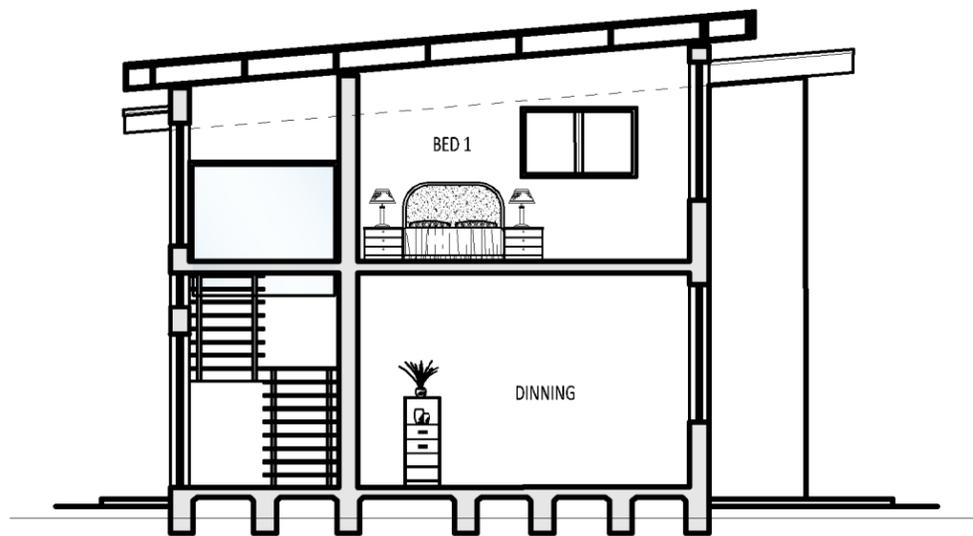
DRAWING TITLE:

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY /CHECKED BY
APPROVED BY

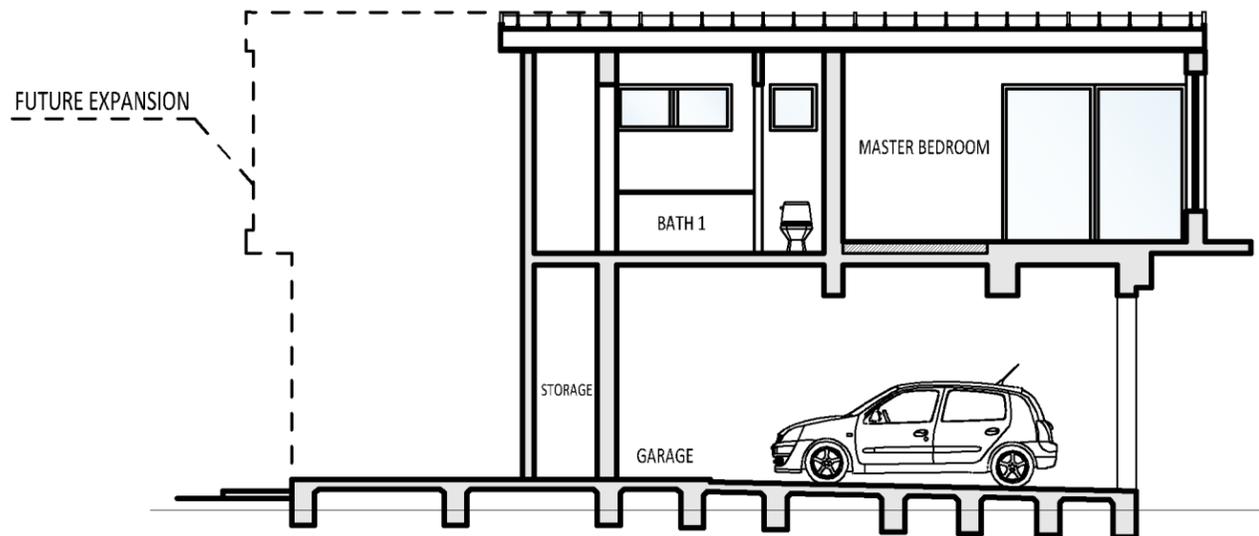
DRAWING NO.
OF
A0.6



SECTION 1/A.06
SCALE 1/8"=1'-0"

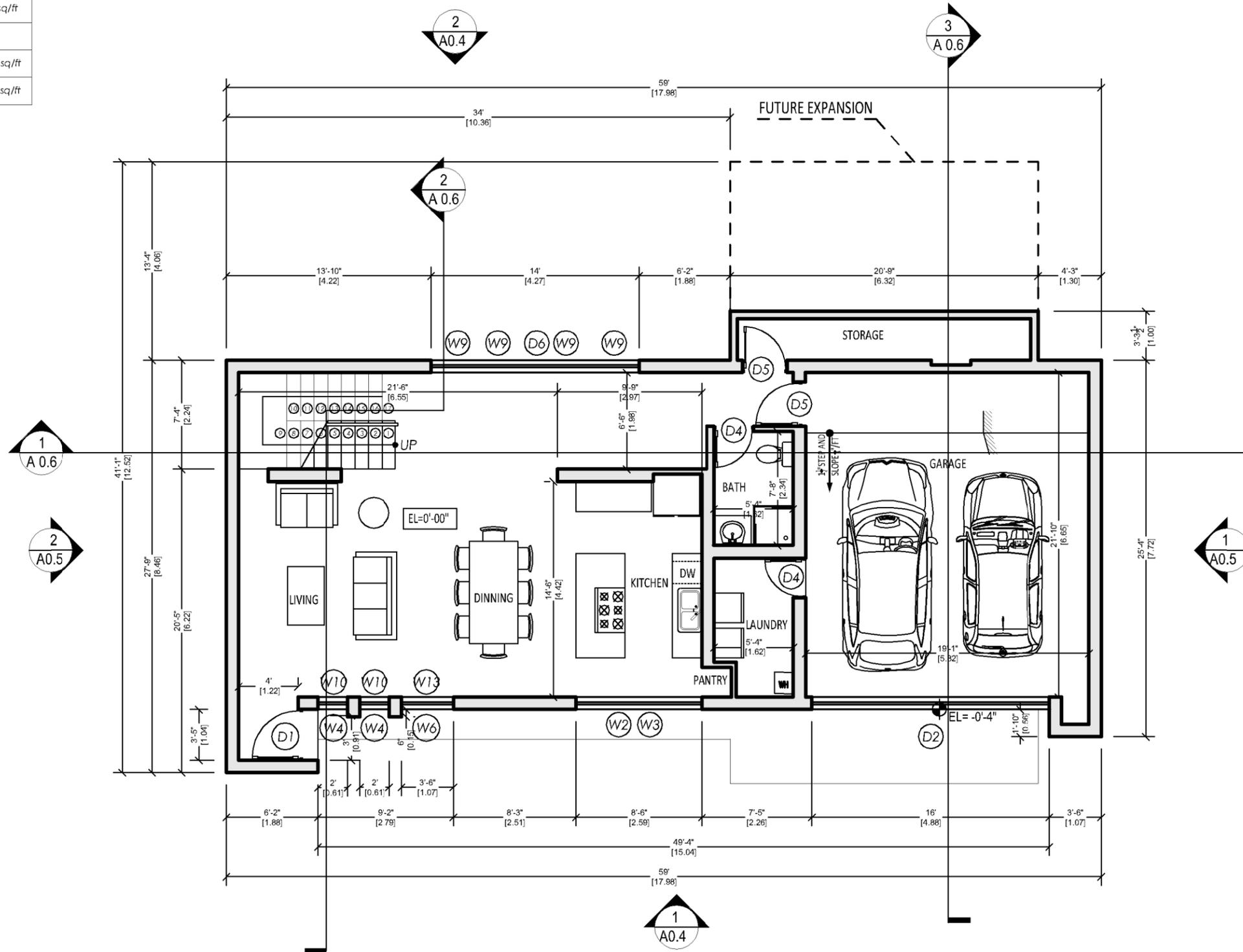


SECTION 2/A.06
SCALE 1/8"=1'-0"



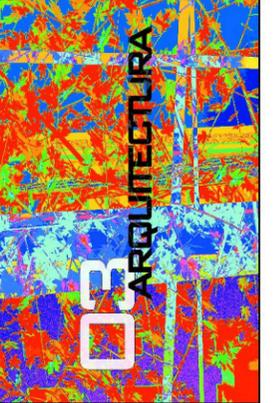
SECTION 3/A.06
SCALE 1/8"=1'-0"

LIVING AREA 1ST FLOOR	871 sq/ft
LIVING AREA 2nd FLOOR	1144 sq/ft
TOTAL LIVING AREA	2015 sq/ft
PORCHE	0 sq/ft
GARAGE	434 sq/ft
BALCONY	121 sq/ft
TOTAL U/R (under roof)	2570 sq/ft
FOUNDATION/SLAB	1692 sq/ft



LEVEL 1
SCALE 1/8" = 1'-0"

ISSUED FOR CONSTRUCTION
BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd. Suite F2
Magnolia, Texas 77354



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

DRAWING TITLE:

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY /CHECKED BY
APPROVED BY

DRAWING NO. OF
A0.1

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd, Suite F2
Magnolia Texas 77354



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

PROJECT NO.

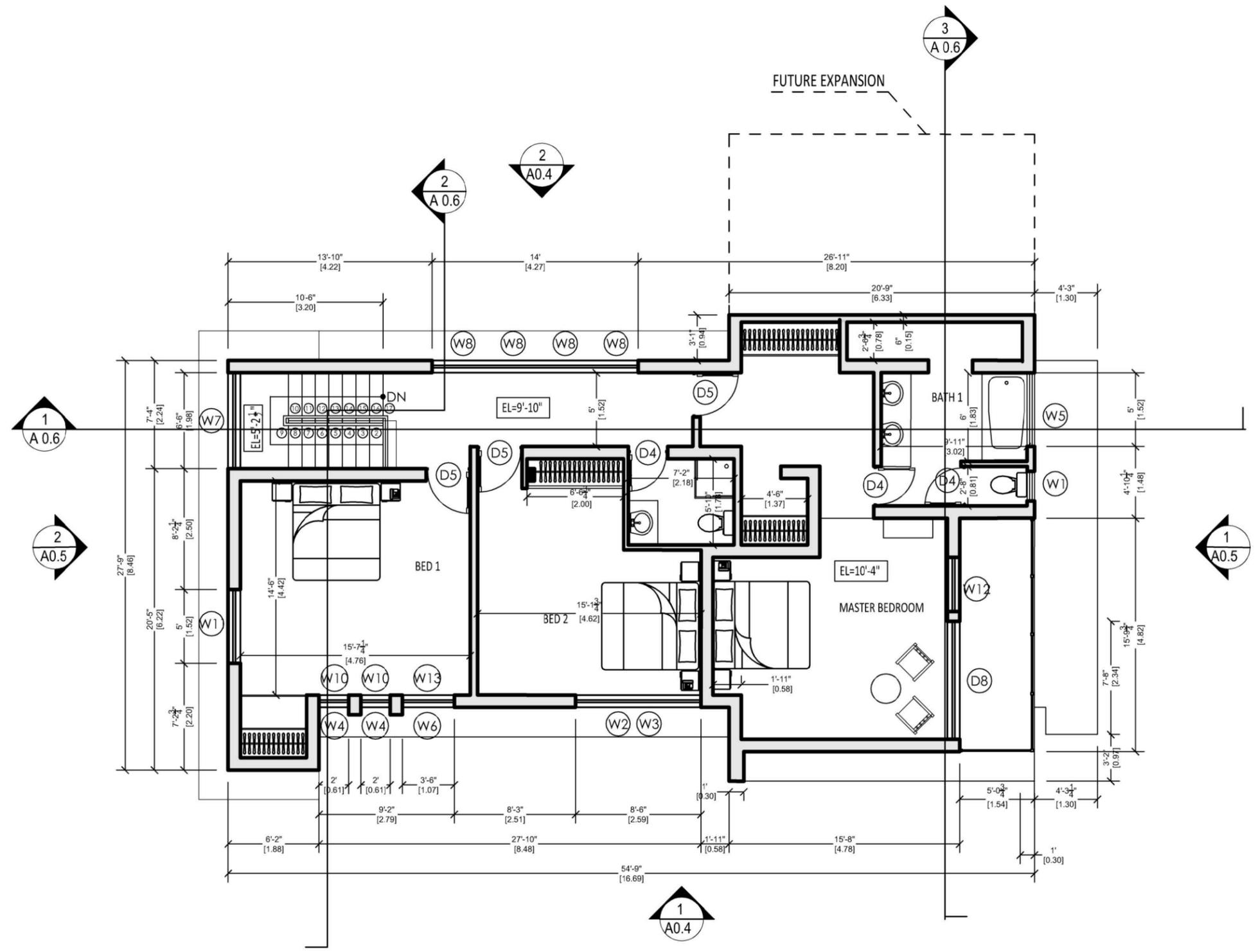
ISSUE DATE

DRAWN BY /CHECKED BY

APPROVED BY

DRAWING NO.
OF

A0.2



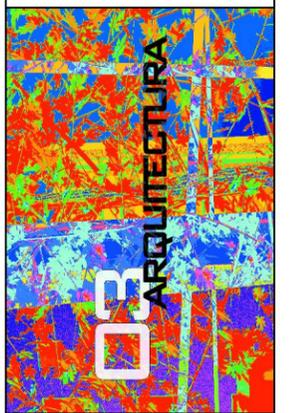
LEVEL 2

SCALE 1/8" = 1'-0"



ROOF A: 16" WIDE MECHANICALLY SEAMED PANELS: BLACK	266 sq/ft
ROOF B: 16" WIDE MECHANICALLY SEAMED PANELS: BLACK	919 sq/ft
ROOF C: 16" WIDE MECHANICALLY SEAMED PANELS: BLACK	661 sq/ft
TOTAL ROOF	1846 sq/ft

ISSUED FOR CONSTRUCTION
BUILDER:
 Owner Built Custom Homes Inc.
 5327 FM 1488 Rd. Suite F2
 Magnolia, Texas 77354



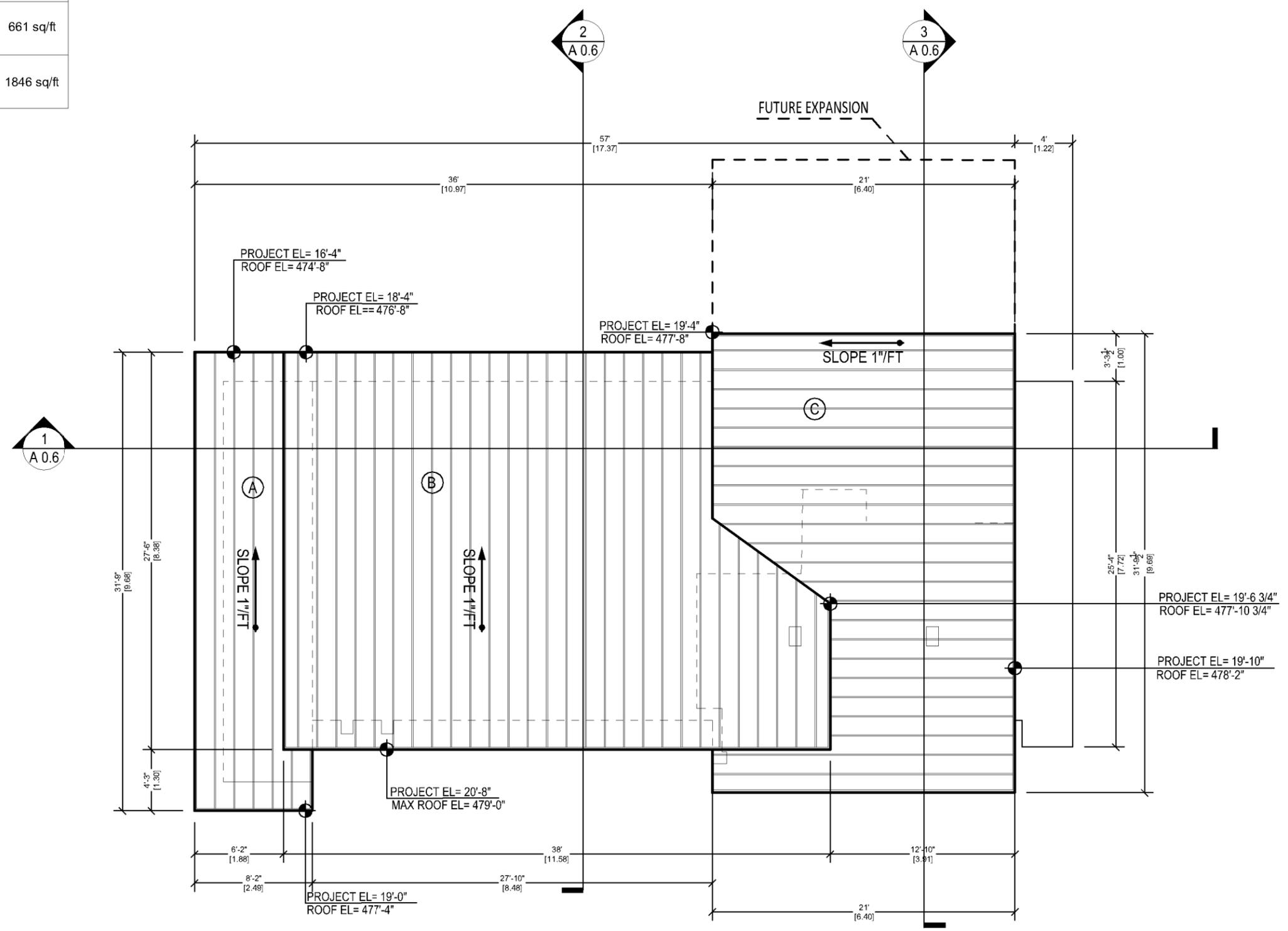
PROJECT:
 328 HARBOR VIEW DR
 HARBOR LANDING PHASE 2
 ROCKWALL TX

NO.	DATE	DESCRIPTION	BY
1	06/10/2019	REVISIONS	RO

DRAWING TITLE:

PROJECT NO.
 ISSUE DATE
 12/14/2019
 DRAWN BY /CHECKED BY
 APPROVED BY

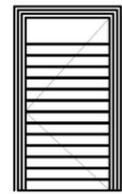
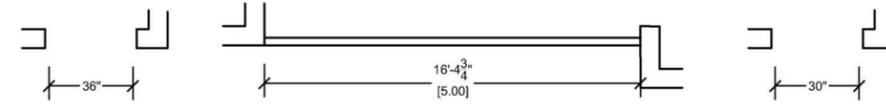
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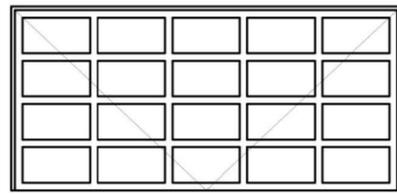
ROOF
 SCALE 1/8" = 1'-0"

DOORS

TYPE MARK	WIDTH	HIGH	QUANTITY	MATERIAL	DESCRIPTION	OBSERVATIONS
D1	3'-0"	8'-0"	1	WOOD DOOR	EXTERIOR GLASS DOOR	
D2	16'-0"	8'-0"	1	ALUMINUM DOOR	GARAGE DOOR	
D3	-	-	0	ALUMINUM DOOR	2 PANEL SLIDNG DOOR	
D4	2'-8"	7'-0"	5	WOOD DOOR	INTERIOR DOOR	
D5	3'-0"	7'-0"	5	WOOD DOOR	INTERIOR DOOR	
D6	14'-0"	6'-10"	1	ALUMINUM DOOR	4 PANEL SLIDNG DOOR	
D7	-	-	0	WOOD DOOR	INTERIOR SLIDING DOOR	
D8	8'-0"	6'-10"	1	ALUMINUM DOOR	2 PANEL SLIDNG DOOR	



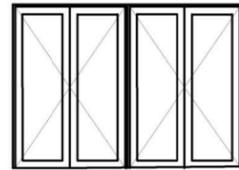
D1



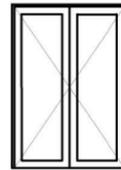
D2



D4 D5



D6



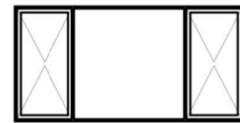
D8

WINDOWS

TYPE MARK	WIDTH	HIGH	QUANTITY	MATERIAL	DESCRIPTION	OBSERVATIONS
W1	2'-0"	2'-0"	1	ALUMINUM WINDOW	HORIZONTAL SLIDER	
W2	8'-6"	5'-0"	2	ALUMINUM WINDOW	DOUBLE HORIZONTAL SLIDER	
W3	8'-6"	3'-8"	2	ALUMINUM WINDOW	PICTURE	
W4	2'-0"	3'-8"	4	ALUMINUM WINDOW	PICTURE	
W5	5'-0"	2'-0"	1	ALUMINUM WINDOW	HORIZONTAL SLIDER	
W6	3'-6"	3'-8"	2	ALUMINUM WINDOW	PICTURE	
W7	6'-6"	6'-0"	1	ALUMINUM WINDOW	PICTURE	
W8	3'-6"	6'-0"	4	ALUMINUM WINDOW	PICTURE	
W9	3'-6"	1'-6"	4	ALUMINUM WINDOW	PICTURE	
W10	2'-0"	5'-0"	4	ALUMINUM WINDOW	PICTURE	
W11	5'-0"	3'-0"	1	ALUMINUM WINDOW	HORIZONTAL SLIDER	
W12	3'-8"	6'-0"	1	ALUMINUM WINDOW	PICTURE	
W13	3'-6"	5'-0"	1	ALUMINUM WINDOW	PICTURE	



W1



W2



W5



W7



W9



W4



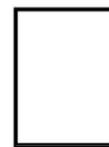
W8



W1



W12



W13

SQUARE FOOTAGE

LEVEL 1 SQUARE FOOTAGE	SQF	LEVEL 2 SQUARE FOOTAGE	SQF
LIVING/DINNING/KITCHEN	480	MASTER BEDROOM	342
LAUNDRY	49	MASTER BATHROOM	121
BATHROOM	41	BEDROOM 1	248
HALLWAY	243	BEDROOM 2	212
STORAGE	58	BATHROOM 2	44
		STAIR	65
		HALLWAY	112
Total Area Level 1= 871 SQF		Total Area Level 2= 1144 SQF	

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd, Suite F2
Magnolia Texas 77354



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019			

REVISIONS

DRAWING TITLE:

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY /CHECKED BY
APPROVED BY

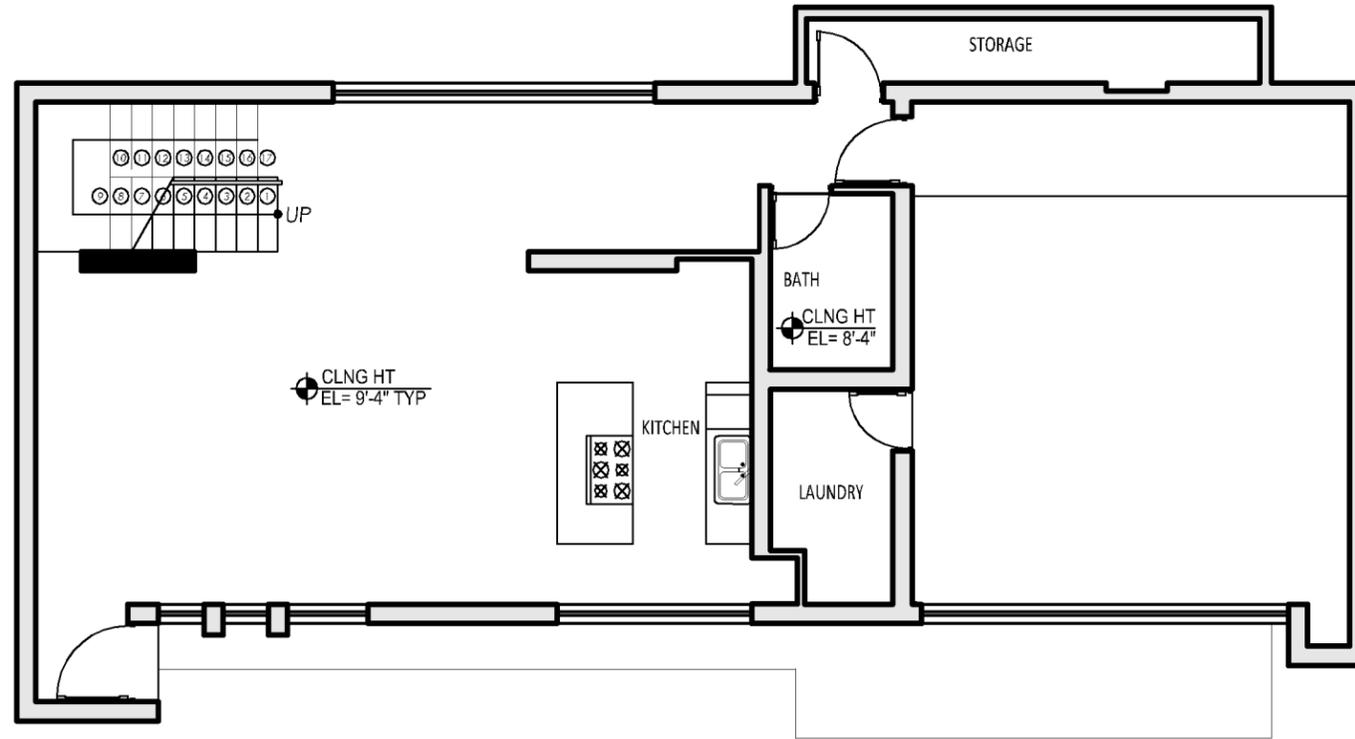
DRAWING NO.
OF
A0.7

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd. Suite F2
Magnolia, Texas 77354

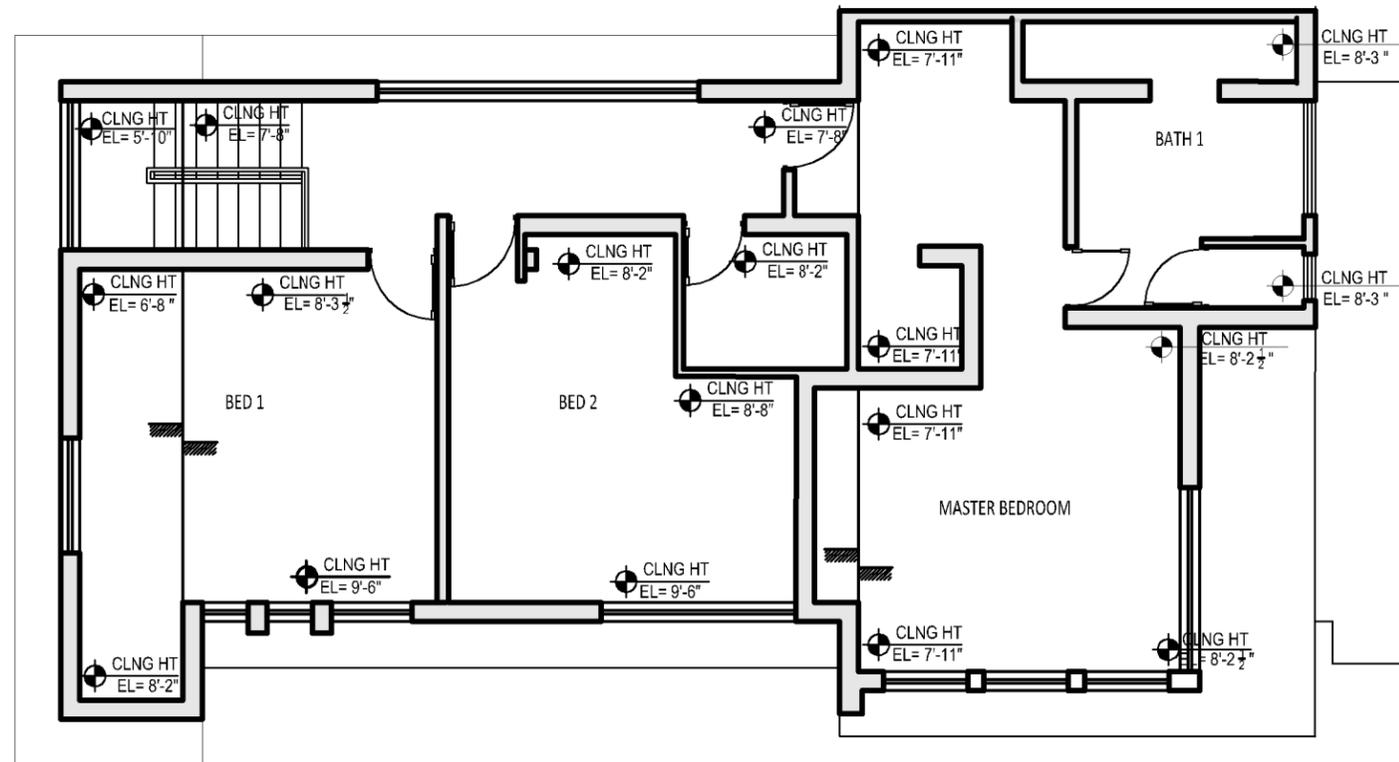


PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



REFLECTED CEILING LEVEL 1

SCALE 1/8"=1'-0"



REFLECTED CEILING LEVEL 2

SCALE 1/8"=1'-0"

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

DRAWING TITLE:

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY /CHECKED BY
APPROVED BY

DRAWING NO.
OF
A0.8

HARBORVIEW DRIVE

75'-5"

20' BL & UTILITY EASEMENT

25' FRONT SETBACK

28'-7"

CONCRETE DRIVEWAY

29'-10"

STONE WALL

HOUSE

EAVES LINE

LINE OF WALL

GUTTER

DRAIN AND DOWNSPOUT

WALKWAY

LATERAL SETBACK

LATERAL SETBACK

EXISTING STONE RETAINING WALL

10' BACK SETBACK

5' UTILITY EASEMENT

53'-1"

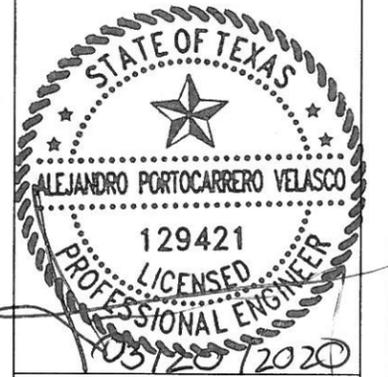
EXISTING FENCING

124'-9"



SITE PLAN
SCALE 3/32" = 1'-0"

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



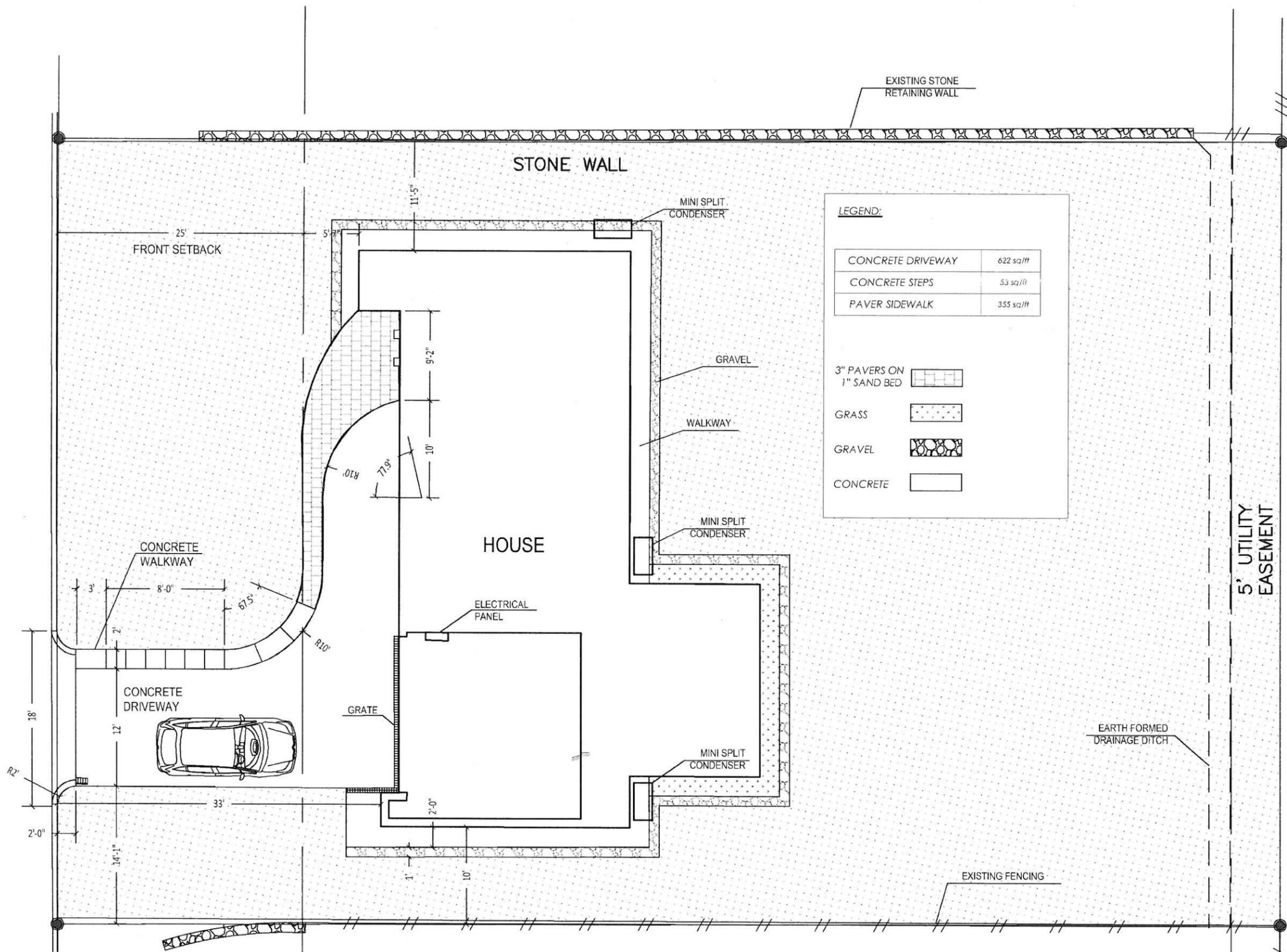
NO.	DATE	DESCRIPTION	BY	RD
1	06/10/2019	REVISIONS		

DRAWING TITLE:

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY RO /CHECKED BY AP
APPROVED BY AP

DRAWING NO.
OF
L0.1

HARBORVIEW DRIVE



LEGEND:

CONCRETE DRIVEWAY	622 sq/ft
CONCRETE STEPS	53 sq/ft
PAVER SIDEWALK	355 sq/ft

3" PAVERS ON 1" SAND BED

GRASS

GRAVEL

CONCRETE

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



NO.	DATE	DESCRIPTION	BY
1	06/10/2019		RO

REVISIONS

DRAWING TITLE:

PROJECT NO.

ISSUE DATE
12/14/2019

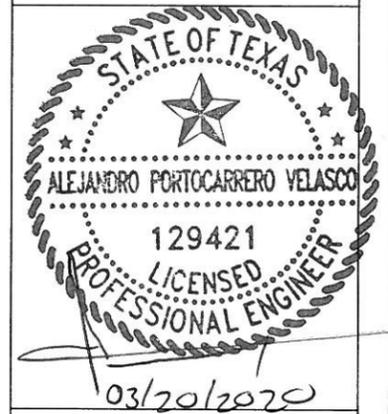
DRAWN BY RO /CHECKED BY AP

APPROVED BY AP

DRAWING NO.
OF

L0.2

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

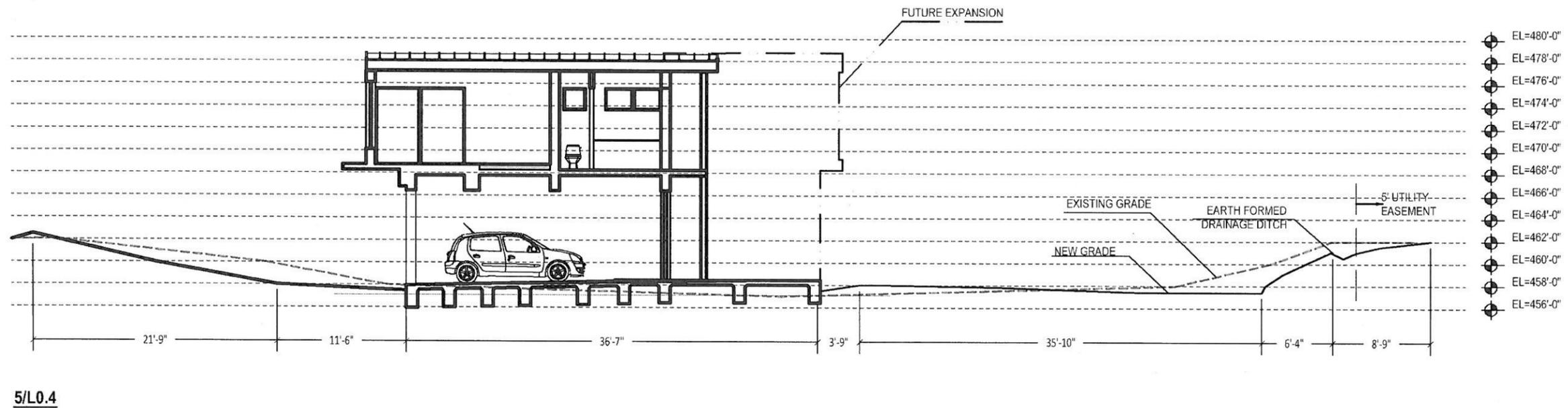
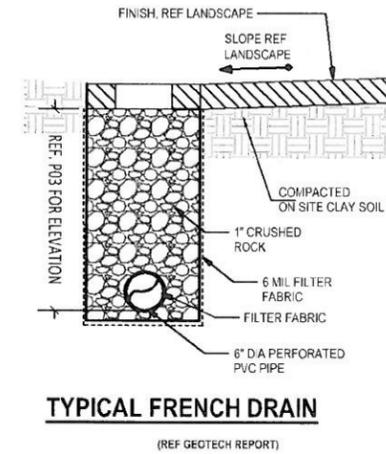
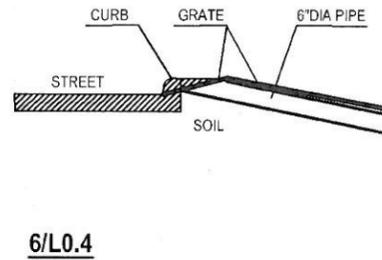
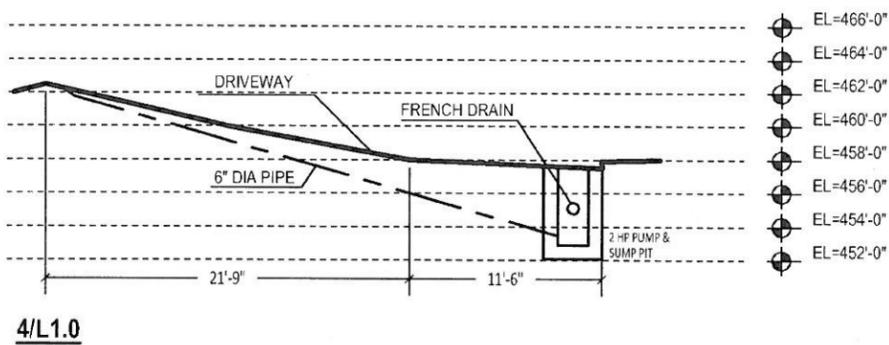
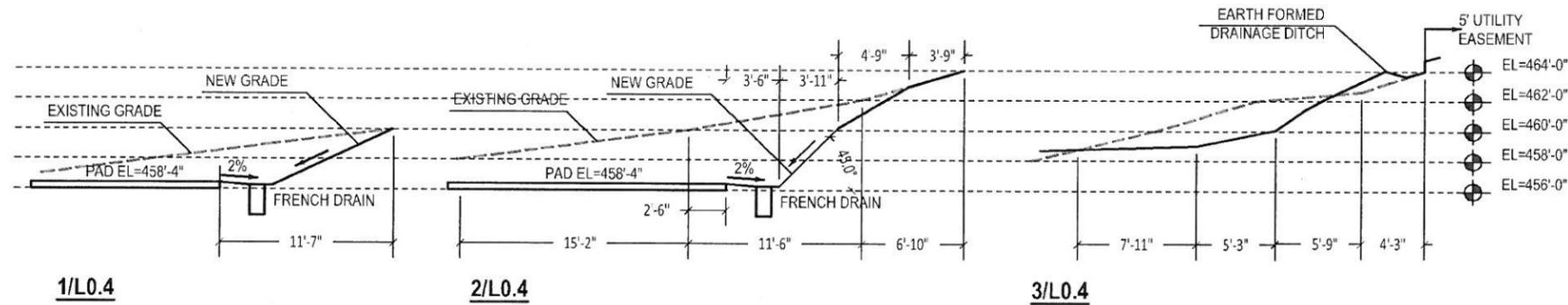


NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

DRAWING TITLE:

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY RO /CHECKED BY AP
APPROVED BY AP

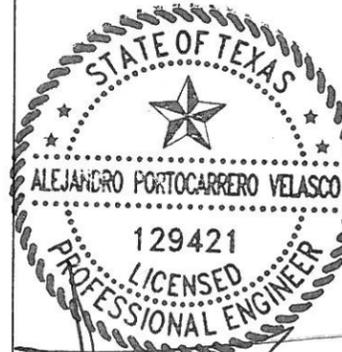
DRAWING NO.
OF
L0.5



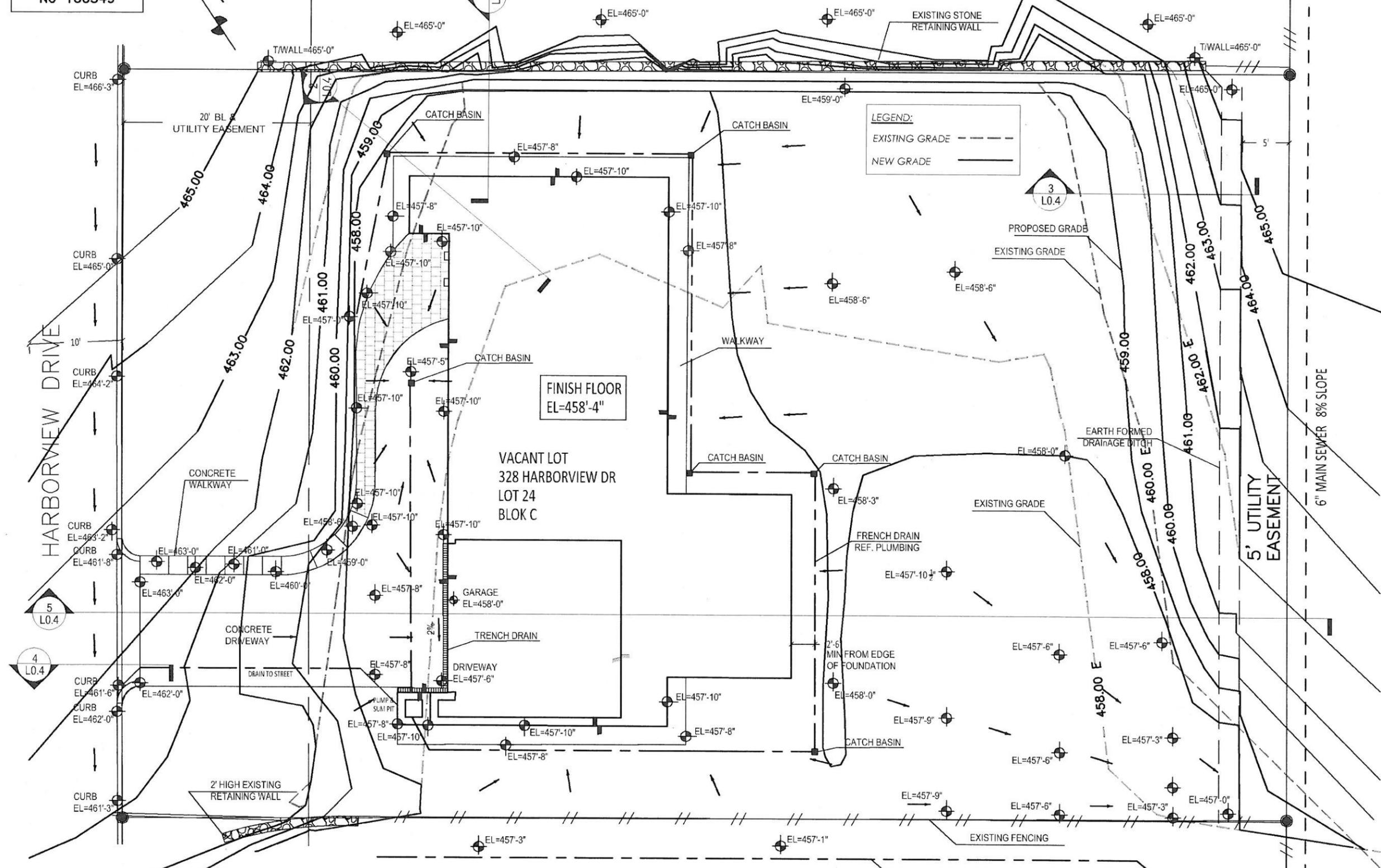
DETAILS
SCALE $\frac{3}{32}'' = 1'-0''$

REF. RHODES
SURVEYING JOB
No 100349

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



GRADING AND DRAINAGE PLAN

SCALE 3/32"=1'-0"

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		

DRAWING TITLE:

PROJECT NO.

ISSUE DATE
12/14/2019
DRAWN BY RO /CHECKED BY AP

APPROVED BY AP

DRAWING NO.
OF

L0.3

March 20th, 2020

City Of Rockwall
385 S Goliad
Rockwall TX, 75087

Reference: Drainage Hold Harmless Letter 328 Harborview Dr Rockwall, TX 75032

In response to the requirements of the City of Rockwall's Engineering department, I am submitting this letter as requested and as a requirement to obtain the City residential permit for my house located in the above address.

As a brief description of my property, the maximum pad elevation was set as 457 feet and the maximum roof elevation as 479 feet. The North-East and the South-East neighbor properties are approximately 6ft higher than Elevation 457'. The Harborview Dr Street located at the front of the property (North-West) is approximately 4ft higher than Elevation 457'. The South-West neighbor property (lot 23) is sharing the same pad elevation of 457'. Per the above brief explanation of my property topography I bring to your attention the following:

It is of my understanding that the pad elevation used to be higher and it was lowered for Chandlers Landing Phase 2.

It is of my understanding that my neighbor's property has a French drain around her house which drains rainfall water to the street's storm inlet located on Harborview Dr and said storm inlet is connected to "Line A" drainage storm pipe.

It is of my understanding that the neighbor in lot 23 has a wood fence supported by tubes and the tubes apparently fixed to a concrete curb.

It is of my understanding that the curve in between my lot and lot 23 currently is not allowing the water to flow from my property to lot 23 and therefore to the street's storm inlet located on Harborview Dr.

It is my understanding that per the Texas Water Code Sec. 11.086 (a) "No person may divert or impound the natural flow of surface water.

It is my understanding that per the City of Rockwall Standards of Design and Construction 1.10 Easements and Row, " No structure (buildings, walls, fences decks, swimming pools, signage/monuments, etc.) are allowed in or over any easement or right-of ways".

Due to all the exposed above and the topography of my lot, the drainage design intent for my house consist of a french drain around the house draining the water into a sum pit and a pump to pump the rainfall water out and into the Harborview dr street located in the front of my property.

Having explained my understanding of the situation, I as the owner, agree to hold harmless the City of Rockwall and I assume the flood risk in my property due to rainfall only due to pump malfunction, and/or under-design drainage component, pipe settlements and any other distress in the drainage system and, release the City of Rockwall from liability or responsibility for flooding and the damage caused inside the boundaries of my lot.

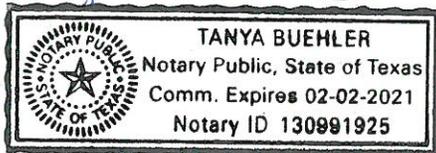
Sincerely,



Alejandro Portocarrero Velasco, P.E.
3/20/2020



3/20/2020



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.23-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK C, HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.23-acre parcel of land being described as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family uses, addressed as 328 Harborview Drive, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and as may be amended in the future* --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

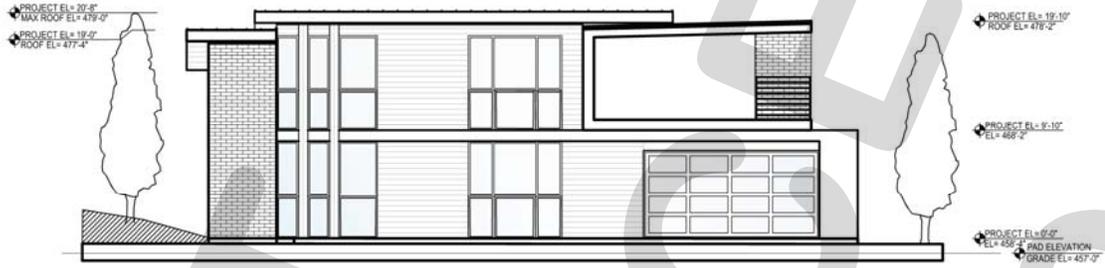
Exhibit 'A':
Legal Description

Location: 328 Harborview Drive

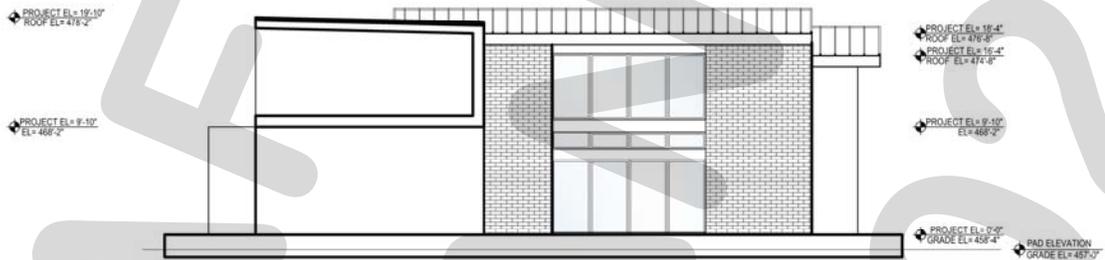
Legal Description: Lot 24, Block C, Harbor Landing, Phase 2 Addition



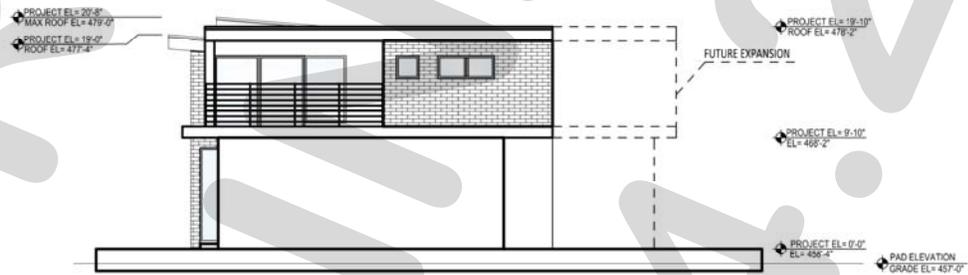
Exhibit 'C': Building Elevations



ELEVATION 1/A.04
SCALE 1/8"=1'-0"



ELEVATION 2/A.04
SCALE 1/8"=1'-0"



ELEVATION 1/A.05
SCALE 1/8"=1'-0"



ELEVATION 2/A.05
SCALE 1/8"=1'-0"

City of Rockwall Project Plan Review History



Project Number Z2020-015	Owner LUKE ALVERSON	Applied 3/20/2020	AG
Project Name FitSportLife Rockwall	Applicant STEPHEN DOYLE	Approved	
Type ZONING		Closed	
Subtype PD		Expired	
Status Staff Review		Status	
Site Address	City, State Zip		Zoning
Subdivision	Tract	Block	Lot No
			Parcel No
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
Building Inspecons Deç	Russell McDowell	3/23/2020		3/23/2020		APPROVED	

ENGINEERING Sarah Johnston 3/20/2020 3/27/2020 3/26/2020 6 COMMENTS See Comments and markups
(3/26/2020 3:40 PM SJ)

M - Proposed utilities must match those outlined in the Proposed Sports Complex Development Water and Wastewater System Capacity Analysis by Derek Chaney, Dated Jan. 22, 2020. Show Utilities.
M - Traffic Impact Analysis required. Review fees apply.
M - Fix "Roadway Detail" sheet. See attached
M - Sidewalks on both sides of every street section
M - Add note: if sidewalks are on the back of curb, the sidewalks are a minimum of 6' wide and lugged into curb
M - Private street for food trucks must be a minimum of 24' wide (face to face)
M - Under "General Notes" Letter C: All private drive aisles to be 25' back to back
M - Under "General Notes" Letter D: All private street aisles to be min 24' (face to face or edge to edge) wide drive aisle

The following items are for your information for engineering design.
I - Must meet engineering Standards of Design and Construction .
I - Must have detention.
I - Drainage areas that are 20 acres or over must use the unit hydrograph method for analysis. Review fees apply.
I - Sewer pro-rata is \$2,773.07/acre for the site.
I - Must loop a water line on the site.
I - must install a 12" water line along IH 30 frontage.
I - Must widen Capital Blvd.
I - Must install sidewalk along Corporate Crossing and capital Blvd.
I - There may be more comments as the engineering design progresses.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Ryan Miller	3/20/2020	3/27/2020	4/1/2020	12	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-015; Zoning Change (C & LI to PD) for FitSportLife Rockwall						Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1 This request is for the approval of a Zoning Change from a Commercial(C) District and a Light Industrial (LI) District to a Planned Development District (PD) for a 55.80-acre tract of land identified as Tract22, 22-2, & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, and generally located at the southeast corner of the intersection of Corporate Crossing[FM-549] and the IH-30 Frontage Road						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at(972) 772-6441 or email rcmler@rockwall.com.						
M.3 For reference, include the case number (Z2020-015) in the lower right-hand corner of all pages on future submittals.						
I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the IH-30 Corridor District, and according to the Future Land Use Map contained within this document the subject property is designated for Special Commercial Corridor district land uses. The proposed zoning request appears to generally conform to this designation; however, requests for Planned Development Districts are discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.						
I.5 The OURHometown Vision 2040 Comprehensive Plan stipulates various goals for multi-family residential developments. The following aspects of the applicant's proposal either do not conform to the stated goals of the City's plan or there is not enough information to determine if the request conforms, and could be revised -- per staff's recommendations -- to bring the project closer to conformance with the plan:						
CH.08; Section 02.05; Goal #1: When proposed, only high quality appropriately located multi-family developments that represent a long-term investment in the community and that will create and retain value over time should be considered						
						<ul style="list-style-type: none"> • Policy #1 (Page 8-4). Condominium and apartment developments should be located adjacent to, and/or incorporated in, commercial developments to form activity centers (e.g. the Harbor District). In addition, these developments should conform to the commercial design standards(e.g. articulation, materials, etc.) to create continuity with adjacent commercial buildings. The Architectural Review Board(ARB) should be responsible for reviewing these developments to ensure compatibility with surrounding developments.
						<p>Staff Response to Applicant. While the request does appear to generally conform to this requirement of the Comprehensive Plan, staff has suggested that the buildings be brought closer to the edge of street and integrated into each other to create the appearance of vertical mixed use development in lieu of creating hard separations of land uses. This would bring the plan closer to conformance with the Comprehensive Plan and the IH-30 Corridor Planning Study. In addition, staff has incorporated the elevations into the Planned Development District ordinance to ensure future compliance; however, these will be subject to the recommendations of the Architectural Review Board(ARB).</p>
						<ul style="list-style-type: none"> • Policy #2 (Page 8-4). High-density condominium and apartment projects should be established in areas that can support a mix of land uses(e.g. hotel, office, retail, commercial, etc.) and have roadways that can accommodate higher volumes of traffic(e.g. IH-30). These areas are typically located away from existing single-family residential neighborhoods, east of John King Boulevard and are adjacent to commercial and office land uses
						<p>Staff Response to Applicant. The request is in substantial compliance with this policy.</p>
						<ul style="list-style-type: none"> • Policy #3 (Page 8-2). High-density developments that incorporate more than ten(10) units per gross acre should incorporate structured parking that is visually screened from public view on all sides of the development. This can be achieved by wrapping the parking garage with buildings or creating false façades. Surface parking should be reserved to accommodate visitors, office staff, and prospective residents.
						<ul style="list-style-type: none"> • Policy #4 (Page 8-2). If structured parking is not provided on a high-density development, garages dedicated to each unit should be provided

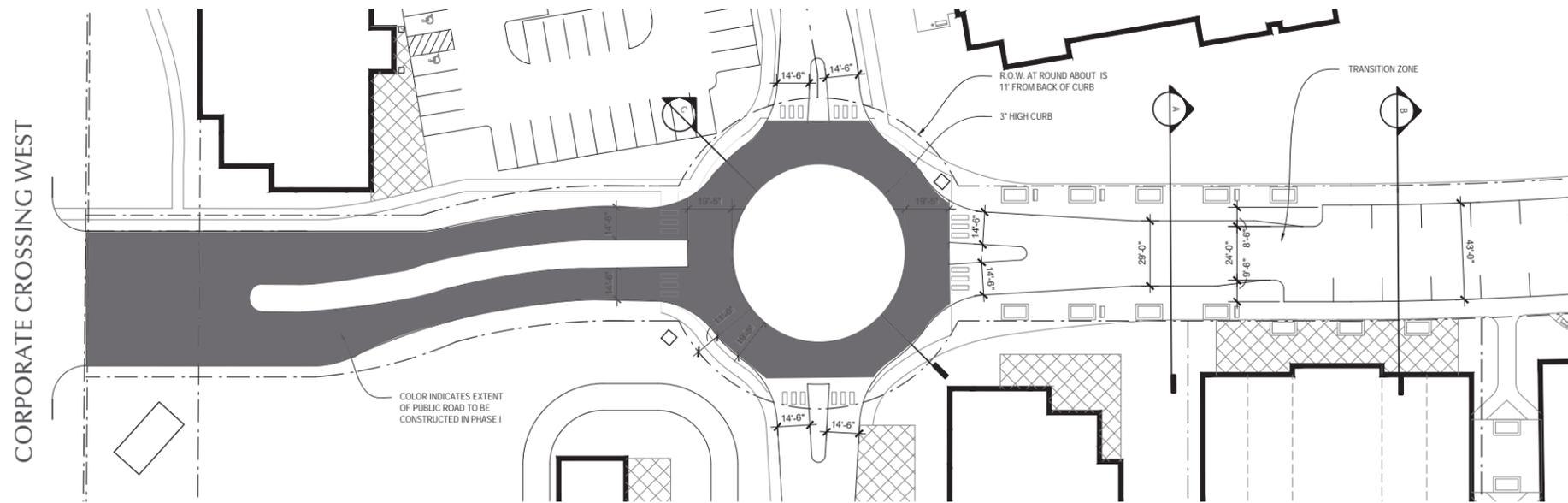
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Staff Response to Applicant						<p>The applicant is proposing 100% surface parking with carport parking adjacent to the internal green space areas. Staff had recommended to the applicant that a wrap product that concealed the garage utilizing the buildings would be more appropriate in this area; however, the applicant has chosen to pursue surface parking. Based on what has submitted, staff would further recommend to the applicant that [1] garages be incorporated in lieu of the carport parking for the majority of the proposed units, and [2] heavy landscaping be utilized around the surface parking areas that are visible from Capital Boulevard. Based on the submitted plan, the applicant's request does not conform to these policies of the Comprehensive Plan.</p> <ul style="list-style-type: none"> • Policy #5 (Page 8-2). High-density developments should be highly amenitized and incorporate a mix of lifestyle amenities that can justify the density of the development, and provide these residents with similar levels of amenities that are provided in a master planned community. <p>Staff Response to Applicant. The applicant concept plan depicts some amenities (i.e. a central green space, dog park, splash pad, and amphitheater) and a 7,000 SF clubhouse area. Staff would request that the applicant provide a full list of all proposed amenities (i.e. the ones in the middle of the multi-family development) that will be provided with the multi-family development that can be tied down into the Planned Development District ordinance.</p> <ul style="list-style-type: none"> • Policy #6 (Page 8-2). Additional landscaping and canopy trees in landscape buffers and open space areas should be required to reduce the scale of buildings and increase the amount of green space provided for residents. <p>Staff Response to Applicant. Based on this policy staff will be requiring additional landscaping along Capital Boulevard; however, a full landscape plan will not be turned until site plan. This comment will need to be made as part of the site plan process.</p> <ul style="list-style-type: none"> • Policy #7 (Page 8-2). Higher-density projects should incorporate trail systems targeted at creating walkability and connectivity between land uses. <p>Staff Response to Applicant. The development appears to create logical pedestrian connections between land uses. Based on this, the applicant's request is in conformance with this policy of the Comprehensive Plan.</p> <p>I.6 For 'Area' references below please refer to the Area Map in Exhibit 'C' of the Draft Ordinance.</p> <p>M.7 The Light Industrial (LI) District tract of land identified as Area 5 cannot be platted without providing a public road to the remainder tract of land retained by the Capstar Holding Corporation, which is located directly north of Area 5. According to the City's subdivision requirements all tracts or parcels of land are required to have a minimum frontage on a public roadway. This will need to be addressed in this concept plan since the proposed conveyance and subsequent development of the Subject Property would be causing the remainder tract of land not to have the required frontage.</p> <p>M.8 The following items depicted in the exhibits do not comply with the requirements of the Unified Development Code (UDC):</p> <p>(1) The building elevations provided for Areas 1, 2, & 4 do not comply with the material requirements contained within the City's general overlay district standards. Specifically, these requirements stipulate 90% primary materials [masonry materials] with the remaining ten (10) percent permitted to be secondary materials (e.g. wood, metal, etc.). In addition, up to 50% of the building's façade is permitted to be cementitious materials and a minimum of 20% natural stone is required on all façades. Please remove the material legend from the zoning exhibit and correct the elevations to comply with the general overlay district requirements.</p> <p>M.9 The proposed signage does not conform with the City's sign standards. Please move the signage depicted in the Concept Building Elevations for Area 1 to a separate sheet and provide elevations of the other two (2) signs depicted along IH-30 and Corporate Crossing [FM-549].</p> <p>M.10 For the Draft Ordinance, please provide the minimum size of the one (1) and two (2) bedroom units for the proposed multi-family development.</p> <p>M.11 Please review the attached Draft Ordinance prior to the April 14, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 7, 2020. In reviewing the draft ordinance, please pay close attention to staff's suggestions concerning the limited land uses for the various Areas.</p>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.12						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 7, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 28, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 14, 2020.
I.13						The projected City Council meeting dates for this case will be May 4, 2020 [1st Reading] and May 18, 2020 [2nd Reading].
I.14						Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.



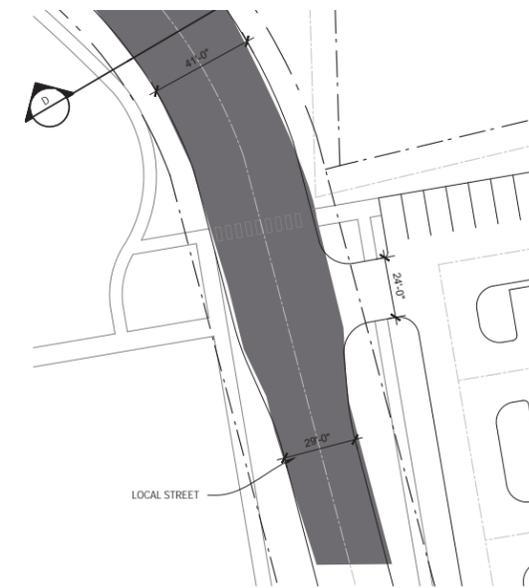
M - Proposed utilities must match those outlined in the Proposed Sports Complex Development Water and Wastewater System Capacity Analysis by Derek Chaney, Dated Jan. 22, 2020. Show Utilities.
 M - Traffic Impact Analysis required. Review fees apply.
 M- Fix the street design page

The following items are for your information for engineering design.
 I - Must meet engineering Standards of Design and Construction.
 I - Must have detention.
 I - Drainage areas that are 20 acres or over must use the unit hydrograph method for analysis. Review fees apply.
 I - Sewer pro-rata is \$2,773.07/acre for the site.
 I - Must loop a water line on the site.
 I - must install a 12" water line along IH 30 frontage.
 I - Must widen Capital Blvd.
 I - Must install sidewalk along Corporate Crossing and capital Blvd.
 I - There may be more comments as the engineering design progresses.



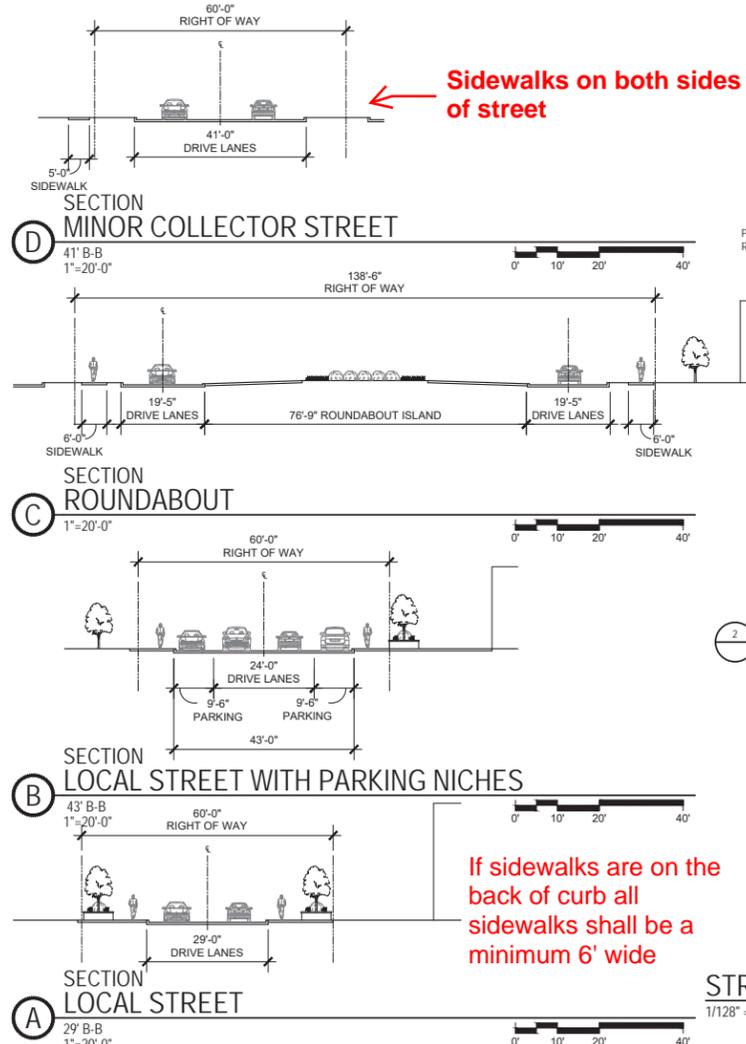
2 ENLARGED PARTIAL PLAN

1/32" = 1'-0"
PUBLIC STREET AT SITE ENTRANCE, ROUNDABOUT, AND TRANSITION FROM 29' TO 43'



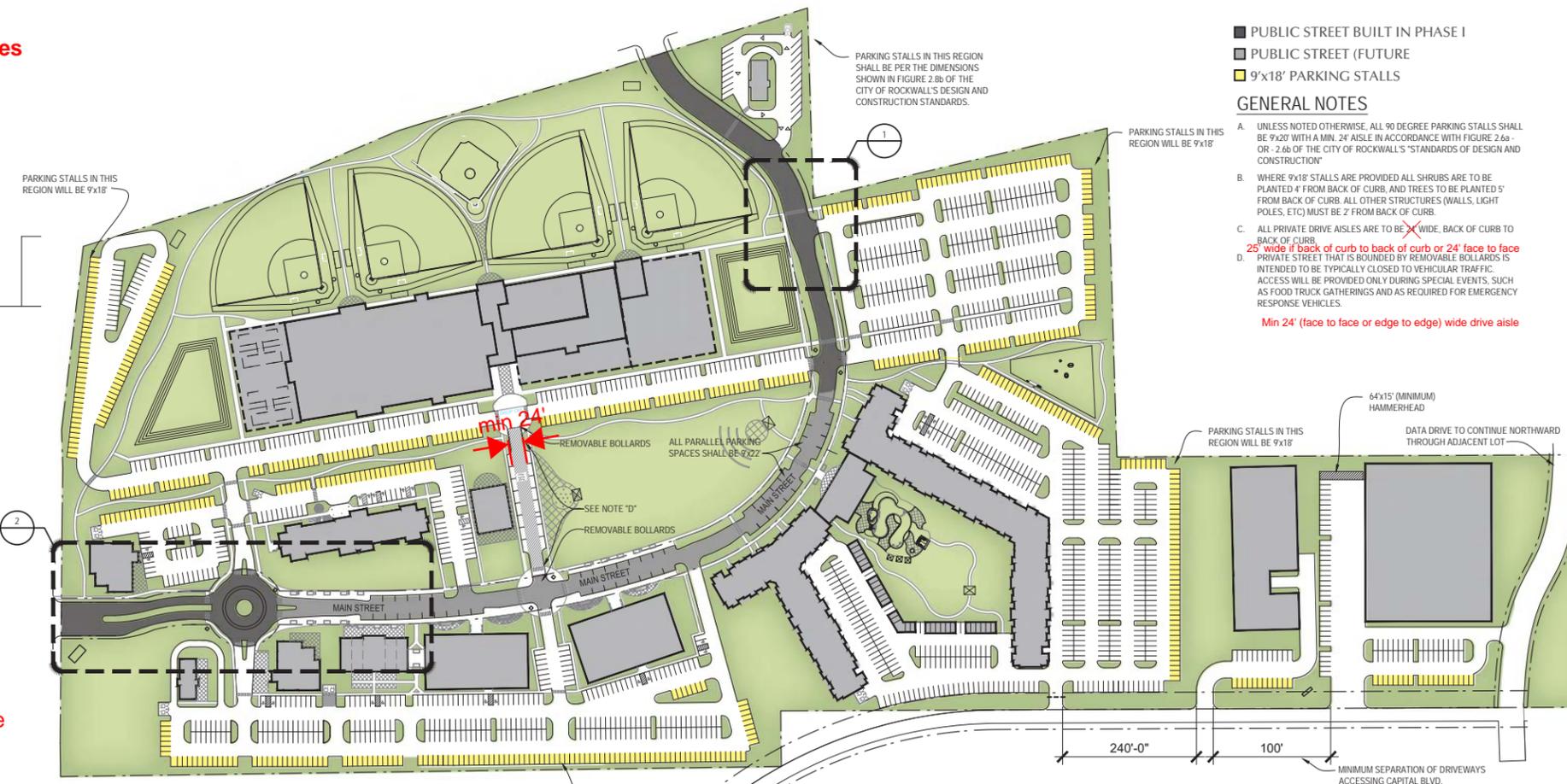
1 ENLARGED PARTIAL PLAN

1/32" = 1'-0"
PUBLIC STREET AT TRANSITION FROM 29' TO 41'



Sidewalks on both sides of street

If sidewalks are on the back of curb all sidewalks shall be a minimum 6' wide



STREET AND PARKING DIAGRAM

1/128" = 1'-0"



- PUBLIC STREET BUILT IN PHASE I
- PUBLIC STREET (FUTURE)
- 9'x18' PARKING STALLS

GENERAL NOTES

- A. UNLESS NOTED OTHERWISE, ALL 90 DEGREE PARKING STALLS SHALL BE 9'x20' WITH A MIN. 24' AISLE IN ACCORDANCE WITH FIGURE 2.Bb OR 2.4b OF THE CITY OF ROCKWALL'S "STANDARDS OF DESIGN AND CONSTRUCTION"
- B. WHERE 9'x18' STALLS ARE PROVIDED ALL SHRUBS ARE TO BE PLANTED 4' FROM BACK OF CURB AND TREES TO BE PLANTED 5' FROM BACK OF CURB. ALL OTHER STRUCTURES (WALLS, LIGHT POLES, ETC) MUST BE 2' FROM BACK OF CURB.
- C. ALL PRIVATE DRIVE AISLES ARE TO BE 2' WIDE, BACK OF CURB TO BACK OF CURB.
- D. PRIVATE STREET THAT IS BOUNDED BY REMOVABLE BOLLARDS IS INTENDED TO BE TYPICALLY CLOSED TO VEHICULAR TRAFFIC. ACCESS WILL BE PROVIDED ONLY DURING SPECIAL EVENTS, SUCH AS FOOD TRUCK GATHERINGS AND AS REQUIRED FOR EMERGENCY RESPONSE VEHICLES.

Min 24' (face to face or edge to edge) wide drive aisle



DEVELOPMENT APPLICATION

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address NA

Subdivision NA

Lot NA

Block NA

General Location Southeast corner of Corporate Crossing and IH 30 Frontage Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial & Light Industrial

Current Use Vacant

Proposed Zoning Planned Development

Proposed Use Mixed Use

Acreage 55.8 Acres

Lots [Current] NA

Lots [Proposed] 13

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Capstar Holdings Corporation

Applicant Structured Real Estate

Contact Person Luke Alverson

Contact Person Stephen Doyle

Address 5420 Lyndon B Johnson Freeway
Suite 500

Address 1046 W Kinzie St, Ste 301

City, State & Zip Dallas, Texas 75240

City, State & Zip Chicago, Illinois 60642

Phone

Phone 847-951-8974

E-Mail

E-Mail steved@structuredrea.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Luke Alverson [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

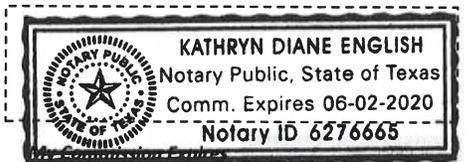
DocuSigned by:

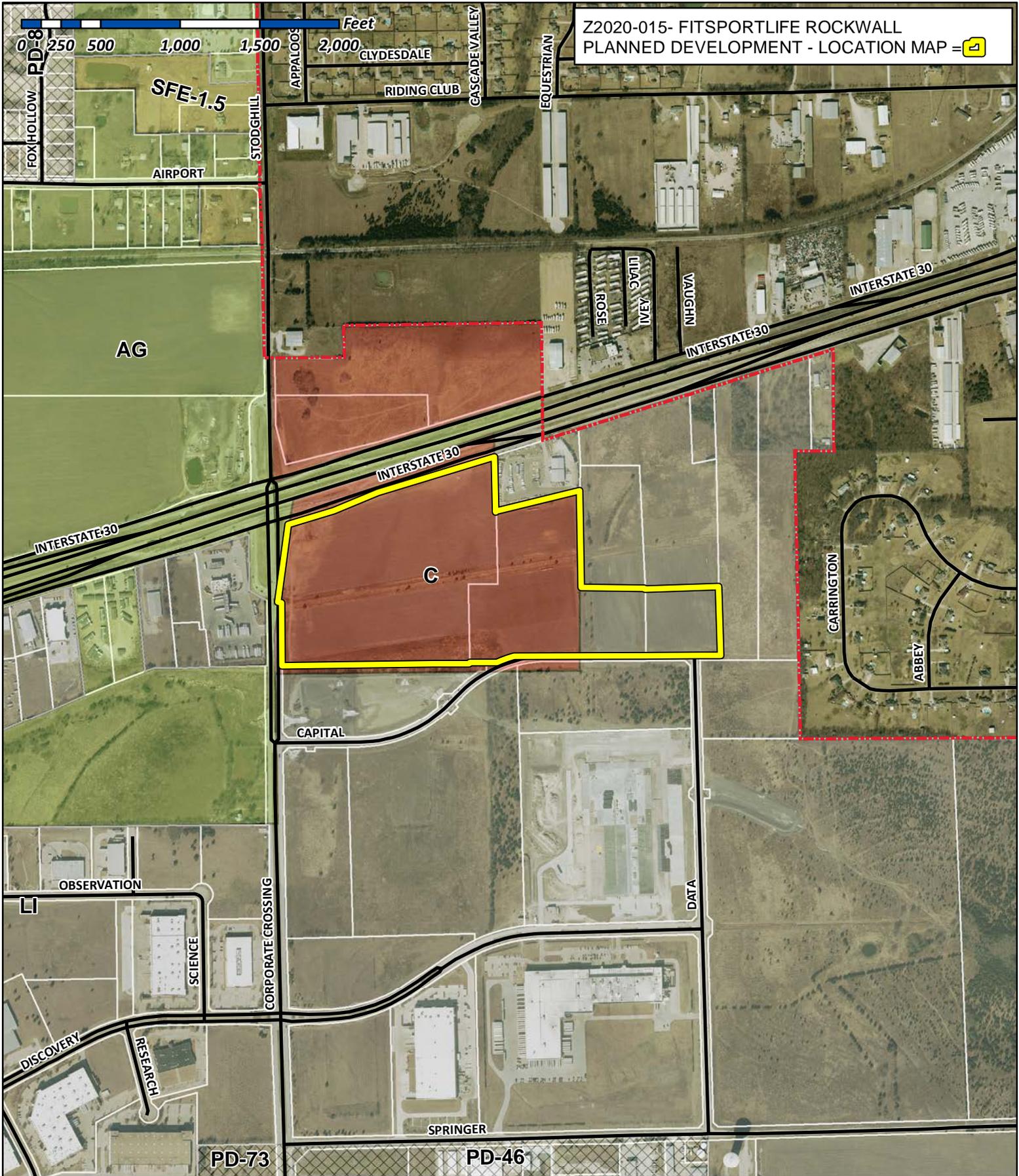
Luke Alverson

Notary Public in and for the State of Texas

12495043CCFB403...

Kathryn Diane English

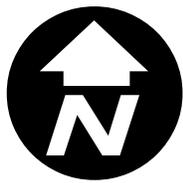




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

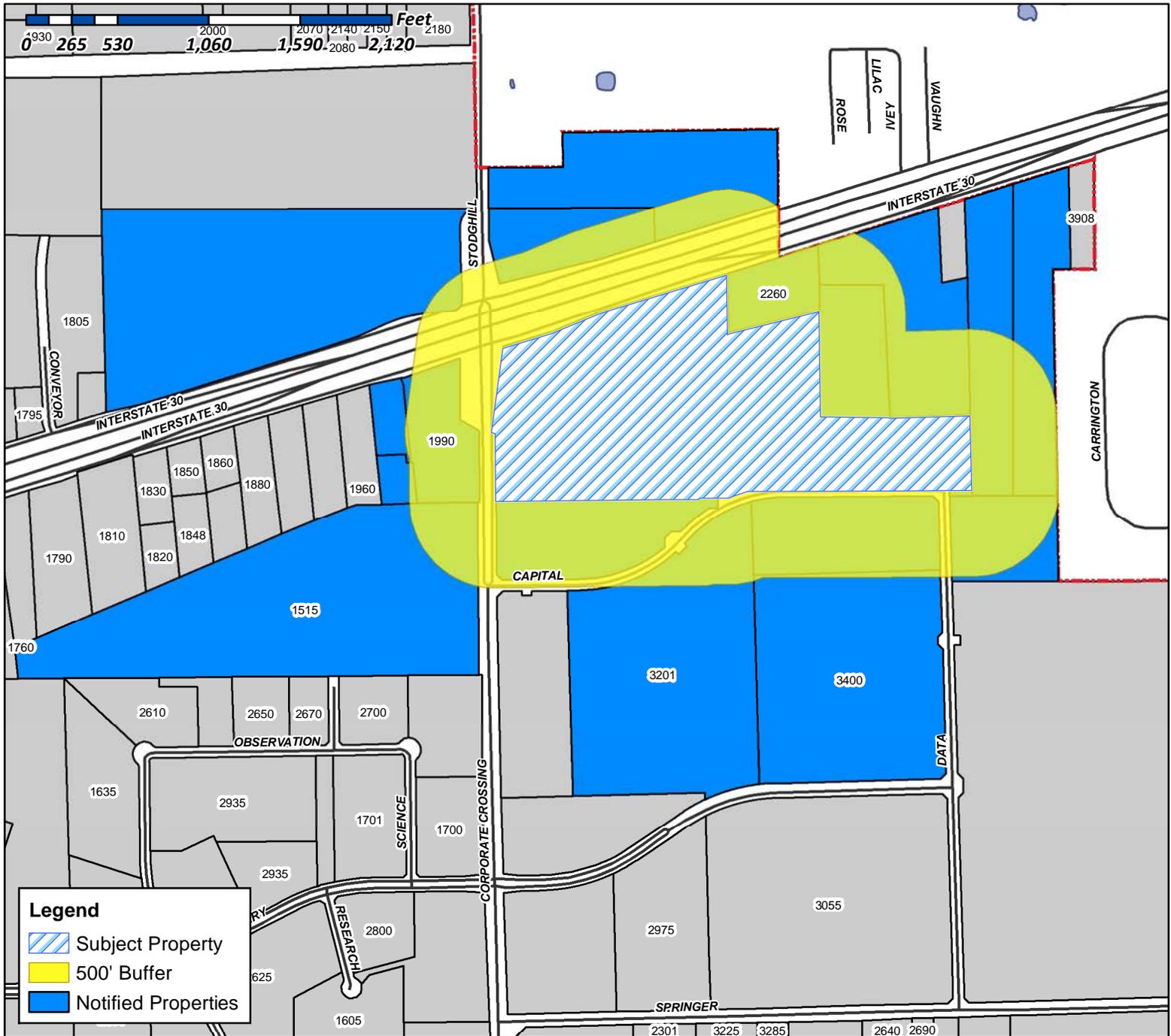
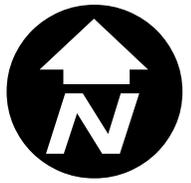




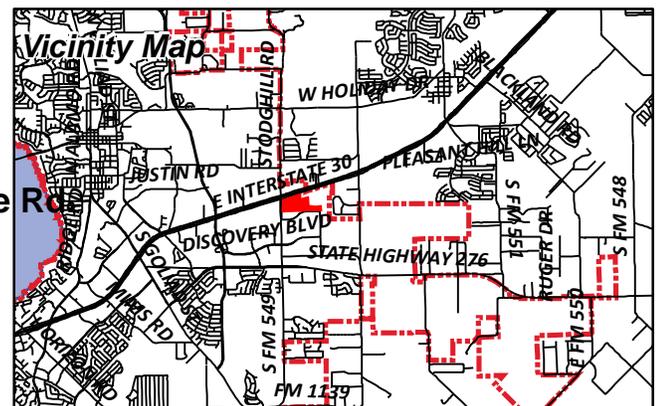
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-015
Case Name: Zoning Change (C & LI to PD)
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: SEC of Corporate Crossing & Frontage Rd



Date Created: 3/26/2020
For Questions on this Case Call (972) 771-7745

LOVES TRAVEL STOPS & COUNTRY STORES INC
10601 NORTH PENNSYLVANIA
OKLAHOMA CITY, OK 73126

WALLIS RUSTY FAMILY LTD PARTNERSHIP #2
12277 SHILOH RD
DALLAS, TX 75228

CURRENT RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75087

CURRENT RESIDENT
1990 E-130
ROCKWALL, TX 75087

ROBINO GIANLUCA & MARY C GOSS
2036 STRADELLA RD
LOS ANGELES, CA 90077

CURRENT RESIDENT
2260 E-130
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
2610 OBSERVATION TRAIL SUITE 104
ROCKWALL, TX 75032

BAKER SCHWIMMER VENTURES LP
2633 MCKINNEY AVE STE 130-510
DALLAS, TX 75204

CURRENT RESIDENT
3201 CAPITAL BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
3400 DISCOVERY
ROCKWALL, TX 75087

CAPSTAR HOLDINGS CORPORATION
C/O CSW INDUSTRIALS
5420 LYNDON B JOHNSON FREEWAY SUITE 500
DALLAS, TX 75240

GLOBAL WELLS INVESTMENT GROUP LLC
6185 KIMBALL AVENUE
CHINO, CA 91708

ROCKWALL ECONOMIC DEVELOPMENT CORP
697 E INTERSTATE 30
ROCKWALL, TX 75087

HITT FAMILY LIMITED PARTNERSHIP
7836 YAMINI DR
DALLAS, TX 75230

ROCKWALL 549/130 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75088

STAG ROCKWALL L.P. A DELAWARE LIMITED
PARTNERSHIP
STAG INDUSTRIAL HOLDINGS LLC
ONE FEDERAL STREET 23RD FLOOR
BOSTON, MA 2110

JOWERS INC
PO BOX 1870
ROCKWALL, TX 75087

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

PHASE 17 INVESTMENTS LP
PO BOX 601638
DALLAS, TX 75360



SITE PLAN LEGEND

USES	AREAS
1 - AMPHITHEATRE	85,000 GSF
2 - PROJECT ROSE EXPANSION	15,000 GSF
3 - MARUCCI BASEBALL EXPANSION	12,000 GSF
4 - MEDICAL EXPANSION	25,000 GSF
5 - SAND WALL EXPANSION	16,000 GSF
6 - SPORTS PAVILION	3,000 GSF
7 - YOUTH BASEBALL FIELDS	NA
8 - RESTAURANT	4,500 GSF
9 - 150 KEY HOTELS	80,000 GSF
10 - FAST CASUAL DRIVE-THRU	2,250 GSF
11 - RESTAURANT	4,500 GSF
12 - IN-LINE RETAIL	7,400 GSF
13 - FAST CASUAL DRIVE-THRU	2,250 GSF
14 - OFFICE	28,800 GSF
15 - OFFICE	36,200 GSF
16 - RETAIL	5,000 GSF
17 - MULTIFAMILY HOUSING	230 UNITS
18 - (140) 1-BEDROOM UNITS IN 2-BEDROOM UNITS	
19 - MULTIFAMILY CLUBHOUSE	1,000 GSF
20 - SPLASH PARK	
21 - ACTIVITY MEADOW	
22 - OUTDOOR THEATER	
23 - DOG PARK	
24 - STORAGE FACILITY	31,800 GSF
25 - FLEX INDUSTRIAL	45,000 GSF

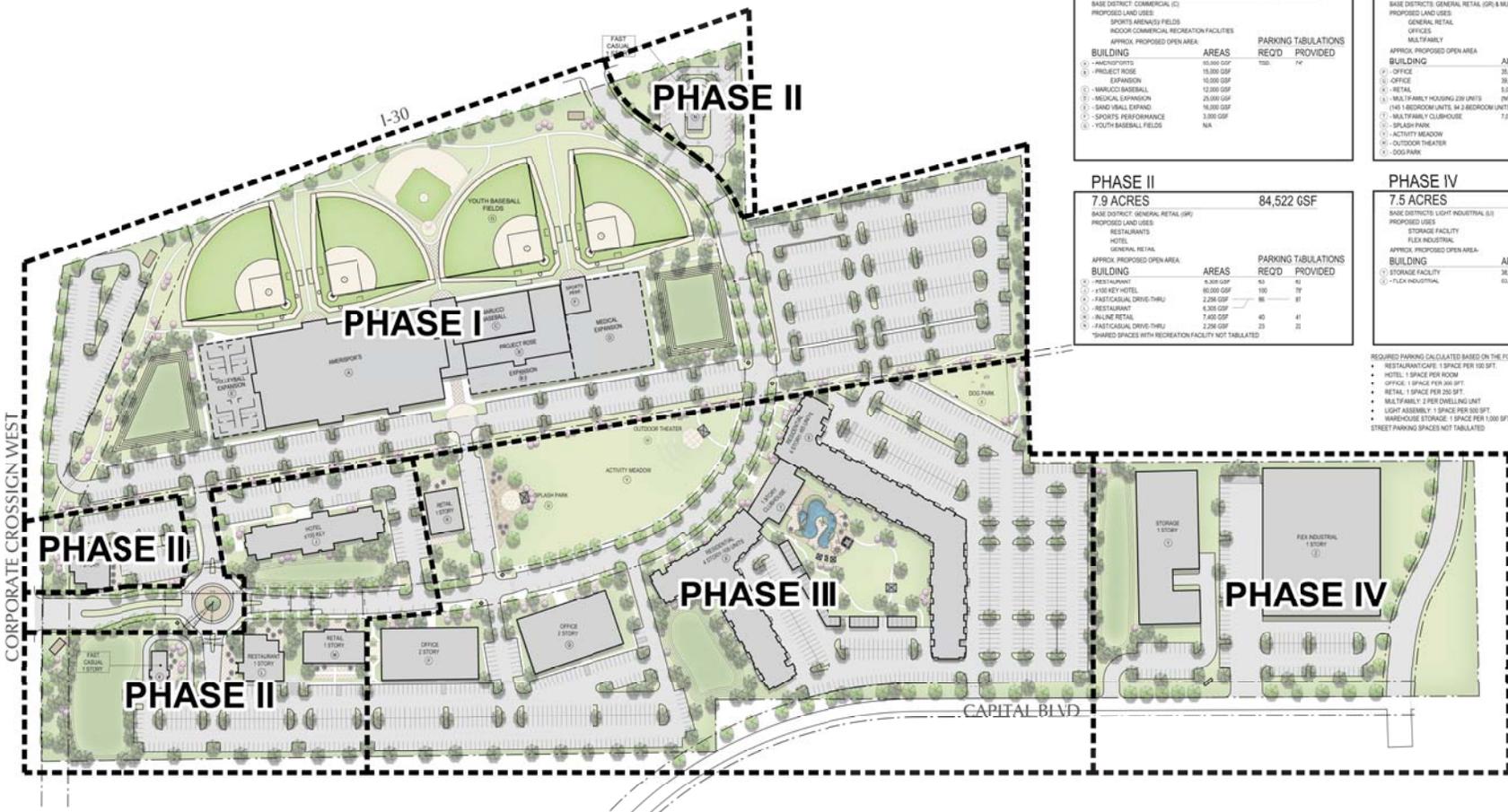


PROPOSED LANDUSE MAP

- FLOOR PLAN KEYNOTES**
1. DETENTION BASIN
 2. DEVELOPMENT MONUMENT SIGNAGE
 3. WAY-FINDING SIGNAGE
 4. FOOD TRUCK ALLEY
 5. LANDSCAPE BUFFER

CONCEPT PLANNED DISTRICT SITE PLAN
1"=100'-0"





PHASE I
21 ACRES 125,000 GSF

BASE DISTRICT: COMMERCIAL (C)
PROPOSED LAND USES:
SPORTS ARENAS/ FIELDS
INDOOR COMMERCIAL RECREATION FACILITIES

APPROX. PROPOSED OPEN AREA:

BUILDING	AREAS	PARKING TABULATIONS
		REQ'D PROVIDED
① - MICROSPORTS	85,000 GSF	100 147
② - PROJECT ROSE	10,000 GSF	
③ - EXPANSION	10,000 GSF	
④ - MARUCCI BASEBALL	12,000 GSF	
⑤ - MEDICAL EXPANSION	20,000 GSF	
⑥ - SAND USUAL EXPAND	16,000 GSF	
⑦ - SPORTS PERFORMANCE	3,000 GSF	
⑧ - YOUTH BASEBALL FIELDS	N/A	

PHASE III
17.9 ACRES 69,000 GSF

BASE DISTRICTS: GENERAL RETAIL (GR) & MULTIFAMILY (MF-14)
PROPOSED LAND USES:
GENERAL RETAIL
OFFICES
MULTIFAMILY

APPROX. PROPOSED OPEN AREA:

BUILDING	AREAS	PARKING TABULATIONS
		REQ'D PROVIDED
① - OFFICE	28,200 GSF	130 200
② - OFFICE	30,200 GSF	130
③ - OFFICE	10,000 GSF	10
④ - RETAIL	5,000 GSF	10 10
⑤ - MULTIFAMILY HOUSING (20 UNITS)		NOT TABULATED 478
⑥ - MULTIFAMILY CLUBHOUSE (145 1-BEDROOM UNITS, 84 2-BEDROOM UNITS)	7,000 GSF	
⑦ - SPLASH PARK		
⑧ - ACTIVITY MEADOW		
⑨ - OUTDOOR THEATER		
⑩ - DOG PARK		

PHASE II
7.9 ACRES 84,522 GSF

BASE DISTRICT: GENERAL RETAIL (GR)
PROPOSED LAND USES:
RESTAURANTS
HOTELS
GENERAL RETAIL

APPROX. PROPOSED OPEN AREA:

BUILDING	AREAS	PARKING TABULATIONS
		REQ'D PROVIDED
① - RESTAURANT	6,200 GSF	51 43
② - 150 KEY HOTEL	80,000 GSF	100 79
③ - FAST CASUAL DRIVE-THRU	2,200 GSF	86 87
④ - RESTAURANT	6,300 GSF	
⑤ - IN-LINE RETAIL	7,400 GSF	40 41
⑥ - FAST CASUAL DRIVE-THRU	2,200 GSF	23 22

*SHARED SPACES WITH RECREATION FACILITY NOT TABULATED

PHASE IV
7.5 ACRES 101,200 GSF

BASE DISTRICTS: LIGHT INDUSTRIAL (LI)
PROPOSED LAND USES:
STORAGE FACILITY
FLEX INDUSTRIAL

APPROX. PROPOSED OPEN AREA:

BUILDING	AREAS	PARKING TABULATIONS
		REQ'D PROVIDED
① - STORAGE FACILITY	28,200 GSF	28 24
② - FLEX INDUSTRIAL	60,000 GSF	40 44

- REQUIRED PARKING CALCULATED BASED ON THE FOLLOWING CRITERIA:
- RESTAURANT/CAFE: 1 SPACE PER 100 SFT.
 - HOTEL: 1 SPACE PER ROOM.
 - OFFICE: 1 SPACE PER 400 SFT.
 - RETAIL: 1 SPACE PER 200 SFT.
 - MULTIFAMILY: 2 PER DWELLING UNIT.
 - LIGHT ASSEMBLY: 1 SPACE PER 500 SFT.
 - WAREHOUSE STORAGE: 1 SPACE PER 1,000 SFT.
 - STREET PARKING SPACES NOT TABULATED.

CONCEPT
PLANNED DISTRICT PHASING PLAN
1"=100'-0"





SOUTH ELEVATION
RECREATION BUILDING "A" - "F"
SCALE: 1" = 20'-0"



WEST ELEVATION
RECREATION BUILDING "A" - "F"
SCALE: 1" = 20'-0"



EAST ELEVATION
RECREATION BUILDING "A" - "F"
SCALE: 1" = 20'-0"



NORTH ELEVATION
RECREATION BUILDING "A" - "F"
SCALE: 1" = 20'-0"



SOUTH ELEVATION
PARTIAL RECREATION BUILDING "A" - "F"
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
PARTIAL RECREATION BUILDING "A" - "F"
SCALE: 1/8" = 1'-0"



EAST ELEVATION
RECREATION BUILDING "A" - "F"
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
PARTIAL RECREATION BUILDING "A" - "F"
SCALE: 1/8" = 1'-0"



WEST ELEVATION
DEVELOPMENT SIGNAGE NEAR HIGHWAY
SCALE: 1/8" = 1'-0"



WEST ELEVATION
RECREATION BUILDING "A" - "F"
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND

- RED BRICK VENEER
- STONE VENEER
- WOOD PANEL
- STUCCO
- STUCCO
- VERTICAL LAP SIDING
- CORRUGATED METAL SIDING
- TRIM
- DARK CEMENTITIOUS PANEL



FRONT ELEVATION
RETAIL BUILDING "R"
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
RETAIL BUILDING "M"
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
FAST-CASUAL BUILDING "K" + "N"
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
RESTAURANT BUILDING "H" + "L"
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
	STONE VENEER
	WOOD PANEL
	STUCCO
	CORRUGATED METAL SIDING



FRONT ELEVATION
RESIDENTIAL 4-STORY BUILDING "S"
SCALE: 1/8" = 1'-0"

FRONT ELEVATION
RESIDENTIAL 1-STORY CLUBHOUSE "T"
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
RESIDENTIAL 4-STORY BUILDING "S"
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
	BUFF BRICK VENEER
	DARK CEMENTITIOUS PANEL
	WOOD PANEL
	LIGHT ACCENT PANEL



FRONT ELEVATION
2.5-STORY MEDICAL OFFICE BUILDING "Q"
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
2.5-STORY MEDICAL OFFICE BUILDING "P"
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND	
	BUFF BRICK VENEER
	DARK STUCCO
	LIGHT STUCCO
	WOOD PANEL
	LAP SIDING
	TRIM



FRONT ELEVATION
 4-STORY HOTEL BUILDING "J"
 SCALE: 1/8" = 1'-0"









Concept Plan Information

FitSportLife Rockwall

March 20, 2020

It is proposed to create a Planned District (PD) Development that encompasses 55.8 acres (+/-) located to the south and east of the intersection between Corporate Crossing West and Interstate Hwy 30. The extents of this district are illustrated in the aerial photograph shown below.

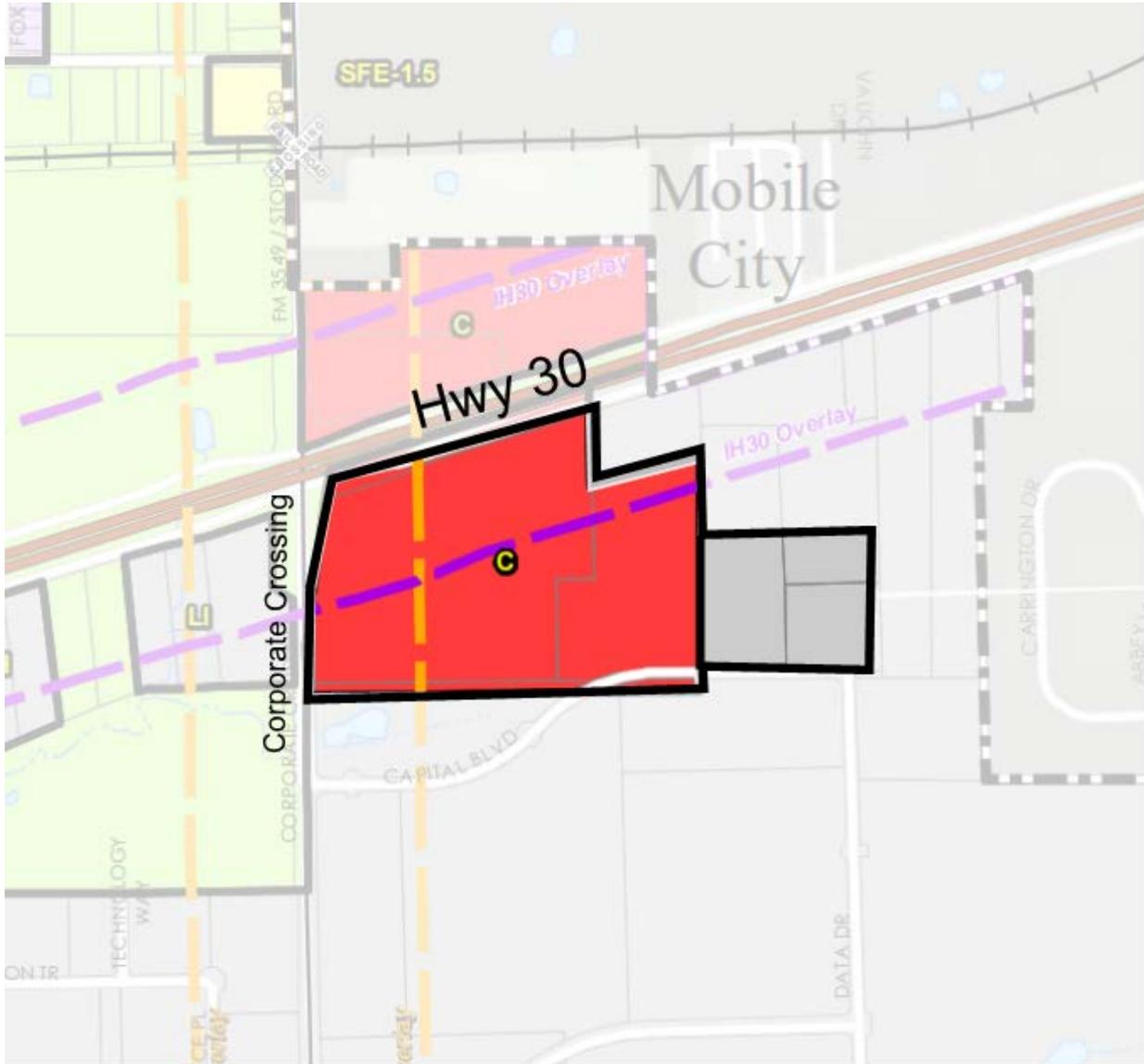


VICINITY MAP

NTS



Presently the site is zoned for Commercial and Light Industrial uses and includes both an IH30 and FM549 Overlay District. Surrounding sites are zoned for light industrial and agricultural uses.



VICINITY MAP

NTS

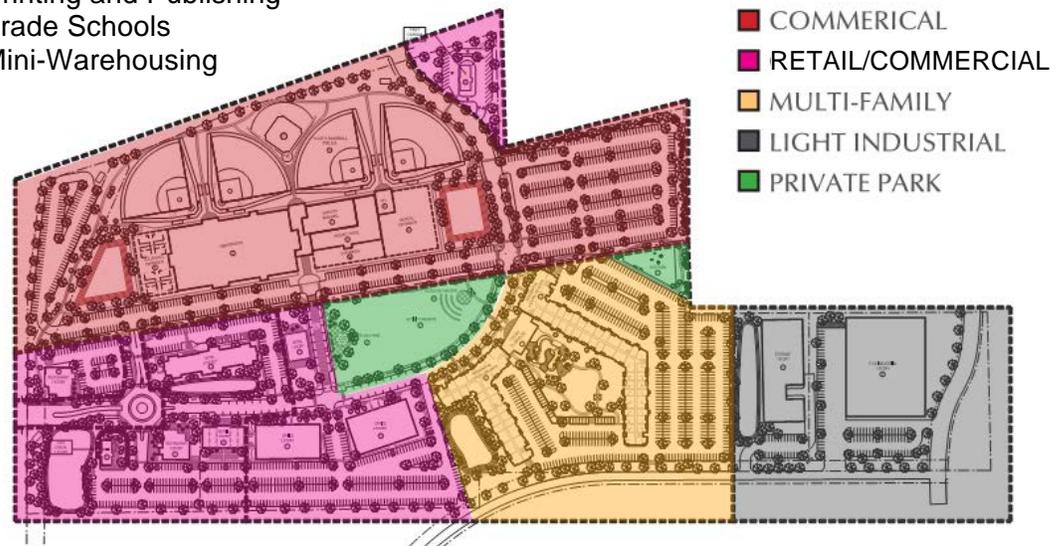


The PD will reference and amend the standards established in the Unified Development Code for the following districts:

- Commercial (C) District
- General Retail (GR) District
- Multifamily (MF- 14) District
- Light Industrial (LI) District
- General Overlay Districts

The intent is to provide the following land uses but also allow for the potential for all uses included in the commercial zoning code, to be able to react to the commercial product as the market dictates for each phase:

- Indoor commercial recreational facilities
- Private Sports Arenas
- General Office and Corporate Headquarters
- Multifamily Development
- A limited or Full-Service Hotel
- General Retail Stores
- Neighborhood Convenience Centers
- Food Trucks/Trailers
- Retail outlets with gasoline products
- Restaurant and Restaurants with drive throughs
- Permitted land uses typical in light industrial districts, such as:
 - Machine Shops
 - Breweries
 - Light Assembly and Fabrication
 - Printing and Publishing
 - Trade Schools
 - Mini-Warehousing



PROPOSED LANDUSE MAP

NTS



The Planned District's primary objective is to create a modern Main Street that connects a variety of complimentary land uses with quality open space. The Main Street is articulated in a way that creates a unique pedestrian experience along an aesthetically pleasing streetscape. Buildings will be constructed close to the public Main street, set back from the curb an approximately uniform distance. Parking areas will be located behind and therefor concealed by the buildings that front the main street. Pedestrian elements such as benches, trash receptacles, etc. will be incorporated into the streetscape at regular intervals to ensure the site works at a pedestrian scale.

In addition to being consistent with the vision and goals championed in Rockwall's Comprehensive City Plan, we believe the PD District meets the purpose of Planned Districts outlined in Article 10 of the Unified Development Code by doing the following:

- Providing for a superior design of lots and buildings.
- Providing for increased recreation and open space intended for public use.
- Providing amenities that will be of special benefit to the community
- Providing an appropriate balance between the intensity of development and the ability to provide adequate supporting public facilities and services.



TRAFFIC IMPACT ANALYSIS FOR
MIXED-USE DEVELOPMENT
IN ROCKWALL, TEXAS

DeShazo Project No. 20021

Prepared for:

Mr. Randy Eardley, P.E.
Wier & Associates, Inc.
2201 E. Lamar Blvd, Suite 200E
Arlington, TX - 76006

Prepared by:

DeShazo Group, Inc.
Texas Registered Engineering Firm F-3199
400 South Houston Street, Suite 330
Dallas, Texas 75202
214.748.6740

March 19, 2020



Traffic. Transportation Planning. Parking. Design.

Texas Registered Engineering Firm F-3199

Traffic Impact Analysis for
Mixed-Use Development in City of Rockwall

~ DeShazo Project No. 19115 ~

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- Table 2. Development Scenarios Analyzed
- Table 3. Projected Trip Generation
- Table 4. Existing Intersection Analysis
- Table 5. 2024 Intersection Analysis
- Table 6. 2029 Intersection Analysis
- Table 7. Roadway Link Capacity Analysis Results Summary
- Table 8. Intersection Sight Distance Summary
- Table 9. Driveway Spacing Summary

LIST OF EXHIBITS:

- Exhibit 1. Site Location Map
- Exhibit 2. Preliminary Site Plan
- Exhibit 3. Existing Roadway Geometry and Traffic Control
- Exhibit 4. Proposed Roadway Geometry and Traffic Control

LIST OF APPENDICES:

- Appendix A. Traffic Volume Exhibits
- Appendix B. Existing Traffic Count Data
- Appendix C. Site-Generated Traffic Supplement
- Appendix D. Detailed Intersection Capacity Analysis Results
- Appendix E. TxDOT Driveway Spacing and Deceleration Lane Criteria

EXECUTIVE SUMMARY

The services of **DeShazo Group, Inc.** (DeShazo) were retained by **Wier & Associates, Inc.**, to conduct a traffic impact analysis (TIA) for the proposed mixed-use development in Rockwall, Texas. The subject property will be located at the southeast corner of the intersection of Interstate Highway 30 and Corporate Crossing in Rockwall, Texas.

The proposed project is planned to be built in four phases and will be fully constructed by 2024. The area is approximately 66 acres. **Table 1** shows the development program summary for the site development.

Table 1. Development Program Summary

Use	Phase No.	Quantity
Alethic Club	I	146,000 SF
Restaurant	II	6,305 SF
Hotel	II	100 Rooms
Fast Food with Drive Thru	II	2,256 GSF
Restaurant	II	6,305 GSF
Retail	II	7,400 GSF
Fast Food with Drive Thru	II	2,256 GSF
Office	III	35,800 GSF
Office	III	39,200 GSF
Retail	III	5,000 GSF
Multifamily Housing	III	274 Units
Storage Facility	IV	31,800 GSF
Flex Industrial	IV	63,000 GSF

The analysis of the traffic generated by the proposed development resulted in no significant impact on the local roadway system. Below is a summary of findings from this TIA.

FINDING: Based upon the existing 2020 analysis, all study intersections are currently operating at LOS D or better during the peak hour periods with the following exceptions:

Discovery Blvd at Corporate Crossing-

- The EB shared left-through movement is currently operating at LOS E during PM peak hour for 2020 existing conditions.

FINDING: Based upon the 2024 background & 2024 background-plus site buildout analysis all study intersections are currently operating at LOS D or better during the peak hour periods with the following exceptions:

IH 30 WBFR at N Stodghill Road-

- The intersection is expected to operate at LOS E during the AM peak hour for 2024 background plus site conditions.

Capital Blvd at Corporate Crossing-

- The WB left turning movement is expected to operate at LOS E during both the AM and PM peak hour for 2024 background plus site conditions.

Discovery Blvd at Corporate Crossing-

- The EB shared left-through movement is expected to operate at LOS E during the AM peak hour for both 2024 background and 2024 background plus site conditions.
- The EB shared left-through movement is expected to operate at LOS F during the PM peak hour for both 2024 background and 2024 background plus site conditions.
- The WB left turning movement is expected to operate at LOS E and LOS F during AM peak hour for 2024 background and 2024 background plus site conditions respectively.

Driveway 2/Gas Station Driveway at Corporate Crossing-

- The WB shared left-through movement is expected to operate at LOS F for AM and PM peak hour for 2024 background plus site conditions.

RECOMMENDATIONS:

IH 30 WBFR at N Stodghill Road: The intersection is expected to operate at LOS E at buildout conditions during the AM peak hour. It is recommended to optimize the traffic signal after the full buildout to improve the level of service from LOS E to LOSD at this intersection (**Appendix D**).

Capital Blvd at Corporate Crossing:

- The WB left turning movement is currently expected to operate at LOS E during the peak hour with a maximum 95th percentile queue of about 1 vehicle only. Therefore, no mitigation measures are recommended.

Discovery Blvd at Corporate Crossing:

- The EB left-through movement is currently operating at LOS E with a maximum 95th percentile queue of about 4 vehicles and is expected to operate at LOS F with maximum 95th percentile queue of 8 vehicles. This is not an uncommon situation on a stop controlled intersection for a vehicle of Minor Street making a through/left turn movement. The proposed development does not possess any impact on this movement. Therefore, no mitigation measures are recommended
- The WB left turning movement is expected to operate at LOS F with a maximum 95th percentile queue of less than 1 vehicle. Therefore, no mitigation measures are recommended.

Driveway 2/Gas Station Driveway at Corporate Crossing:

- The WB shared left-through movement is expected to operate at LOS F during the peak hour with a maximum 95th percentile queue of about 11 vehicles. It is recommended to perform a traffic signal warrant study to determine whether the intersection warrants a signal after full buildout in future.

FINDING: Based upon the projected volumes derived in this study, the installation of an auxiliary right turn deceleration lane is expected to meet TxDOT requirement at the following location:

- EB right turn lane on IH 30 EBFR at Driveway 1.
- NB right turn lane on Corporate Crossing at Driveway 2

A SB left turn storage lane is recommended on Corporate Crossing at Driveway 2 based on TxDOT's requirement of a left turn storage lane for all raised median openings.

FINDING: All the site driveways proposed for this study meet TxDOT's driveway spacing requirements except for the spacing between the Driveway 3 and Driveway 4. A variance of lesser spacing requirement for these driveways with the City of Rockwall can be persuaded.

FINDING: Based on AASHTO Green Book, all the proposed site driveways meet the required intersection sight distance.

FINDING: Based upon the link analysis, IH 30 EBFR and Corporate Crossing Blvd are expected to operate at an acceptable level of service (**Refer Table 7**).

END OF SUMMARY

INTRODUCTION

The services of **DeShazo Group, Inc.** (DeShazo) were retained by **Wier & Associates, Inc.**, to conduct a traffic impact analysis (TIA) for the proposed mixed-use development in Rockwall, Texas. The subject property will be located at the southeast corner of the intersection of Interstate Highway 30 and Corporate Crossing in Rockwall, Texas. The proposed project is planned to be built in four phases and will be fully constructed by 2024.

A site location map and preliminary site plan are provided in **Exhibit 1** and **Exhibit 2**, respectively.

PURPOSE

City of Rockwall is requiring that a TIA be completed for the subject site as part of permit application. The purpose of the TIA is to determine if any improvements to the adjacent transportation system are needed in order to maintain a satisfactory level of service, an acceptable level of safety, and appropriate access for the proposed development.

TRAFFIC IMPACT ANALYSIS - METHODOLOGY

To achieve this objective, this analysis summarizes the traffic operational characteristics of the background conditions within a designated study area and the projected incremental impact of the Project as determined through standardized engineering analyses. The standard methodology used to conduct the traffic impact analysis is described below.

1. Collect current traffic volume data on a typical day throughout the study area to represent existing traffic conditions.
2. Apply growth factors to the existing volumes to project future background traffic at the site buildout year conditions.
3. Project traffic generated by the proposed development using trip generation, trip distribution and traffic assignment as described below.
 - a. Trip generation is calculated in terms of “trip ends” – a trip end is a one-way vehicular trip entering or exiting a site driveway (i.e., a single vehicle entering and exiting a site represents two trip ends).
 - b. Trip distribution and assignment of site-generated trips to the surrounding roadway system is determined by proportionally estimating the orientation of travel via various travel routes. This is a subjective exercise based upon professional judgment considering such factors as directional characteristics of existing local traffic; trip attributes (e.g., trip purpose, trip length, travel time, etc.), roadway features (e.g., capacity, operational conditions, character of environment), regional demographics, etc.
4. Determine site-plus-background traffic by adding the projected site-generated traffic to the background traffic.
5. Analyze existing, background and background-plus-site traffic volumes to evaluate the roadway conditions in the vicinity of the proposed development.
6. If needed, mitigation measures are recommended based upon the analysis to improve roadway operational conditions.

ANALYSIS SCENARIOS

This TIA analyzed the following peak hour periods that are considered the most critical conditions on the public roadway system related to the proposed Project. The proposed project is planned to be built in four phases and will be fully constructed by 2024.

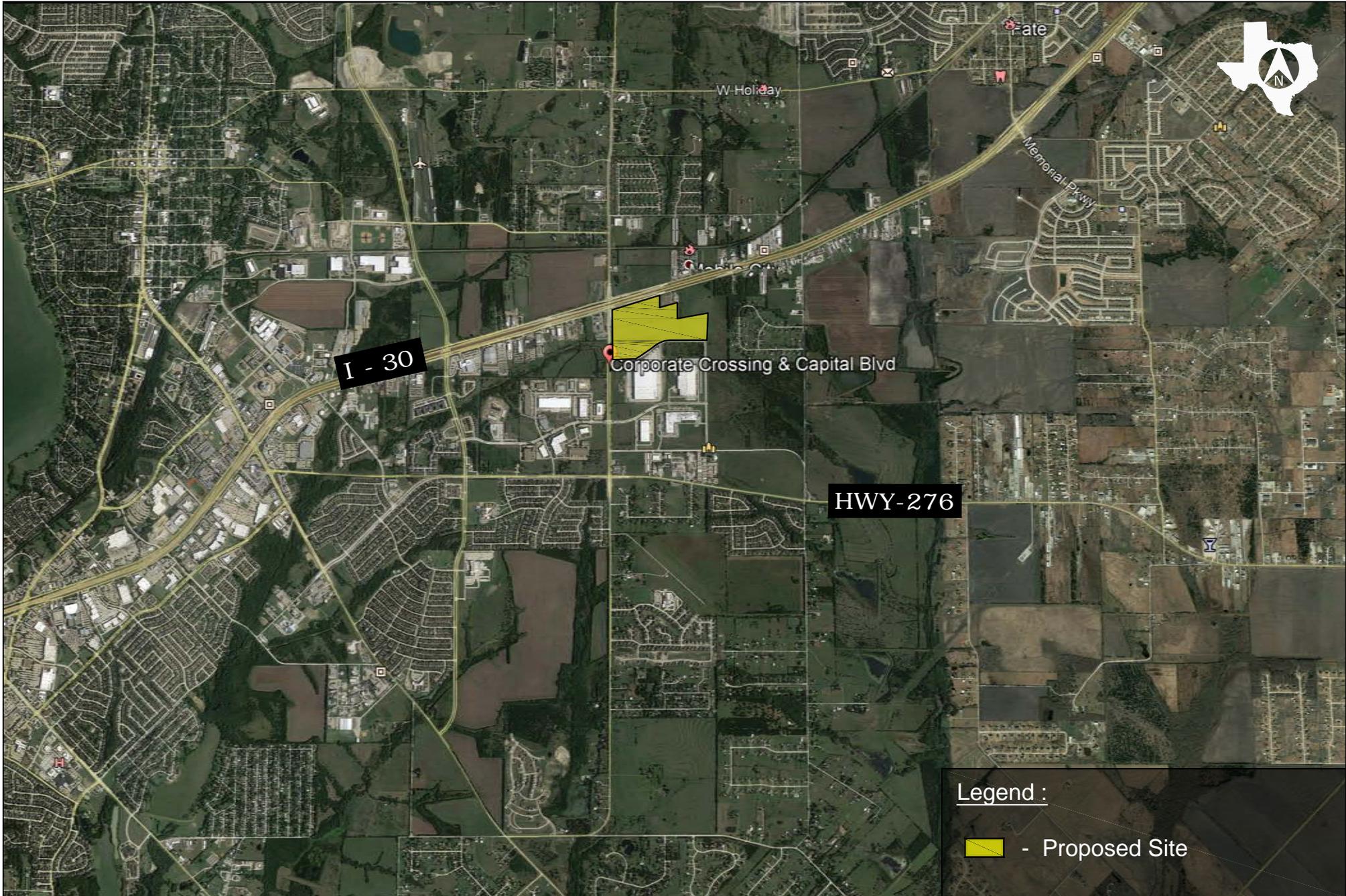
Roadway Peak Hours Analyzed:

- Weekday: AM peak hour of adjacent street traffic
- Weekday: PM peak hour of adjacent street traffic

Development scenarios considered in this analysis are summarized in **Table 2**.

Table 2. Development Scenarios Analyzed

Scenario	Development Program	Traffic Volumes
2020 Existing	None Added	Existing 2020 Volumes
2024 Background	None Added	Existing 2020 volumes grown at 2% per year for 4 years
2024 Background + Site	Mixed-Use Development	Existing 2020 volumes grown at 2% per year for 4 years plus site traffic
2029 Horizon	None Added	2024 background volumes grown at 1% per year for 5 years
2029 Horizon + Site	Mixed-Use Development	2024 background volumes grown at 1% per year for 5 years plus site traffic



SITE LOCATION MAP

TIA for Mixed Use Development in Rockwall, Texas

PROJECT #: 20021

DATE: FEB 2020

EXHIBIT

1



SITE PLAN LEGEND		PARKING TABULATIONS	
*RENTABLE SQUARE FOOTAGE EXCLUDES MULTIFAMILY			
PHASE I	125,000 GSF*	REQ'D	PROVIDED
(A) - ROCKWALL COURTS	62,000 GSF	TBD	747
(B) - PROJECT ROSE	15,000 GSF		
(C) - MARRUCCI BASEBALL	12,000 GSF		
(D) - MEDICAL EXPANSION	18,000 GSF		
(E) - SAND VBALL EXPAND.	18,000 GSF		
(F) - YOUTH BASEBALL FIELDS	N/A		
PHASE II	84,522 GSF*	REQ'D	PROVIDED
(G) - RESTAURANT	6,305 GSF	63	63
(H) - +100 KEY HOTEL	60,000 GSF	100	79 +21 SHARED WITH PHASE I
(I) - FAST/CASUAL DRIVE-THRU	2,256 GSF	86	87
(J) - RESTAURANT	6,305 GSF		
(K) - IN-LINE RETAIL	7,400 GSF	40	41
(L) - FAST/CASUAL DRIVE-THRU	2,256 GSF	23	28
PHASE III	69,000 GSF*	REQ'D	PROVIDED
(M) - OFFICE	35,800 GSF	120	250 + UNASSIGNED STREET SPACES
(N) - OFFICE	39,200 GSF	130	
(O) - RETAIL	5,000 GSF	10	(SHARED WITH HOTEL)
(P) - MULTIFAMILY HOUSING	274 UNITS	548	603
(169 1-BEDROOM UNITS, 105 2-BEDROOM UNITS)			
(Q) - MULTIFAMILY CLUBHOUSE	7,000 GSF		
(R) - SPLASH PARK			
(S) - ACTIVITY MEADOW			
(T) - OUTDOOR THEATER			
(U) - DOG PARK			
PHASE IV	101,200 GSF*	REQ'D	PROVIDED
(V) - STORAGE FACILITY	31,800 GSF	32	24 SHOWN WITH ROOM FOR MORE
(W) - FLEX INDUSTRIAL	63,000 GSF	63	89

REQUIRED PARKING CALCULATED BASED ON THE FOLLOWING CRITERIA:

- RESTAURANT/CAFE: 1 SPACE PER 100 SFT.
- HOTEL: 1 SPACE PER ROOM
- OFFICE: 1 SPACE PER 300 SFT.
- RETAIL: 1 SPACE PER 250 SFT.
- MULTIFAMILY: 2 PER DWELLING UNIT
- LIGHT ASSEMBLY: 1 SPACE PER 500 SFT.
- WAREHOUSE STORAGE: 1 SPACE PER 1,000 SFT.

EXHIBIT 2. PRELIMINARY SITE PLAN

EXISTING AND PROPOSED LAND USE

The study parameters used in this TIA are based upon the requirements of TxDOT/City of Rockwall and are consistent with the standard industry practices used in similar studies.

SITE LOCATION AND STUDY AREA

The proposed Mixed-Use development, will be located at the southeast corner of the intersection of Interstate Highway 30 and Corporate Crossing in Rockwall, Texas.

Roadway Intersections:

- N Stodghill Road at I-30 WBFR: Signalized
- N Stodghill Road at I-30 EBFR: Signalized
- Corporate Crossing at Capital Blvd: Stop Controlled on Capital Blvd
- Corporate Crossing at Discovery Blvd: Stop Controlled on Discovery Blvd
- I-30 EBFR at Driveway 1: Stop Controlled on Driveway 1
- Corporate Crossing at Gas Station Driveway/Driveway 2: Stop Controlled on Gas Station Driveway/Driveway 2
- Capital Blvd at Driveway 3: Stop Controlled on Driveway 3
- Capital Blvd at Driveway 4: Stop Controlled on Driveway 4

EXISTING SITE AND DEVELOPMENT

The site is currently vacant. There is a Loves gas station opposite of the proposed development on West side of Corporate Crossing and there are existing warehouses south of the proposed development. There are no any sidewalks and bike lanes for the pedestrian and bike activities around the proposed site at existing condition. The proposed development will consist of about 66 Mixed-Use Acres. The development will consist of mixed-use development with residential, retail, restaurant, and fast food with drive thru, sports, office, and storage facility and flex industry. The development is going to be built in four phases and is expected to be fully built by 2024. Based on City of Rockwall's thoroughfare plan, a street is going to be connected to the IH30 EBFR from Capital Blvd (from the right end of the phase IV) of the proposed development in the future. This future connection will serve a few traffic of the proposed development. This connection is expected to serve the existing and future developments that will be built south of IH 30 EBFR.

EXISTING AND PROPOSED TRANSPORTATION SYSTEM

Thoroughfare System

- I-30 Frontage Road:
 - Existing operation and cross-section: Two lanes, one-way
 - Speed Limit: 45 mph (posted speed limit adjacent to site)
 - TxDOT Functional Classification: Frontage Road , 2 lanes, one-way

- Corporate Crossing:
 - Existing operation and cross-section: Four lanes, two-way
 - Speed Limit: 50 mph (posted speed limit adjacent to site)
 - TxDOT Functional Classification: Major Collector, 4 lanes, divided

A summary of the existing and proposed intersection/roadway geometry and traffic control are shown in **Exhibit 3 and Exhibit 4** respectively.

Existing Traffic Volumes

Current traffic volumes were collected during the analysis periods at the study area intersections on Tuesday, March 3, 2020. Traffic volumes are graphically summarized in **Appendix A** and detailed 15-minute-count data sheets are provided in **Appendix B**.

Projected Background Traffic Volumes

Background traffic growth is defined as the normal traffic growth that is not directly related to the subject development of this study. Historical traffic volumes in the area have fluctuated in the last several years. A growth rate of 2% per year was used in this analysis till buildout (2024) and 1% per year was used for from buildout to horizon year (2029). Future background traffic volumes estimate for the buildout years were calculated by applying the assumed growth rate for the study area intersections. These volumes are graphically summarized in **Appendix A**.

SITE-TRAFFIC CHARACTERISTICS

Traffic generated by the Project is projected by first determining the number of trips generated by the planned land use, then distributing and assigning projected site-related trips to the roadway system.

TRIP GENERATION

The Institute of Transportation Engineers Trip Generation manual (10th Edition) is an accepted source for calculating trip generation for common land uses for which sufficient published data is available.

Trip generation is summarized in trip ends – a trip end is a one-way vehicular trip entering or leaving a site (i.e., one vehicle arriving and departing represents two trip ends). This analysis evaluates typical weekday AM and PM peak hour conditions of the local street traffic.

Adjustments for Internal capture were considered for adjustment of the base ITE data for this analysis. The internal capture of 13% for AM and 17% for PM used in this analysis are based on the ITE trip generation software.

A “pass-by trip” is a site-generated trip end that originates from the traffic volume that is otherwise passing by the site on the adjacent street. Hence, pass-by trips are reflected in the overall site driveway volumes but are not added to (i.e., already included in) the local roadway volume. Pass-by rates are published by ITE. For simplicity, in this analysis, the “total” site-generated trip ends were included in the driveway volumes, and only the net increase in trip ends were added to the adjacent street traffic.

The analysis considered a 4% and 5% pass-by trip reduction for AM and PM, respectively.

Table 3 provides a summary of the calculated trip ends generated by the project. Excerpts from ITE Trip Generation data are provided in the Appendix section of this report. Supplemental information used in the trip generation calculations is provided in **Appendix C**.

Table 3. Projected Trip Generation

ITE Code	ITE Land Use	Quantity	Weekday Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
110	General Light Industrial-Phase IV	63,000 SF	312	44	39	5	40	5	35
150	Warehousing-Phase IV	31,800 SF	96	29	22	7	32	9	23
221	Multifamily Housing(Mid-Rise)-Phase III	274 DU	1,491	99	26	73	117	71	46
310	Hotel-Phase II	100 Rooms	836	47	28	19	60	31	29
493	Athletic Club - Phase I	146,000 SF	4,610	461	281	180	918	569	349
710	General Office Building- Phase III	35,800 SF	392	60	52	8	43	7	36
710	General Office Building- Phase III	39,200 SF	428	63	54	9	47	8	39
932	High-Turnover (Sit-Down) Restaurant- Phase II	6,305 SF	707	63	35	28	62	38	24
932	High-Turnover (Sit-Down) Restaurant-Phase II	6,305 SF	707	63	35	28	62	38	24
934	Fast Food with Drive-Thru-Phase II	2,256 SF	1,062	91	46	45	74	38	36
934	Fast Food with Drive-Thru-Phase II	2,256 SF	1,062	91	46	45	74	38	36
820	Shopping Center-Phase II	7,400 SF	1,024	155	96	59	79	38	41
820	Shopping Center-Phase III	5,000 SF	784	154	95	59	59	28	31
		<i>Subtotals:</i>	13,513	1,420	855	565	1,667	918	749
		<i>13% AM and 17% PM Internal Capture:</i>	0	185	92	92	283	142	142
		<i>4% AM and 5% PM Pass by Trips:</i>	0	57	28	28	83	42	42
		Totals:	13,513	1,179	734	444	1,300	735	566

TRIP DISTRIBUTION AND ASSIGNMENT

Traffic for the proposed development was distributed and assigned to the study area roadway network based upon the roadway network and regional travel flow [or existing traffic patterns]. Detailed trip distribution and traffic assignment calculations and results are summarized in **Appendix C**.

SITE-GENERATED TRAFFIC VOLUMES

Site-generated traffic is calculated by multiplying the trip generation value (from **Table 3**) by the corresponding traffic assignments (from **Appendix C**). The resulting cumulative (for all uses) peak period site-generated traffic volumes at buildout of the Project are graphically summarized in **Appendix A**.

ROADWAY INTERSECTION ANALYSIS

INTERSECTION CAPACITY ANALYSIS - METHODOLOGY

The level of performance of infrastructure can often be measured through an analysis of volume and capacity that considers various physical and operational characteristics of the system. For vehicular traffic, an operational analysis of roadway intersection capacity is the most detailed type of analysis. An industry-standardized methodology for this type of analysis is presented in the *Highway Capacity Manual (HCM)*. HCM uses the term “level of service” (LOS) to qualitatively describe the efficiency using a letter grade of A through F. Generally, LOS is described as follows.

- LOS A = free, unobstructed flow
- LOS B = reasonably free flow
- LOS C = stable flow
- LOS D = approaching unstable flow
- LOS E = unstable flow, operating at design capacity
- LOS F = operating over design capacity

Traffic operational analysis is typically measured in one-hour periods during day-to-day peak conditions. In most urban settings, LOS C (or better) is desirable, although LOS D is considered to be acceptable. Nevertheless, periods of LOS E or F conditions are not uncommon for brief periods of time at major transportation facilities. In some cases, measures to add more capacity—either through operational changes and/or physical improvements—can be identified to increase efficiency and sometimes improve the level of service.

For traffic-signal-controlled (“signalized”) intersections and STOP-controlled (“unsignalized”) intersections, LOS is determined based upon the calculated average seconds of delay per vehicle. For signalized intersections, the average delay per vehicle can be effectively calculated for the entire intersection. However, the average delay per vehicle for unsignalized intersections is calculated by only approach or by individual traffic maneuvers that must stop or yield right-of-way. For unsignalized intersections of a minor street or driveway and a major roadway, the analysis methodology often breaks down and yields low levels of service (often, LOS F) that cannot be mitigated unless a traffic signal is installed. However, for a traffic signal to be installed, the responsible agency that governs the right-of-way must issue its approval subject to very specific warrant criteria being met *and* several other operational considerations being satisfied. Neither level of service nor delay is considered a criterion for traffic signal installation.

The following table summarizes the LOS criteria for signalized and unsignalized intersections as defined in the latest edition of the *Highway Capacity Manual*.

	Signalized Intersection (Average Delay per Vehicle)	Unsignalized Intersection (Average Delay per Vehicle)
LOS A	≤ 10	≤ 10
LOS B	>10 - ≤20	>10 - ≤15
LOS C	>20 - ≤35	>15 - ≤25
LOS D	>35 - ≤55	>25 - ≤35
LOS E	>55 - ≤80	>35 - ≤50
LOS F	>80	>50

NOTE: Signalized intersection operational parameters and operational results in this TIA were obtained directly from the optimized software output and may differ slightly from actual traffic signal operations.

2020 EXISTING – INTERSECTION ANALYSIS

Existing traffic volumes were analyzed to determine current operational conditions. Intersection capacity analyses presented in this study were performed using the **SYNCHRO** software package. **Table 4** provides a summary of peak period intersectional operational conditions. Detailed traffic volumes and software output for all intersection analysis is provided in **Appendix A** and **Appendix D**, respectively.

Table 4. Existing Intersection Analysis

Intersections	Traffic Movement		2020 Existing.			
			AM	Q (Veh)	PM	Q (Veh)
<u>IH 30 WBFR at</u> N Stodghill Road		Signalized Intersection	B (17.4)		B (15.8)	
<u>IH 30 EBFR at</u> N Stodghill Road			B (12.9)		B (16.6)	
<u>Capital Blvd at</u> Corporate Crossing	WBL WBR SBL	Unsignalized Intersection	C (22.9)		C (22.2)	
			B (10.8)		B (11.1)	
			A (9.3)		A (9.2)	
<u>Discovery Blvd at</u> Corporate Crossing	NBL EBLT EBR WBL WBTR SBL		A (8.7)		A (8.3)	
			D (32.0)		E (41.1)	4.0
			A (9.8)		B (10.1)	
			D (34.4)		C (20.7)	
			C (16.4)		B (11.7)	
		A (9.1)		A (8.4)		
<u>Driveway 1 at</u> IH 30 EBFR	NBR		- -	- -		
			- -	- -		
<u>Gas Station Driveway /Driveway 2 at</u> Corporate Crossing	EBR WBLT WBR SBL SBT		A (10.0)		A (10.0)	
			- -	- -		
			- -	- -		
			- -	- -		
			- -	- -		
<u>Driveway 3 at</u> Capital Blvd	EBL SB		- -	- -		
			- -	- -		
<u>Driveway 4 at</u> Capital Blvd	EBL SB		- -	- -		
			- -	- -		

KEY:

*A, B, C, D, E, F = Level-of-Service for each intersection approach
NB, SB, EB, WB = North-, South-, East-, Westbound approach*

L, T, R = Left, Through, Right Approach turning movement

AM = AM Peak Hour of Adjacent Street

PM = PM Peak Hour of Adjacent Street

NOTE: Signalized intersection operational parameters and operational results were obtained directly from the optimized software output and may differ slightly from actual traffic signal operations.

Based upon the existing 2020 analysis, all study intersections are currently operating at LOS D or better during the peak hour periods with the following exceptions:

Discovery Blvd at Corporate Crossing-

- The EB left-through movement is currently operating at LOS E during PM peak hour for 2020 existing conditions.

2024 BACKGROUND AND BACKGROUND PLUS SITE – INTERSECTION ANALYSIS

The development is expected to be completed by 2024. Therefore, year 2024 background (no build) and background-plus site traffic volumes were analyzed to determine the incremental change in operational conditions during peak periods *without* and *with* site-related traffic. The LOS results are provided in **Table 5**.

Table 5. 2024 Intersection Analysis

Intersections	Traffic Movement		2024 Background		2024 Background + Site			
			AM	PM	AM	Q (Veh)	PM	Q (Veh)
<u>IH 30 WBFR at</u> N Stodghill Road With Splits Optimization		Signalized Intersection	B (18.5)	B (17.0)	E (65.2)		D (46.1)	
					D (49.2)			
<u>IH 30 EBFR at</u> N Stodghill Road			B (13.2)	B (17.4)	B (19.7)		C (27.0)	
<u>Capital Blvd at</u> Corporate Crossing	WBL WBR SBL	Unsignalized Intersection	D (25.7)	C (24.8)	E (40.2)	<1.0	E (40.6)	1.0
			B (11.1)	B (11.4)	B (12.1)		B (12.6)	
			A (9.5)	A (9.4)	B (10.4)		B (10.3)	
<u>Discovery Blvd at</u> Corporate Crossing	NBL EBLT EBR WBL WBTR SBL		A (8.9)	A (8.4)	A (9.1)		A (8.7)	
			E (37.7)	F (61.8)	E (48.8)	<1.0	F (>100)	8.0
			A (10.0)	B (10.3)	B (10.2)		B (10.7)	
			E (40.9)	C (23.2)	F (54.0)	<1.0	D (30.6)	
			C (17.7)	B (12.3)	C (21.0)		B (13.8)	
			A (9.4)	A (8.6)	A (9.9)		A (9.0)	
<u>Driveway 1 at</u> IH 30 EBFR	NBR			- -	- -	B (10.5)		B (12.7)
			- -	- -				
<u>Gas Station Driveway / Driveway 2 at</u> Corporate Crossing	EBR WBLT WBR SBL SBT		B (10.2)	B (10.1)	B (10.4)		A (10.0)	
			- -	- -	F (>100)	8.0	F (>100)	11.0
			- -	- -	C (18.0)		D (25.6)	
			- -	- -	B (13.6)		B (14.6)	
			- -	- -	A (2.4)		A (2.6)	
<u>Driveway 3 at</u> Capital Blvd	EBL SB		- -	- -	A (7.3)		A (7.3)	
			- -	- -	A (8.5)		A (8.5)	
<u>Driveway 4 at</u> Capital Blvd	EBL SB		- -	- -	A (7.3)		A (7.3)	
			- -	- -	A (8.4)		A (8.4)	

Based upon the 2024 background & 2024 background-plus site buildout analysis all the intersections are expected to operate at LOS D, or better during the peak hour periods with the exception of:

IH 30 WBFR at N Stodghill Road-

- The intersection is expected to operate at LOS E during the AM peak hour for 2024 background plus site conditions.

Capital Blvd at Corporate Crossing-

- The WB left turning movement is expected to operate at LOS E during both the AM and PM peak hour for 2024 background plus site conditions.

Discovery Blvd at Corporate Crossing-

- The EB left-through movement is expected to operate at LOS E during the AM peak hour for both 2024 background and 2024 background plus site conditions.
- The EB left-through movement is expected to operate at LOS F during the PM peak hour for both 2024 background and 2024 background plus site conditions.
- The WB left turning movement is expected to operate at LOS E and LOS F during AM peak hour for 2024 background and 2024 background plus site conditions respectively.

Driveway 2/Gas Station Driveway at Corporate Crossing-

- The WB left-through movement is expected to operate at LOS F for AM and PM peak hour for 2024 background plus site conditions.

2029 HORIZON AND HORIZON-PLUS-SITE – INTERSECTION ANALYSIS

2029 horizon (no build) and horizon-plus-buildout traffic volumes were analyzed to determine the incremental change in operational conditions during peak periods *without* and *with* site-related traffic. The LOS results are provided in **Table 6**.

Table 6. 2029 Intersection Analysis

Intersections	Traffic Movement		2029 Horizon		2029 Horizon + Site			
			AM	PM	AM	Q (Veh)	PM	Q (Veh)
<u>IH 30 WBFR at</u> N Stodghill Road With Splits Optimization		Signalized Intersection	B (19.2)	B (17.9)	E (70.7) D (52.2)		D (45.7)	
<u>IH 30 EBFR at</u> N Stodghill Road			B (13.5)	B (18.3)	C (21.1)		C (28.7)	
<u>Capital Blvd at</u> Corporate Crossing	WBL WBR SBL	Unsignalized Intersection	D (27.8)	D (26.9)	E (44.4)	<1.0	E (45.4)	1.0
			B (11.3)	B (11.6)	B (12.4)		B (12.9)	
			A (9.7)	A (9.6)	B (10.7)		B (10.5)	
<u>Discovery Blvd at</u> Corporate Crossing	NBL EBLT EBR WBL WBTR SBL		A (9.0)	A (8.5)	A (9.3)	1.0	A (8.8)	
			E (42.9)	F (85.8)	F (56.3)		F (>100)	10.0
			B (10.1)	B (10.4)	B (10.4)		B (10.8)	
			E (46.2)	D (25.3)	F (62.7)	<1.0	D (33.9)	
		C (18.7)	B (12.6)	C (22.3)		B (14.2)		
		A (9.5)	A (8.6)	B (10.1)		A (9.1)		
<u>Driveway 1 at</u> IH 30 EBFR	NBR		- -	- -	B (10.6)		B (12.9)	
<u>Gas Station Driveway /Driveway 2 at</u> Corporate Crossing	EBR WBLT WBR SBL SBT		B (10.3)	B (10.2)	A (10.0)	9.0	A (10.0)	11.0
			- -	- -	F (>100)		F (>100)	
			- -	- -	C (18.8)		D (27.5)	
			- -	- -	B (14.2)		C (15.2)	
			- -	- -	A (2.7)		A (3.0)	
<u>Driveway 3 at</u> Capital Blvd	EBL SB		- -	- -	A (7.3)		A (7.3)	
			- -	- -	A (8.5)		A (8.5)	
<u>Driveway 4 at</u> Capital Blvd	EBL SB		- -	- -	A (7.3)		A (7.3)	
			- -	- -	A (8.4)		A (8.4)	

Based upon the 2029 horizon & 2029 horizon-plus site buildout analysis all the intersections are expected to operate at LOS D, or better during the peak hour periods with the exception of:

IH 30 WBFR at N Stodghill Road-

- The intersection is expected to operate at LOS E during the AM peak hour for 2029 horizon plus site conditions.

Capital Blvd at Corporate Crossing-

- The WB left turning movement is expected to operate at LOS E during both the AM and PM peak hour for 2029 horizon plus site conditions.

Discovery Blvd at Corporate Crossing-

- The EB left-through movement is expected to operate at LOS E and LOS F during the AM peak hour for 2029 horizon and 2029 horizon plus site conditions respectively.
- The EB left-through movement is expected to operate at LOS F during the PM peak hour for both 2029 horizon and 2029 horizon plus site conditions.
- The WB left turning movement is expected to operate at LOS E and LOS F during AM peak hour for 2029 horizon and 2029 horizon plus site conditions.

Driveway 2/Gas Station Driveway at Corporate Crossing-

- The WB left-through movement is expected to operate at LOS F for AM and PM peak hour for 2029 horizon plus site conditions.

ROADWAY LINK ANALYSIS - METHODOLOGY

A roadway link is a roadway segment between two intersections. Roadway link capacity analysis is a comparison of actual or forecasted traffic volumes to the theoretical roadway capacity. The capacity of the roadway link is a function of the roadway's cross-section (i.e., number of lanes, lane widths, type of center divider, etc.). However, other more theoretical factors also apply, such as the character of environment and the functional classification of the roadway. Roadway link capacity is less critical than intersection capacity; however, it can provide a gauge of the utilization of given roadway.

A specific industry standard for roadway link capacity does not exist, but the typical concept is derived from a base saturation flow rate (i.e., the maximum theoretical rate of continuous flow under ideal, unobstructed conditions). In the traffic engineering industry, this value is generally considered to range between 1,900-2,100 vehicles per lane per hour). A series of adjustment factors are then applied to the saturation flow rate to reflect the characteristics of a given location.

The North Central Texas Council of Governments (NCTCOG), the metropolitan planning agency for the Dallas-Melissa region, has derived internal "hourly service volume" guidelines used for transportation modelling purposes. The NCTCOG values were based upon the principles presented in the *Highway Capacity Manual* with "regional calibration" factors applied. Though these per-lane capacities, or "Service Volumes" (summarized in the table below), are intended for modelling purposes, they do provide a reasonable gauge of theoretical capacity.

Area Type	Hourly Service Volumes by Roadway Function					
	Principal Arterial		Minor Arterial & Frontage Road		Collector & Local Street	
	Median-Divided or One-Way	Undivided Two-Way	Median-Divided or One-Way	Undivided Two-Way	Median-Divided or One-Way	Undivided Two-Way
CBD	725	650	725	650	475	425
Urban/Commercial	850	775	825	750	525	475
Suburban Residential	925	8,75	900	825	575	525
Rural	1,025	925	975	875	600	550

To determine the utilization of a roadway, the volume to capacity ratio is calculated – a v/c ratio of less than 1.0 indicates that the roadway is operating under capacity. NCTCOG's level of service denominations are as follows.

- Volume: Capacity Ratio \leq 45% is *LOS A/B*
- Volume: Capacity Ratio $>$ 45% and \leq 65% is *LOS C*
- Volume: Capacity Ratio $>$ 65% and \leq 80% is *LOS D*
- Volume: Capacity Ratio $<$ 80% and \leq 100% is *LOS E*
- Volume: Capacity Ratio \geq 100% is *LOS F*

ROADWAY LINK ANALYSIS - RESULTS

For purpose of the roadway link analysis, the area is considered suburban residential. Existing peak hour volumes, the growth rate factor and peak hour projected site-generated trips were used to conduct the roadway link analysis which is summarized in **Table 10**.

Table 10. Roadway Link Capacity Analysis Results Summary

Roadway	Direction	Classification for Analysis	*Hourly Volume	# LANES	MEDIAN DIVIDED?	CAPACITY		V/C	LOS
						Per Lane	Roadway		
2020 Existing:									
IH 30 EBFR (between N Stodghill Road and Driveway 1)	EB	Frontage Road	477	2	One-Way	900	1,800	0.27	A/B
Corporate Crossing (between Capital Blvd and Driveway 2)	NB	Minor Arterial	674	2	Y	900	1,800	0.37	A/B
	SB	Minor Arterial	542	2	Y	900	1,800	0.30	A/B
2024 Background:									
IH 30 EBFR (between N Stodghill Road and Driveway 1)	EB	Frontage Road	516	2	One-Way	900	1,800	0.29	A/B
Corporate Crossing (between Capital Blvd and Driveway 2)	NB	Minor Arterial	730	2	Y	900	1,800	0.41	A/B
	SB	Minor Arterial	582	2	Y	900	1,800	0.32	A/B
2024 Background Plus Site:									
IH 30 EBFR (between N Stodghill Road and Driveway 1)	EB	Frontage Road	785	2	One-Way	900	1,800	0.44	A/B
Corporate Crossing (between Capital Blvd and Driveway 2)	NB	Minor Arterial	1,109	2	Y	900	1,800	0.62	C
	SB	Minor Arterial	950	2	Y	900	1,800	0.53	C
2029 Horizon:									
IH 30 EBFR (between N Stodghill Road and Driveway 1)	EB	Frontage Road	543	2	One-Way	900	1,800	0.30	A/B
Corporate Crossing (between Capital Blvd and Driveway 2)	NB	Minor Arterial	767	2	Y	900	1,800	0.43	A/B
	SB	Minor Arterial	609	2	Y	900	1,800	0.34	A/B
2029 Horizon Plus Site:									
IH 30 EBFR (between N Stodghill Road and Driveway 1)	EB	Frontage Road	811	2	One-Way	900	1,800	0.45	C
Corporate Crossing (between Capital Blvd and Driveway 2)	NB	Minor Arterial	1,146	2	Y	900	1,800	0.64	C
	SB	Minor Arterial	976	2	Y	900	1,800	0.54	C

Based upon the roadway link analysis:

I-30 EBFR:

- Currently operates at LOS A/B at existing conditions.
- Expected to operate at LOS C for 2024 full buildout conditions as well as for 2029 horizon plus site condition.

Corporate Crossing:

- Both the NB and SB movements currently operates at LOS A/B at existing conditions.
- Both the NB and SB movements are expected to operate at LOS C for 2024 full buildout conditions as well as for 2029 horizon plus site conditions.

SITE ACCESS REVIEW

Intersection sight distance, driveway spacing and deceleration lane requirements were also evaluated as part of this TIA.

INTERSECTION SIGHT DISTANCE

INTERSECTION SIGHT CRITERIA:

Sight distance is the metric used to describe the ability of a motorist to physically see (via a direct line of sight) objects and/or other vehicles to a degree sufficient to allow safe and efficient use of a roadway in the intended manner. The sight distance is a function of the major roadway's geometric characteristics and 85th percentile speed.

INTERSECTION SIGHT DISTANCE REVIEW FOR PROJECT

The sight distance requirements are based on the *AASHTO Green Book* Exhibit 9-54 and Exhibit 9-55 (**Appendix E**). **Table 11** provides the Intersection sight distance summary for this study.

Table 11. Intersection Sight Distance Summary

Intersections	Speed Limit (mph)	For Left Turn		For Right Turn		Meets Requirements
		Required (Ft)	Provided (Ft)	Required (Ft)	Provided (Ft)	
Driveway 1 at I-30 EBFR	45	-	-	430	~700	Yes
Driveway 2 at Corporate Crossing	50	555	~600	480	~600	Yes
Driveway 3 at Capital Blvd	30	335	>335	290	>290	Yes
Driveway 4 at Capital Blvd	30	335	>335	290	>290	Yes

[Note: This does not rule out the potential that other impediments such as landscaping, signage, etc. may exist.]

DRIVEWAY SPACING REVIEW

TXDOT SPACING CRITERIA:

The TxDOT *Access Management Manual* provides guidelines for new driveways along roadways based upon the posted speed limit. Based upon Tables 2-1, 2-2 (**Appendix E**) from TxDOT's *Access Management Manual*, the minimum driveway connection spacing is 360 feet for a speed limit greater than or equal to 45 mph such as I-30 EBFR/WBFR and 425 feet for a speed limit greater than or equal to 50 mph such as Corporate Crossing. TxDOT considers the spacing between access points as inside-edge-(of driveway pavement)-to-inside-edge.

- **TxDOT's criteria for Other State Highway Connection:**
 - For 50 MPH: 425 feet
- **TxDOT's criteria for Frontage Road Connection:**
 - For 45 MPH: 360 feet

City of Rockwall Driveway Spacing Criterial:

Based upon City of Rockwall's *Standards of Design and Construction*, a driveway spacing of 50 feet is required between the driveways for a local street like Capital Blvd.

DRIVEWAY SPACING REVIEW FOR PROJECT:

A summary of the driveway spacing provided for each of the proposed site access points is presented in **Table 12**.

Table 12. Driveway Spacing Summary

Spacing Between	Required (Ft)	Provided (Ft)	Meets Requirements
Driveway 1 and N Stodghill Road	360	~1050	Yes
Driveway 2 and I-30 EBFR	425	~650	Yes
Driveway 2 and Capital Blvd	425	~670	Yes
Driveway 3 and Driveway 4	50	~25	No

All the proposed site driveways meet TxDOT’s driveway spacing criteria except for the spacing between Driveway 3 and Driveway 4.

DECELERATION LANE ANALYSIS

DECELERATION LANE CRITERIA:

The TxDOT criteria for providing right-turn deceleration auxiliary lanes are outlined in *Table 2-3 (Appendix E)* of the *Access Management Manual*. The threshold for roadways with a posted speed limit greater than 45 MPH is 50 vehicles per hour (or, 60 vehicles per hour for posted speed limit of 45 MPH or lower). For raised medians, left-turn deceleration lanes (“bays”) are required for all left-turn opportunities. Additionally, table 3-11 from TxDOT Roadway Design Manual was used in the determination of left-turn deceleration auxiliary lanes.

A summary of the projected peak hour driveway volumes is included in **Appendix A** for each scenario analyzed.

DECELERATION LANE RECOMMENDATIONS:

Based upon the projected volumes derived in this study, the installation of an auxiliary right turn deceleration lane is expected to meet TxDOT requirement at the following location:

- EB right turn lane on IH 30 EBFR at Driveway 1.
- NB right turn lane on Corporate Crossing at Driveway 2

A SB left turn storage lane is recommended on Corporate Crossing at Driveway 2 based on TxDOT’s requirement of a left turn storage lane for all raised median openings.

SUMMARY OF FINDINGS AND RECOMMENDATIONS

The services of **DeShazo Group, Inc.** (DeShazo) were retained by **Wier & Associates, Inc.**, to conduct a traffic impact analysis (TIA) for the proposed mixed-use development in Rockwall, Texas. The subject property will be located at the southeast corner of the intersection of Interstate Highway 30 and Corporate Crossing in Rockwall, Texas.

The proposed project is planned to be built in four phases and will be fully constructed by 2024. The area is approximately 66 acres. **Table 1** shows the development program summary for the site development.

Table 1. Development Program Summary

Use	Phase No.	Quantity
Alethic Club	I	146,000 SF
Restaurant	II	6,305 SF
Hotel	II	100 Rooms
Fast Food with Drive Thru	II	2,256 GSF
Restaurant	II	6,305 GSF
Retail	II	7,400 GSF
Fast Food with Drive Thru	II	2,256 GSF
Office	III	35,800 GSF
Office	III	39,200 GSF
Retail	III	5,000 GSF
Multifamily Housing	III	274 Units
Storage Facility	IV	31,800 GSF
Flex Industrial	IV	63,000 GSF

The analysis of the traffic generated by the proposed development resulted in no significant impact on the local roadway system. Below is a summary of findings from this TIA.

FINDING: Based upon the existing 2020 analysis, all study intersections are currently operating at LOS D or better during the peak hour periods with the following exceptions:

Discovery Blvd at Corporate Crossing-

- The EB shared left-through movement is currently operating at LOS E during PM peak hour for 2020 existing conditions.

FINDING: Based upon the 2024 background & 2024 background-plus site buildout analysis all study intersections are currently operating at LOS D or better during the peak hour periods with the following exceptions:

IH 30 WBFR at N Stodghill Road-

- The intersection is expected to operate at LOS E during the AM peak hour for 2024 background plus site conditions.

Capital Blvd at Corporate Crossing-

- The WB left turning movement is expected to operate at LOS E during both the AM and PM peak hour for 2024 background plus site conditions.

Discovery Blvd at Corporate Crossing-

- The EB shared left-through movement is expected to operate at LOS E during the AM peak hour for both 2024 background and 2024 background plus site conditions.
- The EB shared left-through movement is expected to operate at LOS F during the PM peak hour for both 2024 background and 2024 background plus site conditions.
- The WB left turning movement is expected to operate at LOS E and LOS F during AM peak hour for 2024 background and 2024 background plus site conditions respectively.

Driveway 2/Gas Station Driveway at Corporate Crossing-

- The WB shared left-through movement is expected to operate at LOS F for AM and PM peak hour for 2024 background plus site conditions.

RECOMMENDATIONS:

IH 30 WBFR at N Stodghill Road: The intersection is expected to operate at LOS E at buildout conditions during the AM peak hour. It is recommended to optimize the traffic signal after the full buildout to improve the level of service from LOS E to LOSD at this intersection (**Appendix D**).

Capital Blvd at Corporate Crossing:

- The WB left turning movement is currently expected to operate at LOS E during the peak hour with a maximum 95th percentile queue of about 1 vehicle only. Therefore, no mitigation measures are recommended.

Discovery Blvd at Corporate Crossing:

- The EB left-through movement is currently operating at LOS E with a maximum 95th percentile queue of about 4 vehicles and is expected to operate at LOS F with maximum 95th percentile queue of 8 vehicles. This is not an uncommon situation on a stop controlled intersection for a vehicle of Minor Street making a through/left turn movement. The proposed development does not possess any impact on this movement. Therefore, no mitigation measures are recommended
- The WB left turning movement is expected to operate at LOS F with a maximum 95th percentile queue of less than 1 vehicle. Therefore, no mitigation measures are recommended.

Driveway 2/Gas Station Driveway at Corporate Crossing:

- The WB shared left-through movement is expected to operate at LOS F during the peak hour with a maximum 95th percentile queue of about 11 vehicles. It is recommended to perform a traffic signal warrant study to determine whether the intersection warrants a signal after full buildout in future.

FINDING: Based upon the projected volumes derived in this study, the installation of an auxiliary right turn deceleration lane is expected to meet TxDOT requirement at the following location:

- EB right turn lane on IH 30 EBFR at Driveway 1.
- NB right turn lane on Corporate Crossing at Driveway 2

A SB left turn storage lane is recommended on Corporate Crossing at Driveway 2 based on TxDOT's requirement of a left turn storage lane for all raised median openings.

FINDING: All the site driveways proposed for this study meet TxDOT's driveway spacing requirements except for the spacing between the Driveway 3 and Driveway 4. A variance of lesser spacing requirement for these driveways with the City of Rockwall can be persuaded.

FINDING: Based on AASHTO Green Book, all the proposed site driveways meet the required intersection sight distance.

FINDING: Based upon the link analysis, IH 30 EBFR and Corporate Crossing Blvd are expected to operate at an acceptable level of service (**Refer Table 7**).

END OF MEMO

Exhibit 3. Existing Roadway Geometry and Traffic Control

North ^
Not to Scale

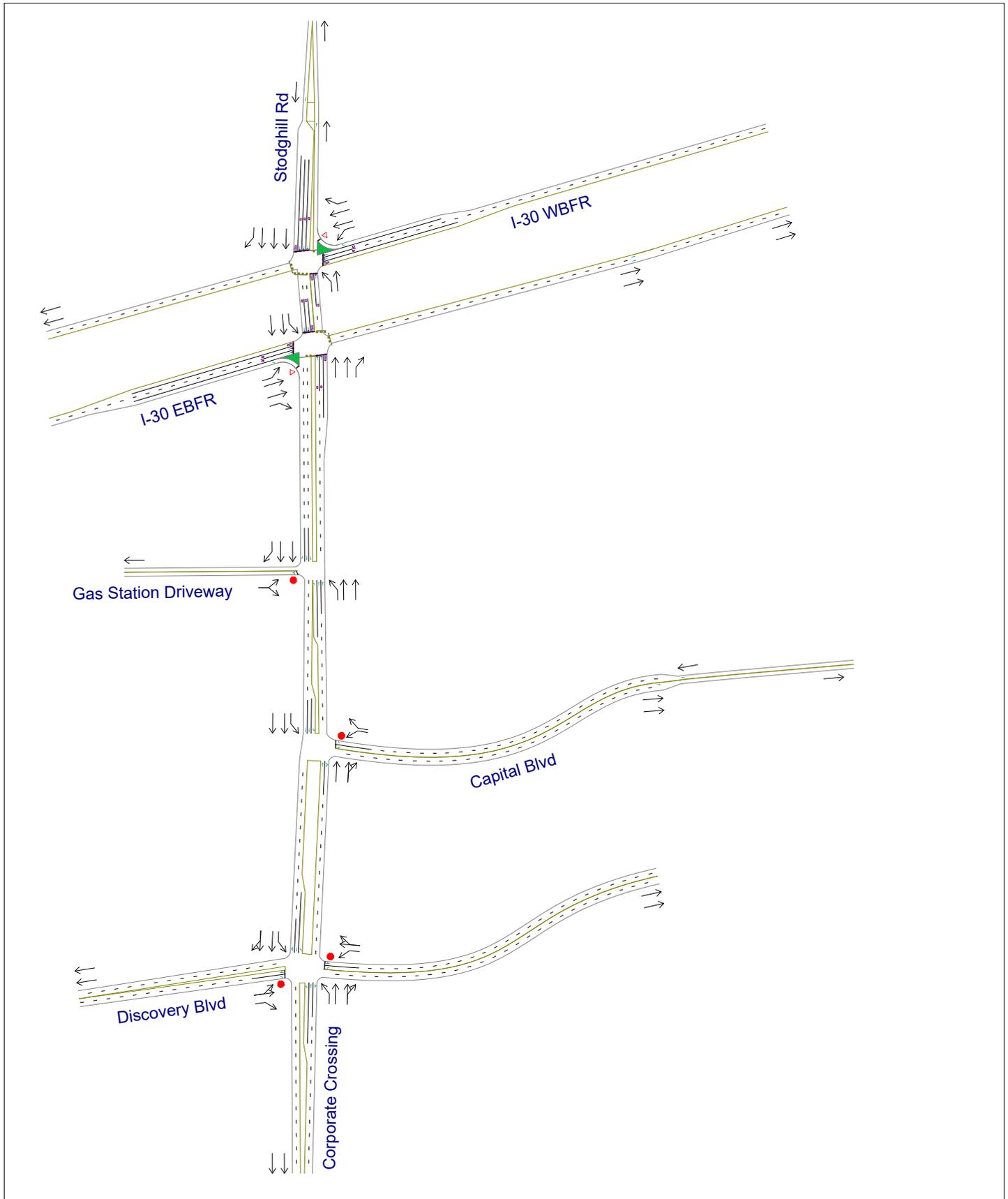
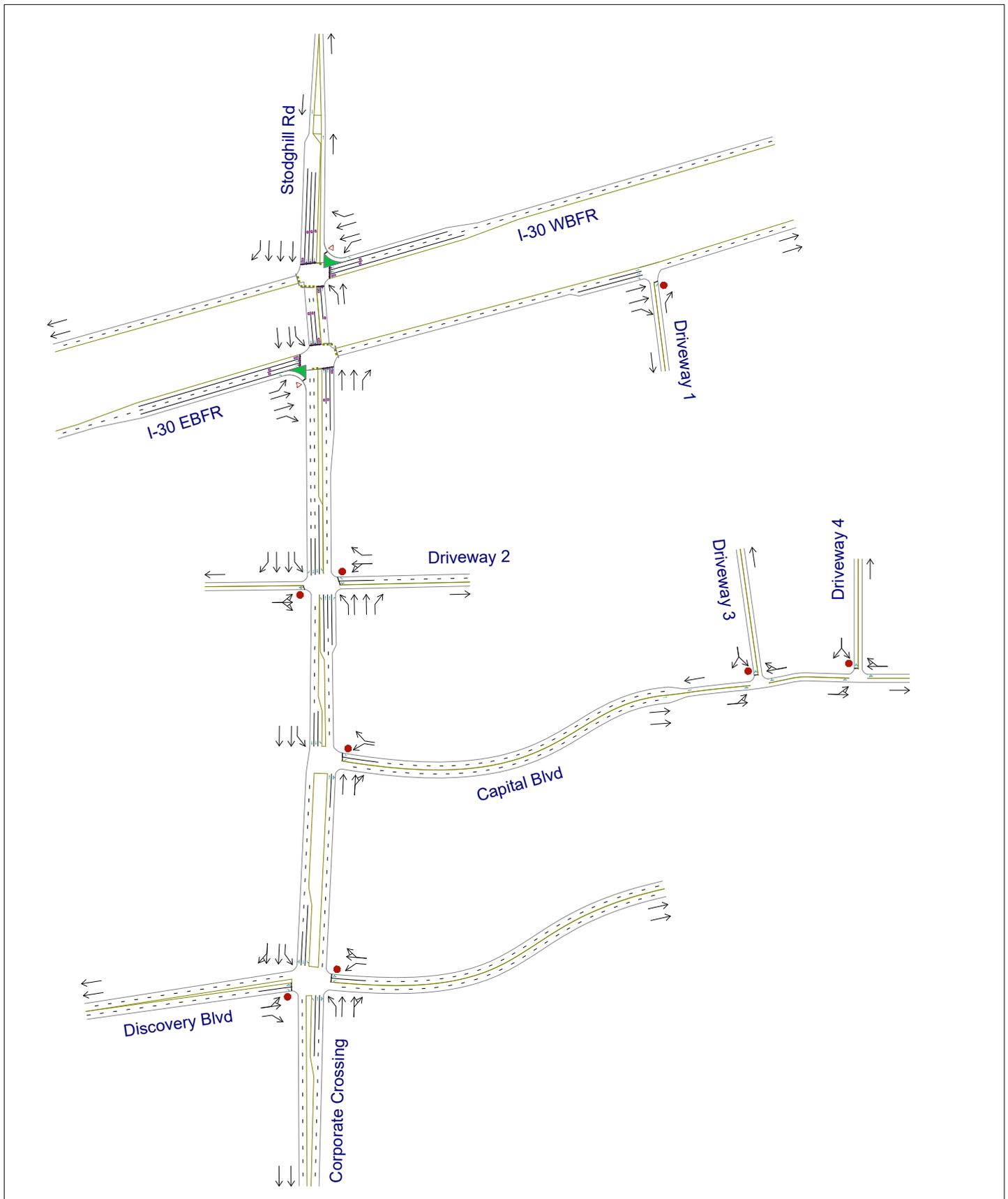


Exhibit 4. Proposed Roadway Geometry and Traffic Control

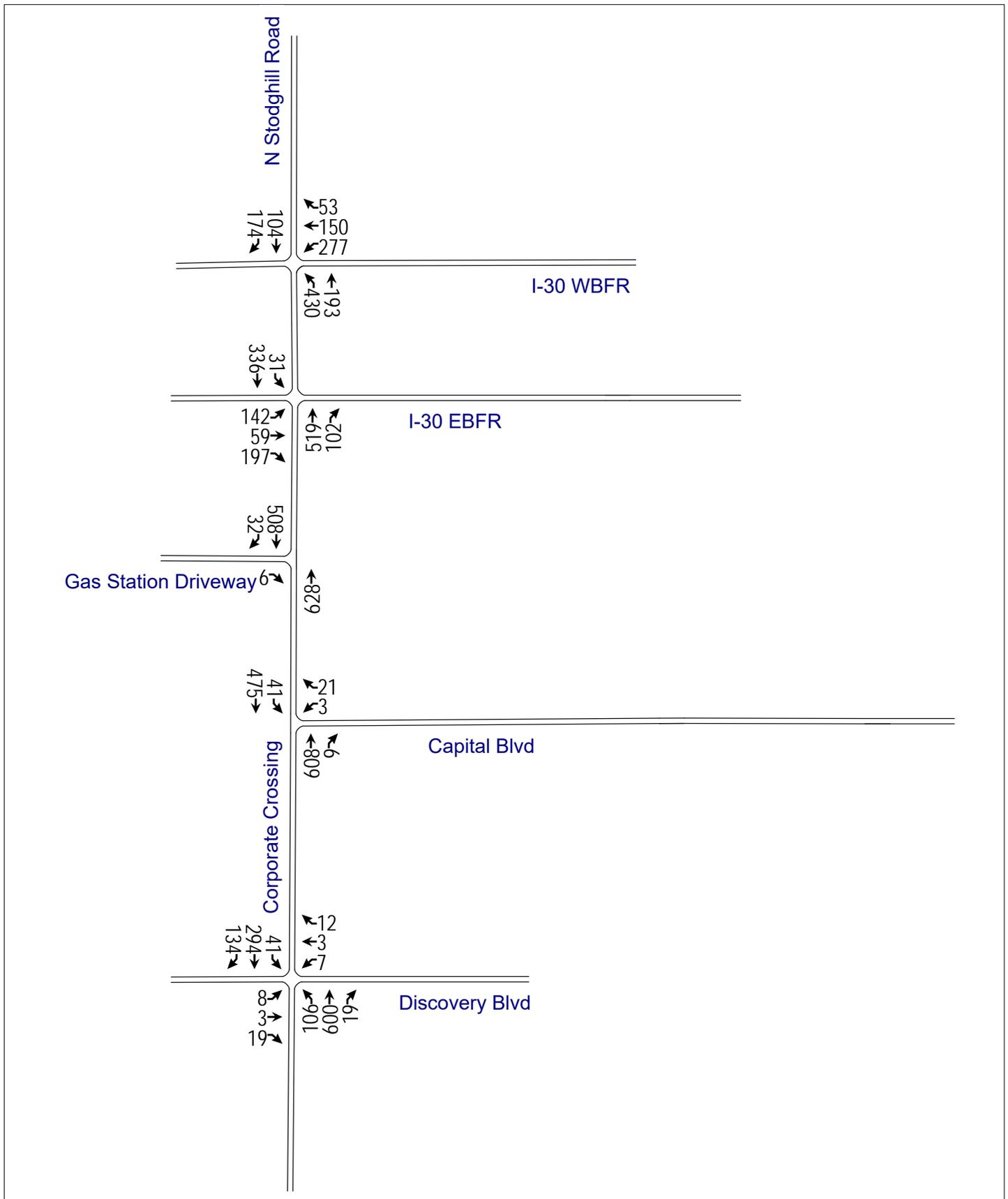
North ^
Not to Scale



Appendix A. Traffic Volume Exhibits

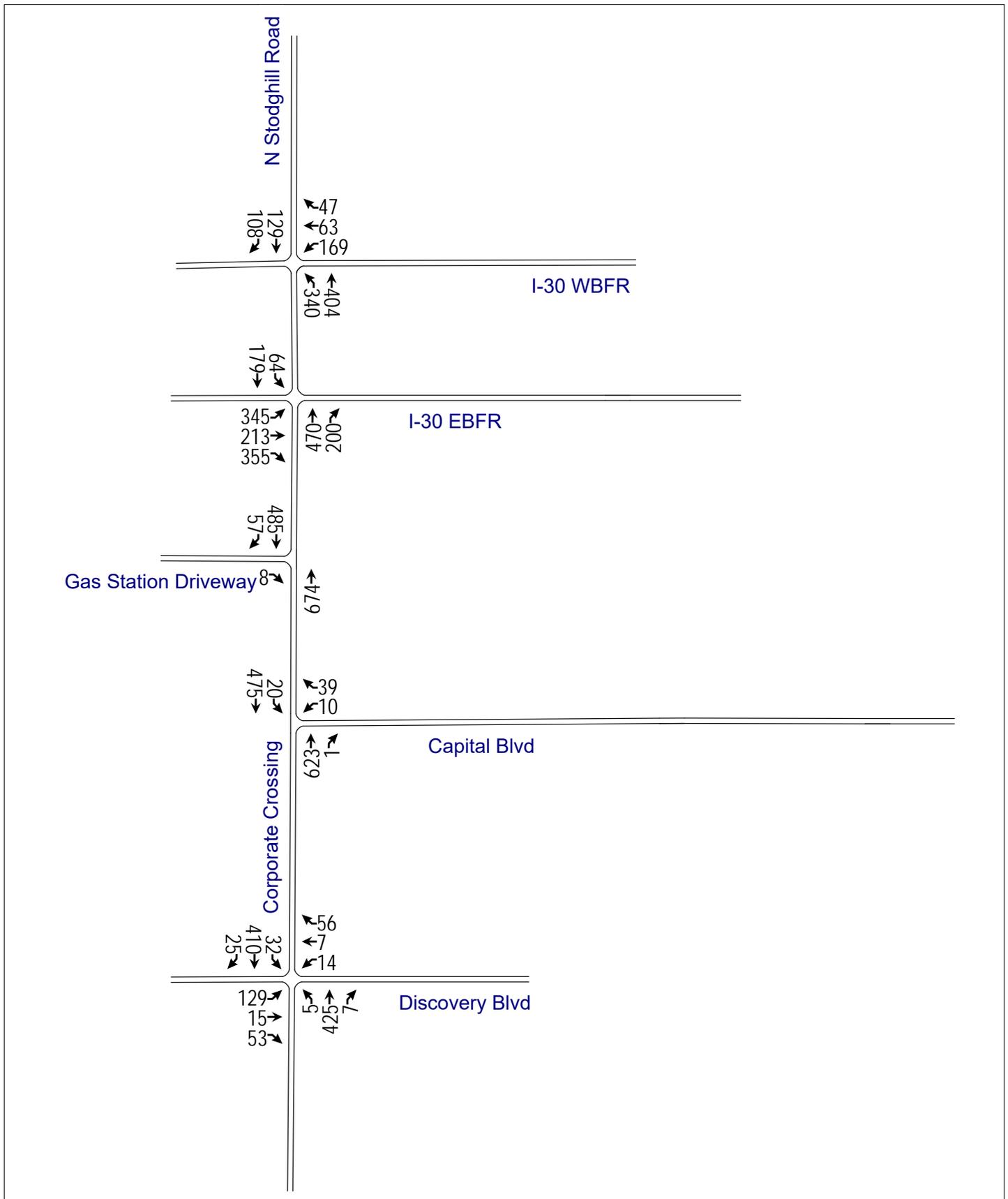
A1. 2020 Existing AM Peak Hour Traffic Volumes

**North ^
Not to Scale**



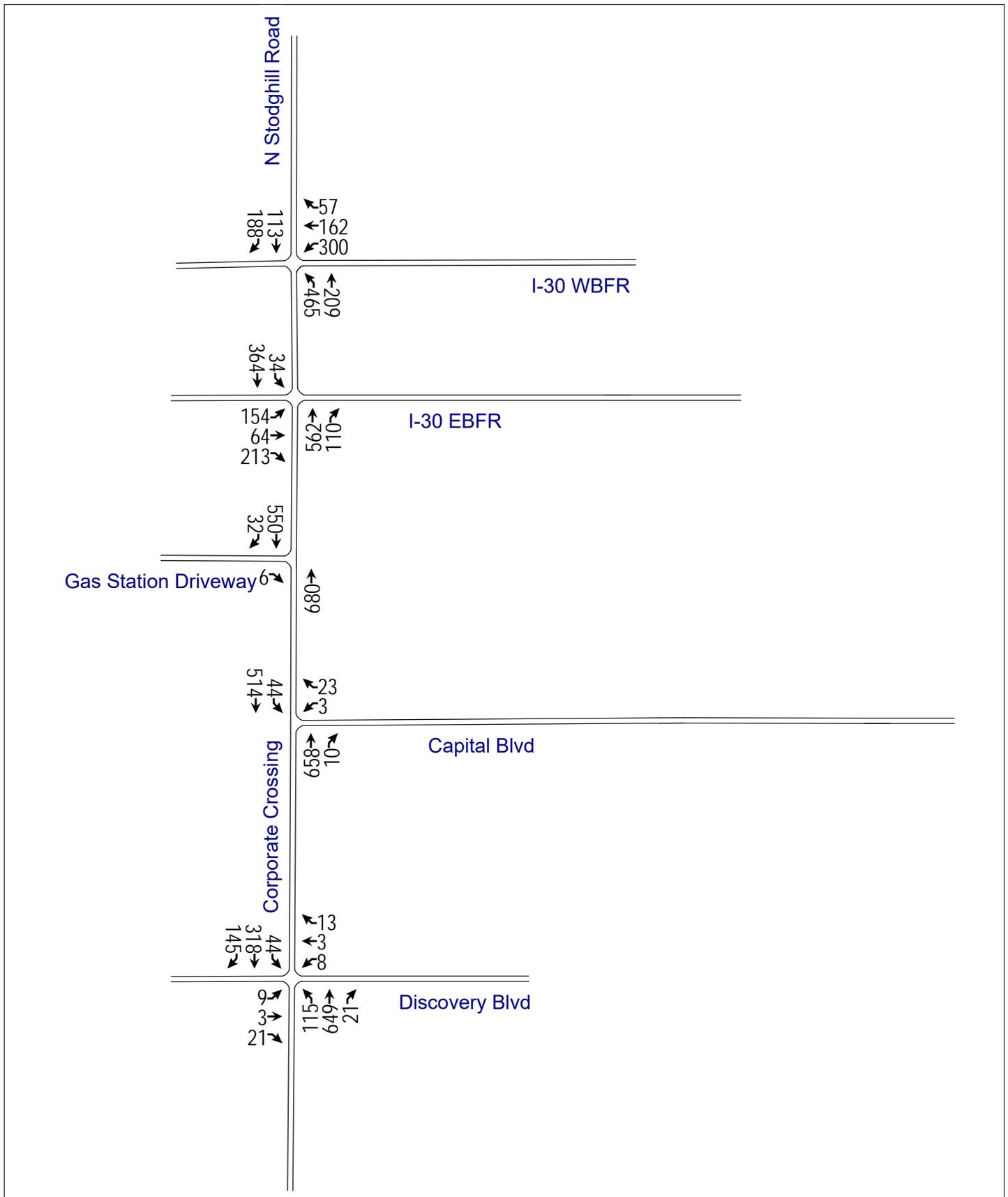
A2. 2020 Existing PM Peak Hour Traffic Volumes

**North ^
Not to Scale**



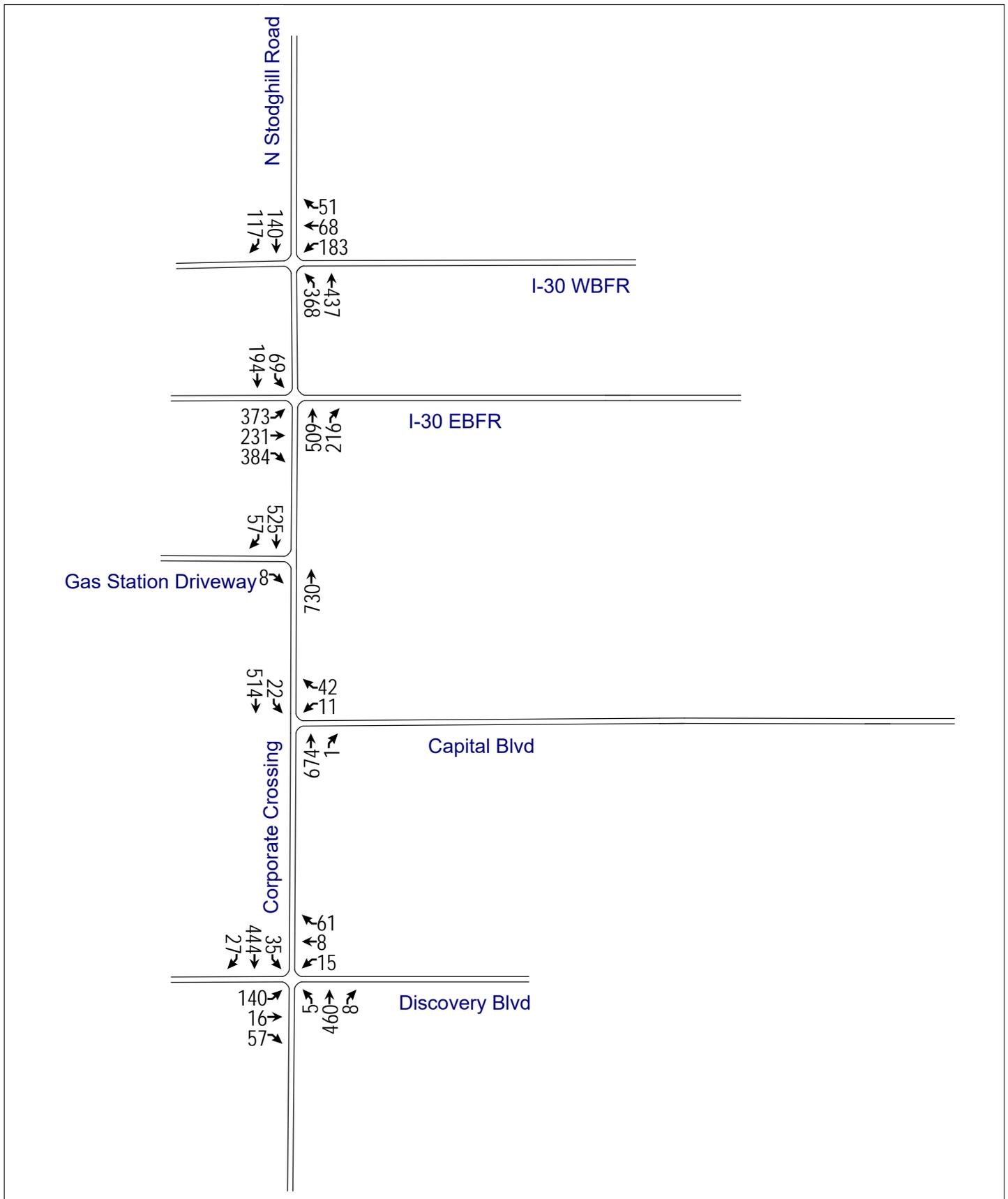
A3. 2024 Background AM Peak Hour Traffic Volumes

**North ^
Not to Scale**



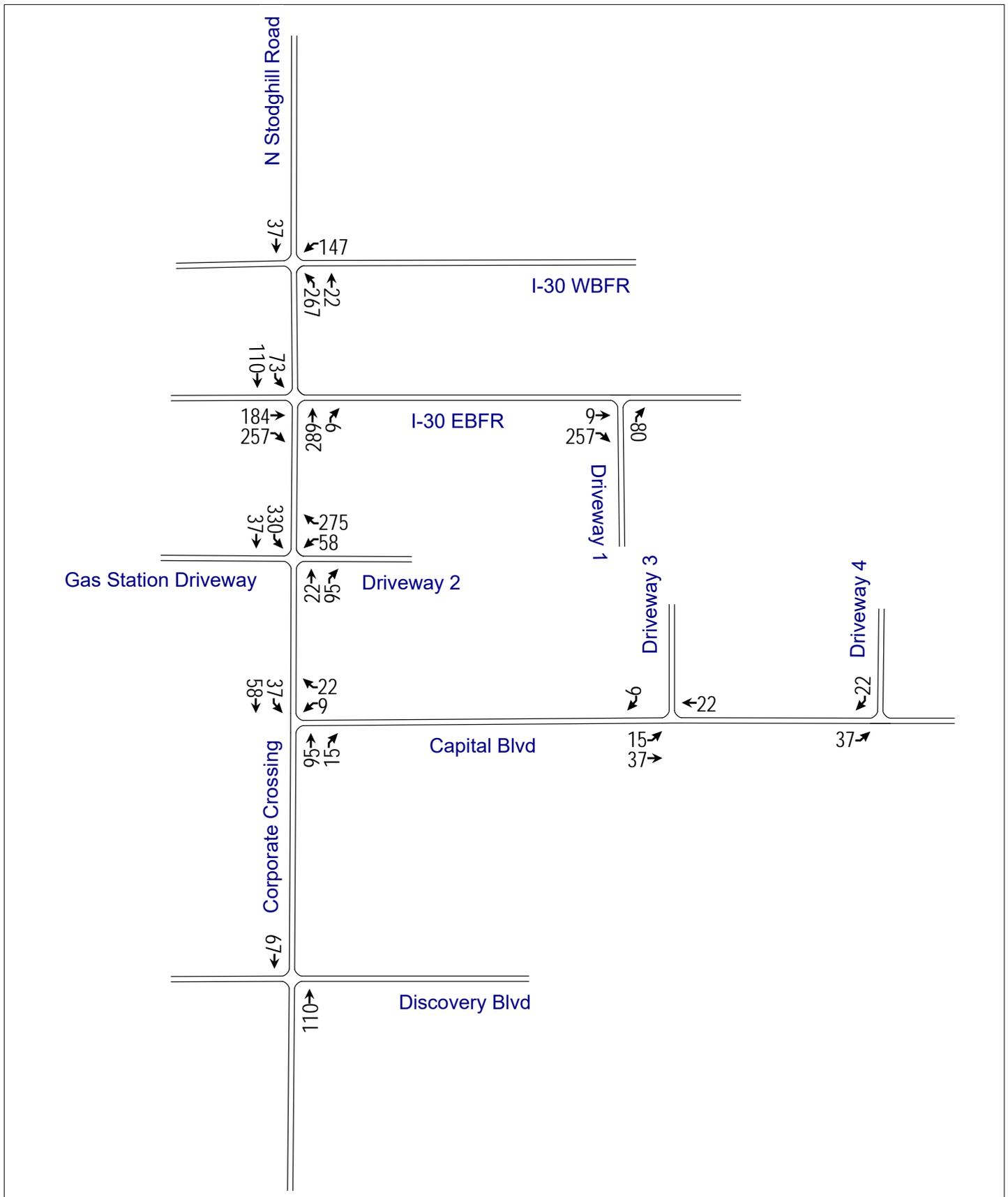
A4. 2024 Background PM Peak Hour Traffic Volumes

**North ^
Not to Scale**



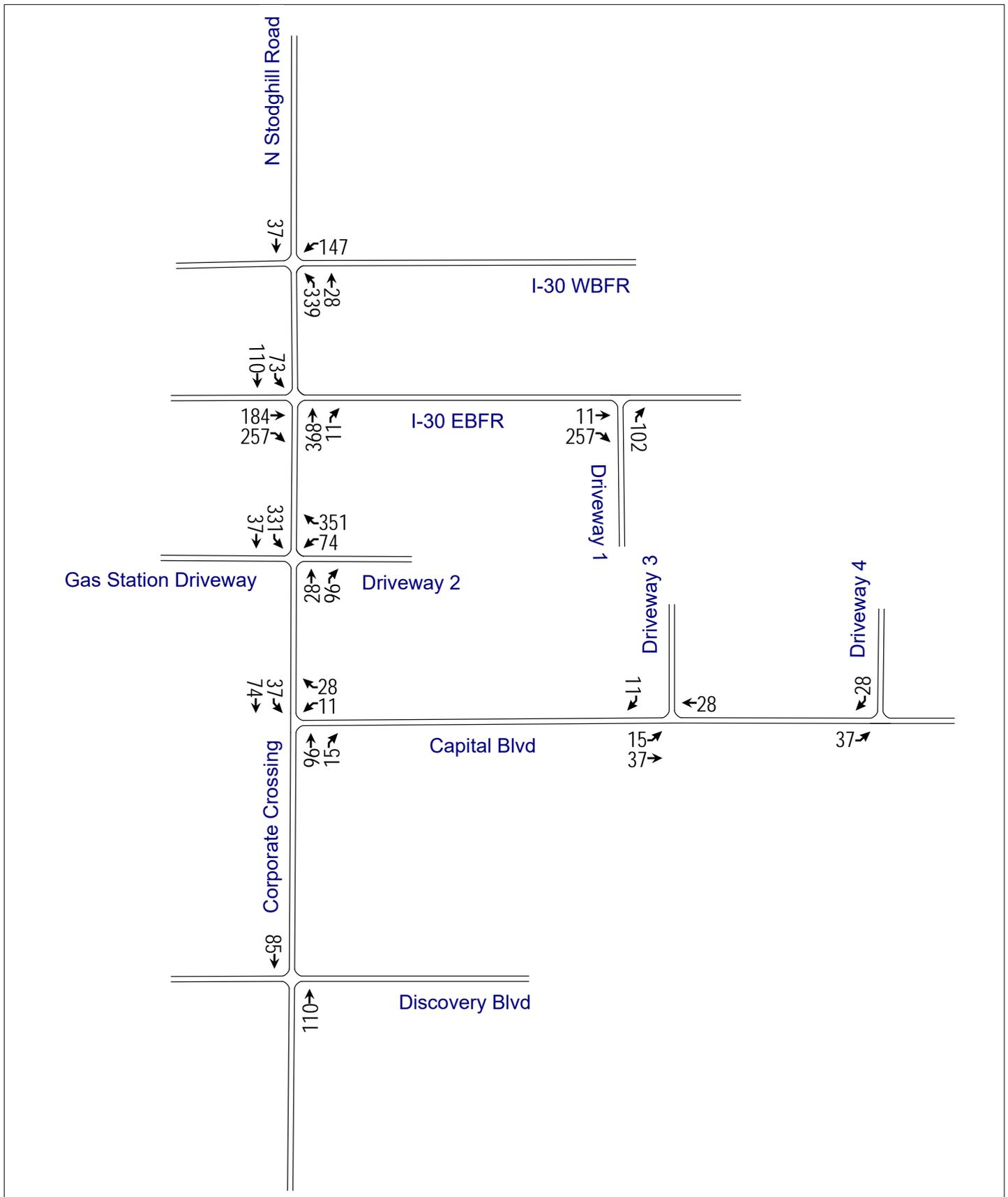
A5. 2024 Site Generated AM Peak Hour Traffic Volumes

North ^
Not to Scale



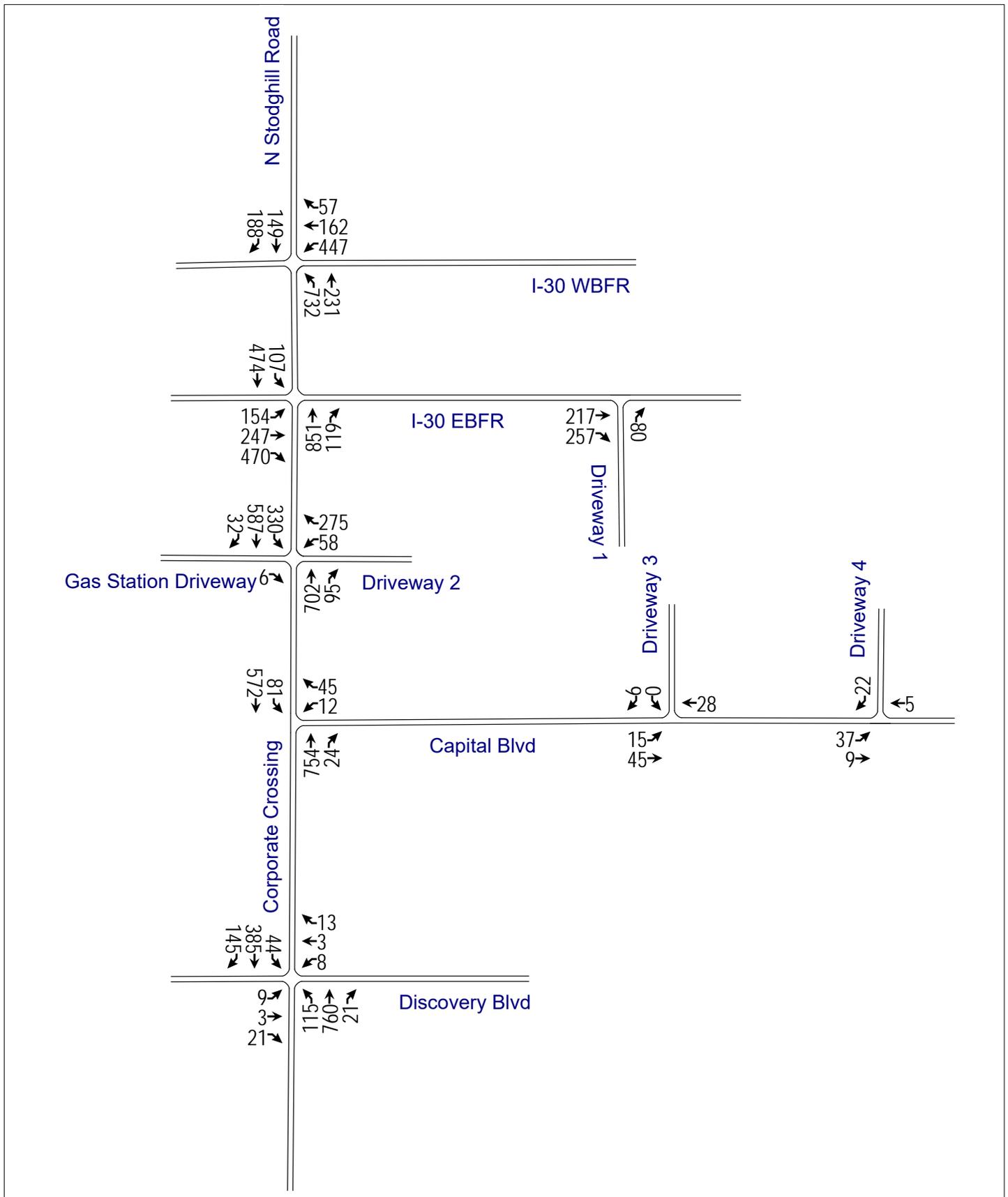
A6. 2024 Site Generated PM Peak Hour Traffic Volumes

**North ^
Not to Scale**



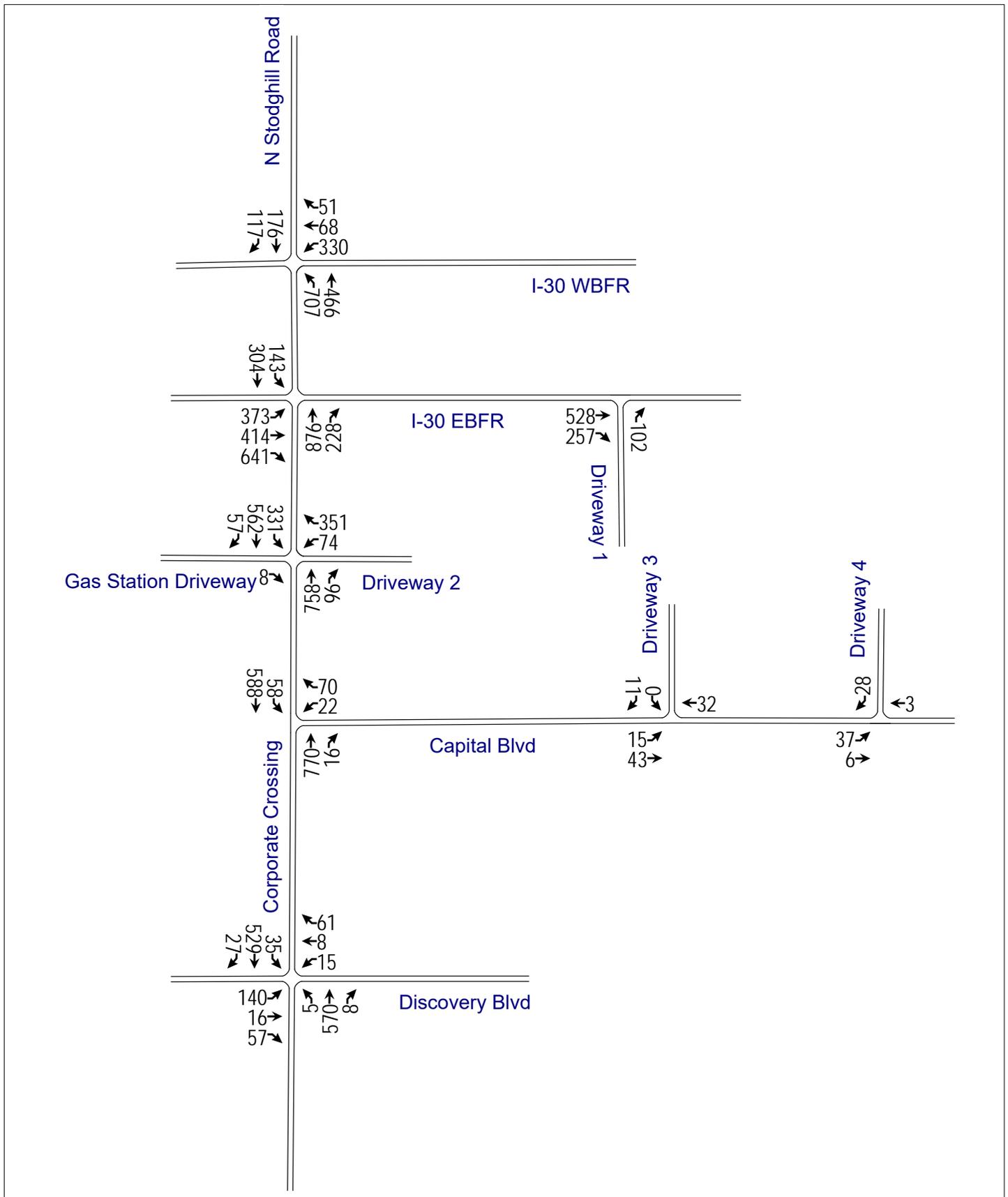
A7. 2024 Background Plus Site Generated AM Peak Hour Traffic Volumes

**North ^
Not to Scale**



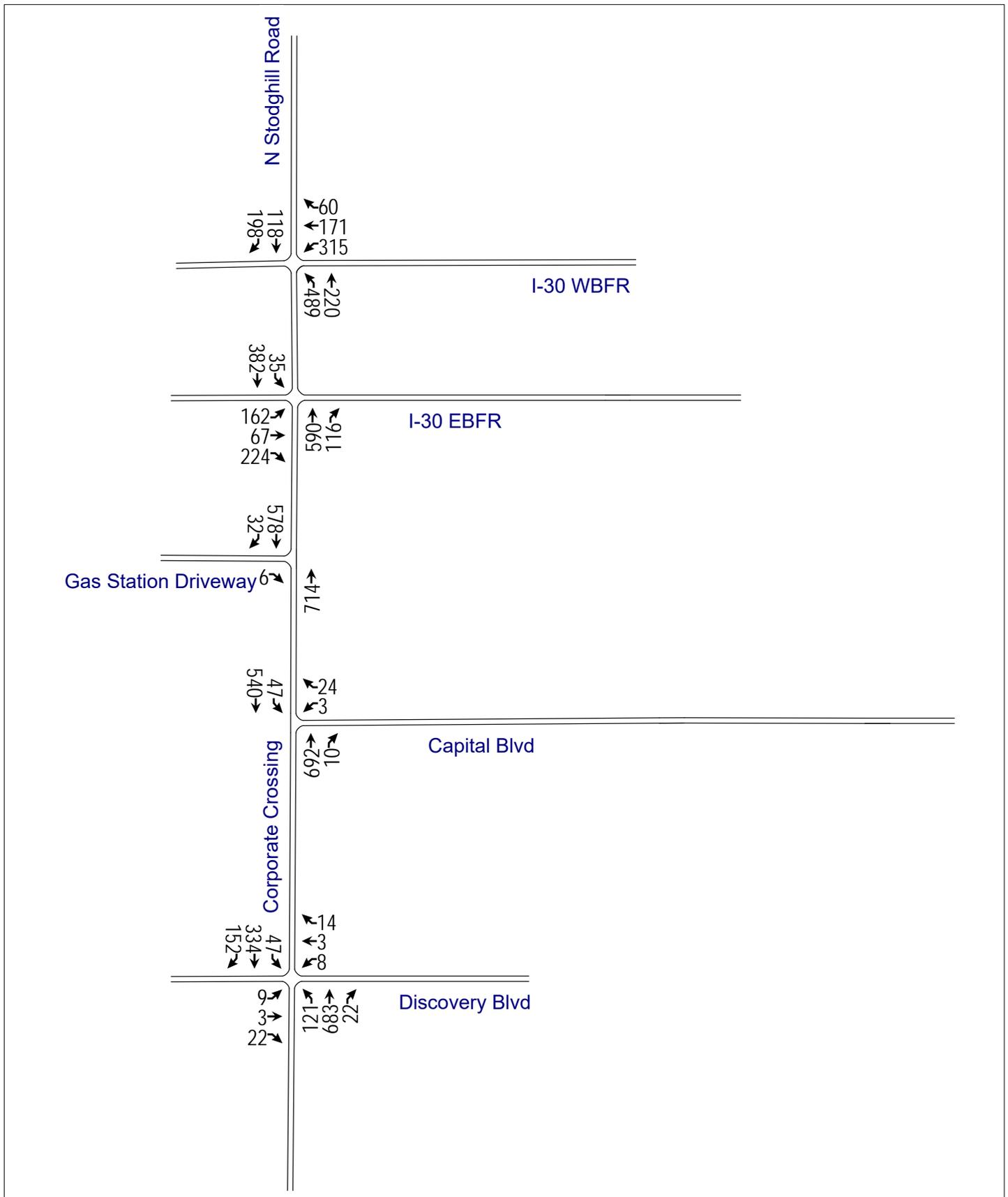
A8. 2024 Background Plus Site Generated PM Peak Hour Traffic Volumes

**North ^
Not to Scale**



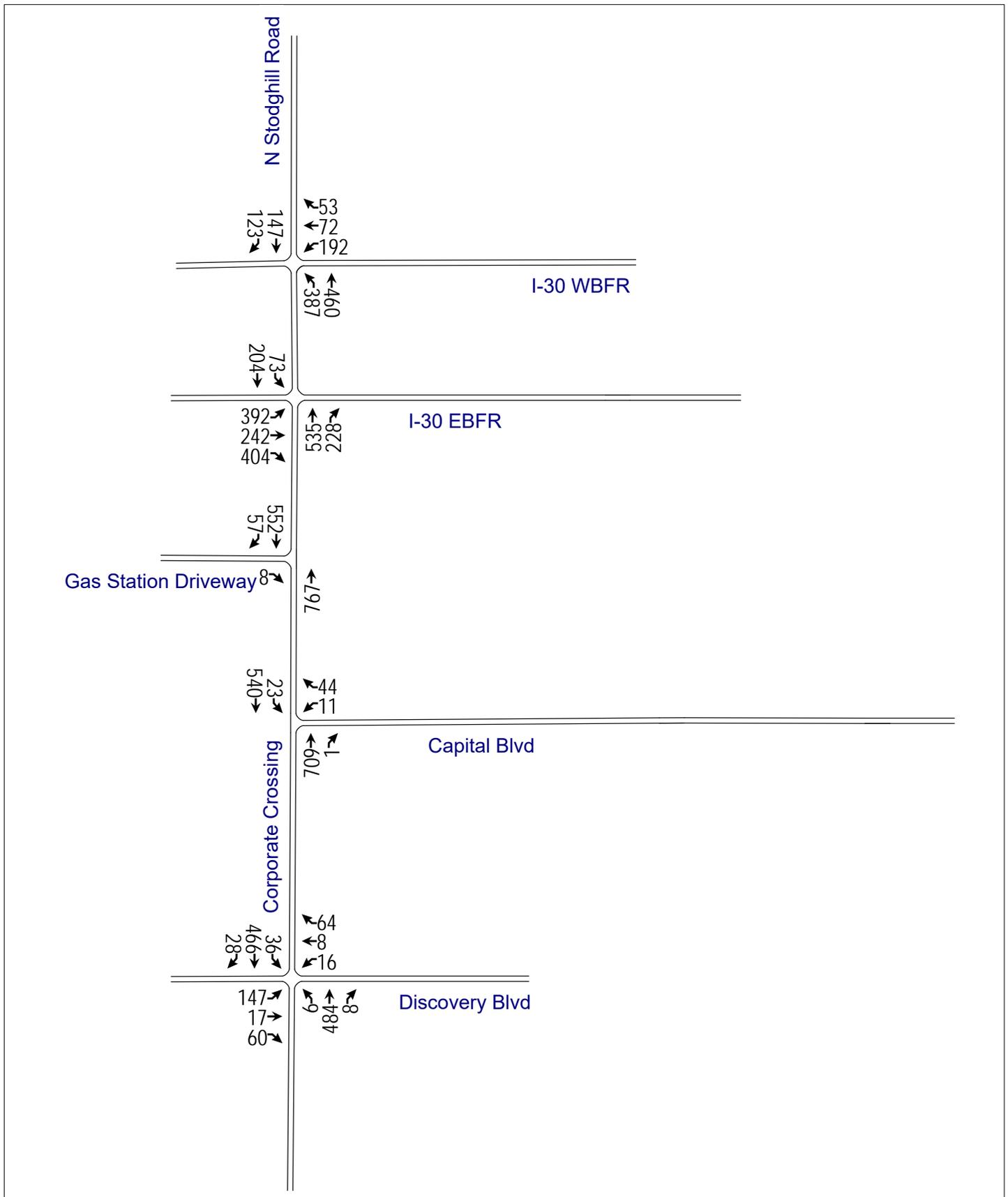
A9. 2029 Horizon AM Peak Hour Traffic Volumes

**North ^
Not to Scale**



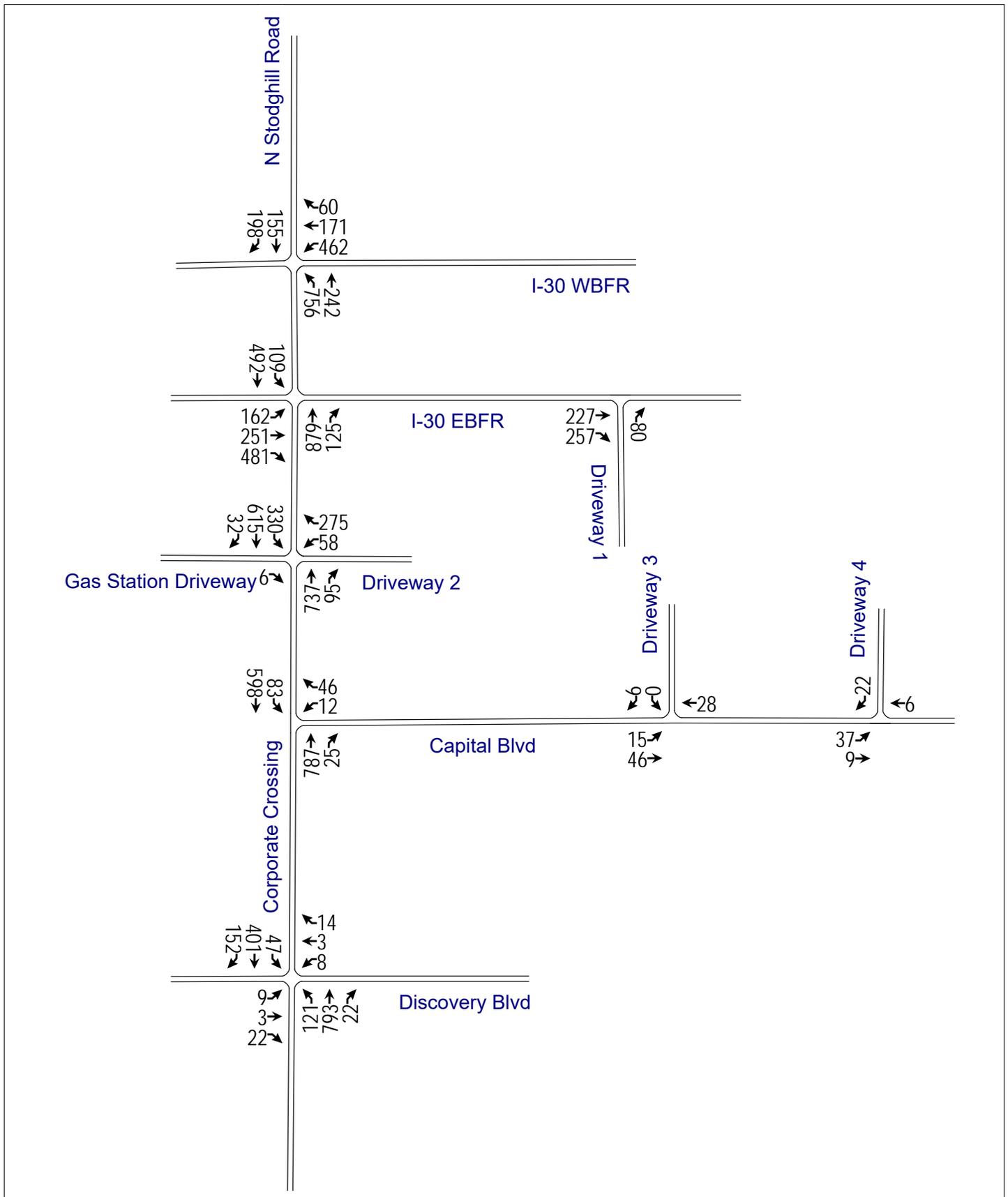
A10. 2029 Horizon PM Peak Hour Traffic Volumes

**North ^
Not to Scale**



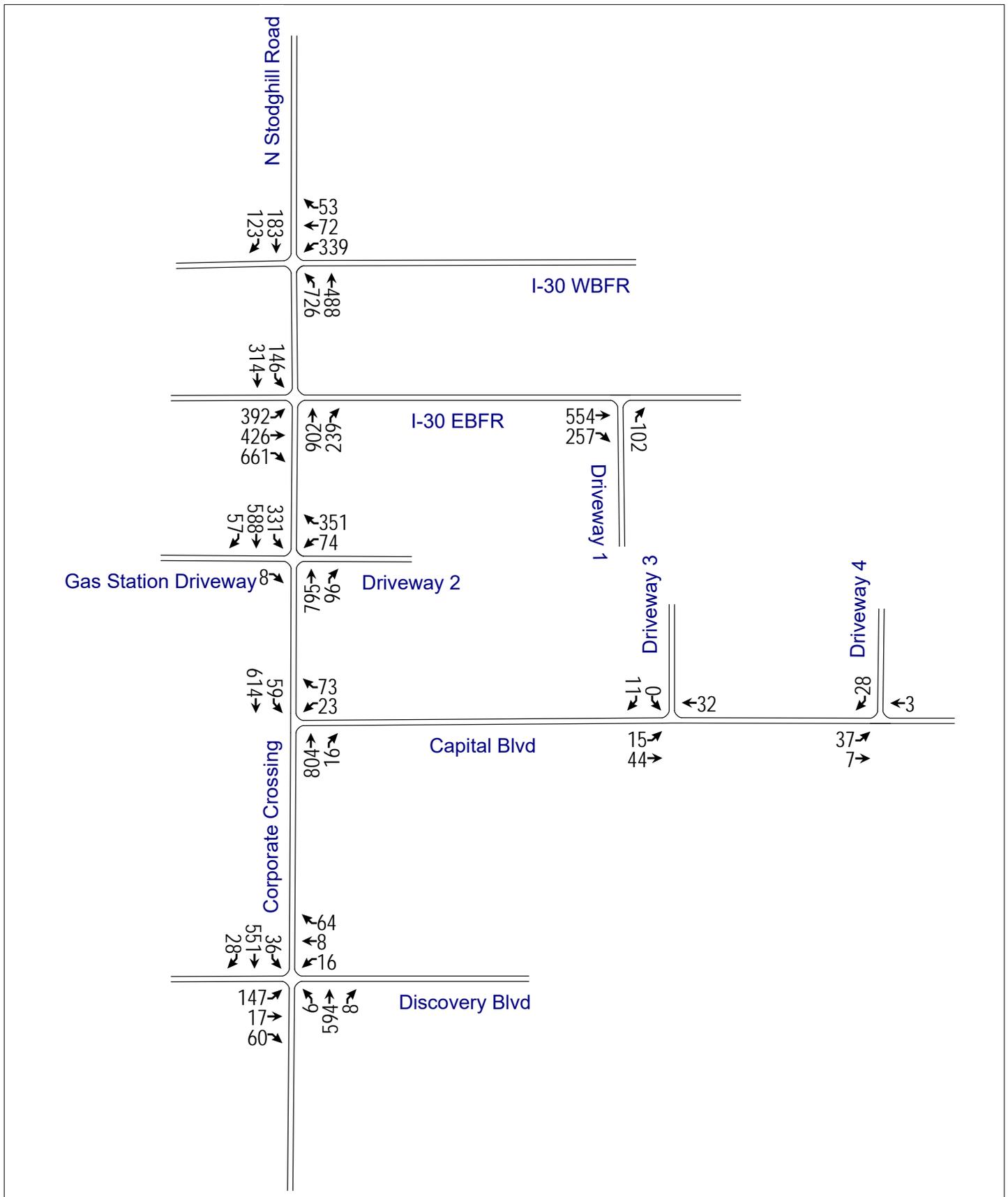
A11. 2029 Horizon Plus Site Generated AM Peak Hour Traffic Volumes

**North ^
Not to Scale**



A12. 2029 Horizon Plus Site Generated PM Peak Hour Traffic Volumes

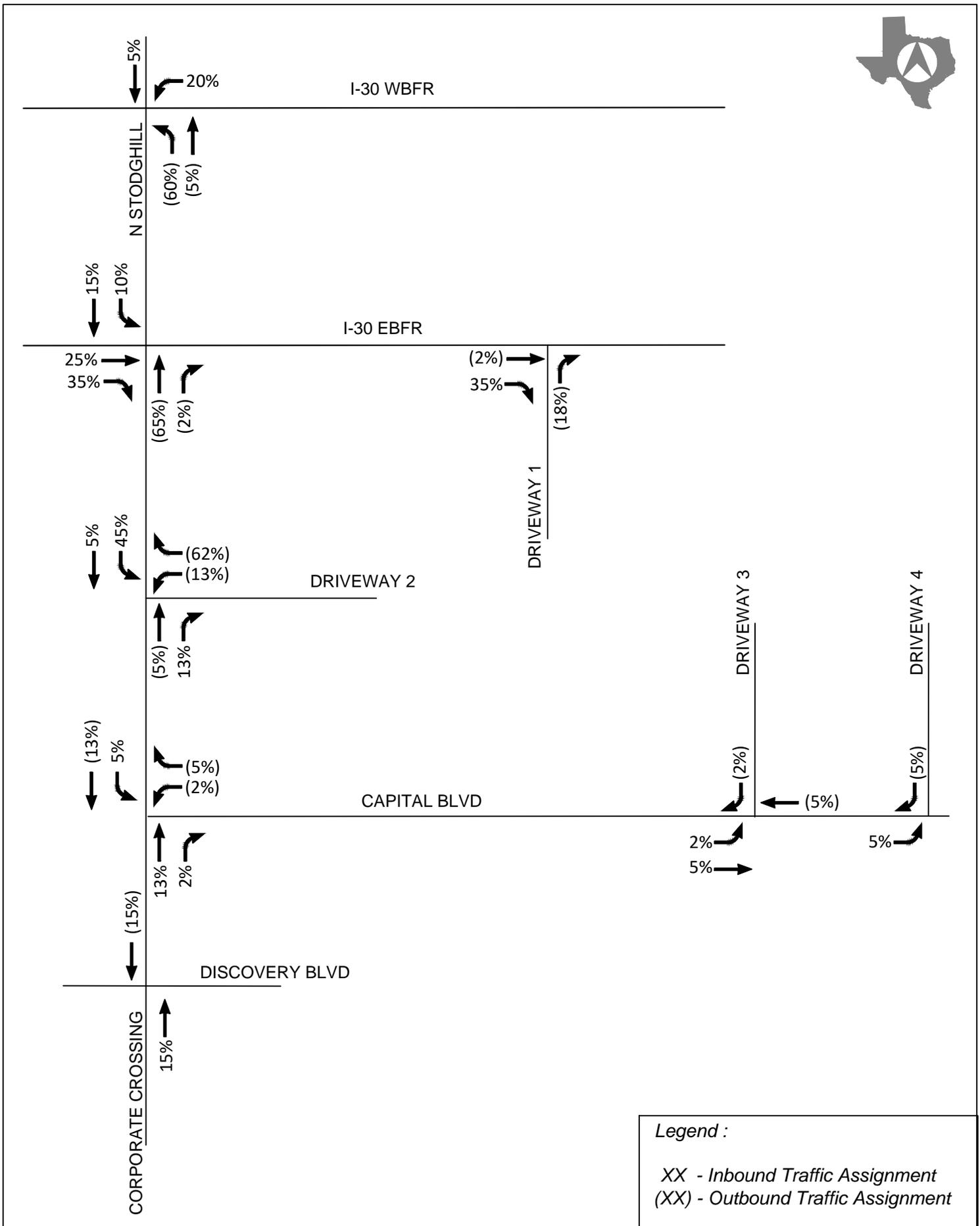
**North ^
Not to Scale**



Appendix B. Existing Traffic Count Data

Intersection Traffic Movements													DeShazo Group, Inc.				
Location: N Stodghill Road at IH 30 EBFR City/State: Rockwall, Texas Day/Date: Tuesday, March 3, 2020. Project-ID #: 20014-(2) Data Source: CJ Hensch													Data Collector(s): Camera Weather Conditions: Mild/Normal Conditions Traffic Control: Signalized				
Time of Count		Northbound on N Stodghill Road				Southbound on N Stodghill Road				Eastbound on IH 30 EBFR				Westbound on IH 30 EBFR			
Begin	End	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
7:00 AM	7:15 AM	-	-	106	16	0	6	88	-	6	21	13	47	-	-	-	-
7:15 AM	7:30 AM	-	-	117	15	0	6	97	-	11	23	16	43	-	-	-	-
7:30 AM	7:45 AM	-	-	143	33	0	9	108	-	12	19	9	54	-	-	-	-
7:45 AM	8:00 AM	-	-	131	29	0	12	70	-	5	35	13	42	-	-	-	-
8:00 AM	8:15 AM	-	-	128	25	0	4	61	-	16	21	21	58	-	-	-	-
8:15 AM	8:30 AM	-	-	102	17	0	6	58	-	9	32	10	57	-	-	-	-
8:30 AM	8:45 AM	-	-	102	14	0	5	53	-	18	27	24	55	-	-	-	-
8:45 AM	9:00 AM	-	-	98	17	0	6	40	-	9	19	16	56	-	-	-	-
Intersection PHV:		0	0	519	102	0	31	336	0	44	98	59	197	0	0	0	0
PHF:		0.00	0.00	0.91	0.77	0.00	0.65	0.78	0.00	0.69	0.70	0.70	0.85	0.00	0.00	0.00	0.00
Intersection Peak Hour: 7:15 AM - 8:15 AM													Intersection PHF: 0.90				
Study Area PHV:		0	0	519	102	0	31	336	0	44	98	59	197	0	0	0	0
PHF:		0.00	0.00	0.91	0.77	0.00	0.65	0.78	0.00	0.69	0.70	0.70	0.85	0.00	0.00	0.00	0.00
Study Peak Hour: 7:15 AM - 8:15 AM													Study Area PHF: 0.90				
4:30 PM	4:45 PM	-	-	126	43	0	15	52	-	16	58	47	103	-	-	-	-
4:45 PM	5:00 PM	-	-	106	54	0	14	43	-	24	68	41	84	-	-	-	-
5:00 PM	5:15 PM	-	-	114	56	0	16	47	-	32	65	55	78	-	-	-	-
5:15 PM	5:30 PM	-	-	124	47	0	19	37	-	13	69	70	90	-	-	-	-
5:30 PM	5:45 PM	-	-	97	37	0	9	44	-	22	68	77	73	-	-	-	-
5:45 PM	6:00 PM	-	-	92	34	0	8	39	-	24	62	46	84	-	-	-	-
6:00 PM	6:15 PM	-	-	98	26	0	16	33	-	19	57	45	83	-	-	-	-
6:15 PM	6:30 PM	-	-	86	28	0	10	36	-	15	39	27	75	-	-	-	-
Intersection PHV:		0	0	470	200	0	64	179	0	85	260	213	355	0	0	0	0
PHF:		0.00	0.00	0.93	0.89	0.00	0.84	0.86	0.00	0.66	0.94	0.76	0.86	0.00	0.00	0.00	0.00
Intersection Peak Hour: 4:30 PM - 5:30 PM													Intersection PHF: 0.97				
Study Area PHV:		0	0	470	200	0	64	179	0	85	260	213	355	0	0	0	0
PHF:		0.00	0.00	0.93	0.89	0.00	0.84	0.86	0.00	0.66	0.94	0.76	0.86	0.00	0.00	0.00	0.00
Study Peak Hour: 4:30 PM - 5:30 PM													Study Area PHF: 0.97				
Observations:																	

Appendix C. Site-Generated Traffic Supplement



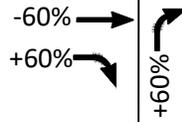
Legend :
 XX - Inbound Traffic Assignment
 (XX) - Outbound Traffic Assignment



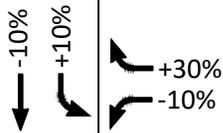
I-30 WBFR

N STODGHILL

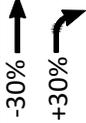
I-30 EBFR



DRIVEWAY 1



DRIVEWAY 2



DRIVEWAY 3

DRIVEWAY 4

CAPITAL BLVD

DISCOVERY BLVD

CORPORATE CROSSING

Legend :

XX - Inbound Traffic Assignment
(XX) - Outbound Traffic Assignment

Appendix D. Detailed Intersection Capacity Analysis Results

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2020 Existing
Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↔	↕	↔	↔	↕			↕	↔
Traffic Volume (vph)	0	0	0	277	150	53	430	193	0	0	104	174
Future Volume (vph)	0	0	0	277	150	53	430	193	0	0	104	174
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	304	165	58	473	212	0	0	114	191
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	304	165	58	473	212	0	0	114	191
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8		5	5	6		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				25.0	25.0	25.0	33.0				32.0	32.0
Total Split (%)				27.8%	27.8%	27.8%	36.7%				35.6%	35.6%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				17.7	17.7	17.7	47.8	52.3			27.6	27.6
Actuated g/C Ratio				0.22	0.22	0.22	0.61	0.66			0.35	0.35
v/c Ratio				0.77	0.21	0.13	0.53	0.17			0.06	0.28
Control Delay				42.6	25.4	0.6	11.2	3.9			18.2	4.5
Queue Delay				0.0	0.0	0.0	0.3	0.2			0.0	0.0
Total Delay				42.6	25.4	0.6	11.5	4.1			18.2	4.5
LOS				D	C	A	B	A			B	A
Approach Delay							32.6				9.6	
Approach LOS							C				A	
Queue Length 50th (ft)				140	34	0	57	25			13	0
Queue Length 95th (ft)				#235	61	0	267	41			27	43
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				460	920	505	1080	1429			1773	676
Starvation Cap Reductn				0	0	0	183	686			0	0
Spillback Cap Reductn				0	0	0	0	0			84	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				0.66	0.18	0.11	0.53	0.29			0.07	0.28

Intersection Summary	
Cycle Length: 90	
Actuated Cycle Length: 79	
Natural Cycle: 60	
Control Type: Actuated-Uncoordinated	
Maximum v/c Ratio: 0.77	
Intersection Signal Delay: 17.4	Intersection LOS: B

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2020 Existing
Timing Plan: AM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	19.0	46.0	25.0
Total Split (%)	21%	51%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

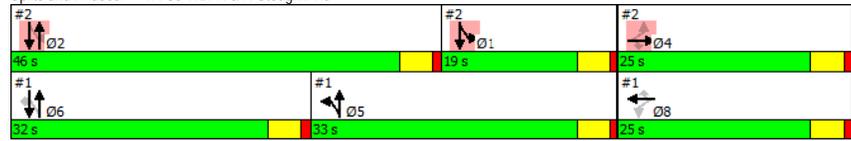
Intersection Summary	
Cycle Length: 90	
Actuated Cycle Length: 79	
Natural Cycle: 60	
Control Type: Actuated-Uncoordinated	
Maximum v/c Ratio: 0.77	
Intersection Signal Delay: 17.4	Intersection LOS: B

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2020 Existing
Timing Plan: AM

Intersection Capacity Utilization 62.8%
ICU Level of Service B
Analysis Period (min) 15
95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2020 Existing
Timing Plan: AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↕	↕↕	↕					↕↕	↕	↕	↕↕	
Traffic Volume (vph)	142	59	197	0	0	0	0	519	102	31	336	0
Future Volume (vph)	142	59	197	0	0	0	0	519	102	31	336	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	158	66	219	0	0	0	0	577	113	34	373	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	158	66	219	0	0	0	0	577	113	34	373	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases								2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	25.0	25.0	25.0					46.0	46.0	19.0		
Total Split (%)	27.8%	27.8%	27.8%					51.1%	51.1%	21.1%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	17.7	17.7	17.7					41.6	41.6	47.8	52.3	
Actuated g/C Ratio	0.22	0.22	0.22					0.53	0.53	0.61	0.66	
v/c Ratio	0.40	0.08	0.42					0.31	0.13	0.06	0.16	
Control Delay	29.3	24.1	6.5					11.6	2.7	11.7	12.5	
Queue Delay	0.0	0.0	0.0					0.0	0.0	0.0	0.3	
Total Delay	29.3	24.1	6.5					11.7	2.7	11.7	12.8	
LOS	C	C	A					B	A	B	B	
Approach Delay		17.3						10.2			12.7	
Approach LOS		B						B			B	
Queue Length 50th (ft)	66	13	0					82	0	13	79	
Queue Length 95th (ft)	122	30	52					123	24	m22	145	
Internal Link Dist (ft)		1283			1227			625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	460	920	573					1863	886	720	2716	
Starvation Cap Reductn	0	0	0					0	0	0	1702	
Spillback Cap Reductn	0	0	0					75	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.34	0.07	0.38					0.32	0.13	0.05	0.37	

Intersection Summary
 Cycle Length: 90
 Actuated Cycle Length: 79
 Natural Cycle: 60
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 0.77
 Intersection Signal Delay: 12.9
 Intersection LOS: B

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2020 Existng
Timing Plan: AM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	33.0	32.0	25.0
Total Split (%)	37%	36%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2020 Existng
Timing Plan: AM

Intersection Capacity Utilization 62.8% ICU Level of Service B

Analysis Period (min) 15

m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Gas Station Driveway

2020 Existng
Timing Plan: AM

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔	↔	↔	↕↕	↕↕	↔
Traffic Vol, veh/h	0	6	0	628	508	32
Future Vol, veh/h	0	6	0	628	508	32
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	170	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	7	0	683	552	35

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	894	276	587	0	0
Stage 1	552	-	-	-	-
Stage 2	342	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-
Pot Cap-1 Maneuver	281	721	984	-	-
Stage 1	541	-	-	-	-
Stage 2	691	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	281	721	984	-	-
Mov Cap-2 Maneuver	281	-	-	-	-
Stage 1	541	-	-	-	-
Stage 2	691	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	984	-	721	-	-
HCM Lane V/C Ratio	-	-	0.009	-	-
HCM Control Delay (s)	0	-	10	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2020 Existng
Timing Plan: AM

Intersection						
Int Delay, s/veh	0.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↕↕	↕↕	↔	↔
Traffic Vol, veh/h	3	21	608	9	41	475
Future Vol, veh/h	3	21	608	9	41	475
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	24	699	10	47	546

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1071	355	0	0	709
Stage 1	704	-	-	-	-
Stage 2	367	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	216	641	-	-	886
Stage 1	452	-	-	-	-
Stage 2	671	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	205	641	-	-	886
Mov Cap-2 Maneuver	205	-	-	-	-
Stage 1	452	-	-	-	-
Stage 2	635	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	12.3	0	0.7
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	205	641	886	-
HCM Lane V/C Ratio	-	-	0.017	0.038	0.053	-
HCM Control Delay (s)	-	-	22.9	10.8	9.3	-
HCM Lane LOS	-	-	C	B	A	-
HCM 95th %tile Q(veh)	-	-	0.1	0.1	0.2	-

2010 HCM Intersection Capacity Analysis
 8: Corporate Crossing & Discovery Blvd

2020 Existing
 Timing Plan: AM

Intersection												
Int Delay, s/veh	1.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔	↔	↔	↔	↔	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	8	3	19	7	3	12	106	600	19	41	294	134
Future Vol, veh/h	8	3	19	7	3	12	106	600	19	41	294	134
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	-	180	-	-	180	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	9	3	21	8	3	13	115	652	21	45	320	146

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	1041	1386	233	1145	1449	337	466	0	0	673	0	0
Stage 1	483	483	-	893	893	-	-	-	-	-	-	-
Stage 2	558	903	-	252	556	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	4.14	-	-	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.22	-	-	2.22	-	-
Pot Cap-1 Maneuver	184	142	769	154	130	659	1092	-	-	914	-	-
Stage 1	534	551	-	303	358	-	-	-	-	-	-	-
Stage 2	482	354	-	730	511	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	156	121	769	130	111	659	1092	-	-	914	-	-
Mov Cap-2 Maneuver	156	121	-	130	111	-	-	-	-	-	-	-
Stage 1	478	524	-	271	320	-	-	-	-	-	-	-
Stage 2	418	317	-	671	486	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	17.9		22.1		1.3		0.8	
HCM LOS	C		C					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1092	-	-	145	769	130	332	914	-	-
HCM Lane V/C Ratio	0.106	-	-	0.082	0.027	0.059	0.049	0.049	-	-
HCM Control Delay (s)	8.7	-	-	32	9.8	34.4	16.4	9.1	-	-
HCM Lane LOS	A	-	-	D	A	D	C	A	-	-
HCM 95th %tile Q(veh)	0.4	-	-	0.3	0.1	0.2	0.2	0.2	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2020 Existing
Timing Plan: PM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↔	↕	↔	↔	↕			↕	↔
Traffic Volume (vph)	0	0	0	169	63	47	340	404	0	0	129	108
Future Volume (vph)	0	0	0	169	63	47	340	404	0	0	129	108
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	186	69	52	374	444	0	0	142	119
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	186	69	52	374	444	0	0	142	119
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				41.0	41.0	41.0	25.0				39.0	39.0
Total Split (%)				39.0%	39.0%	39.0%	23.8%				37.1%	37.1%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				25.3	25.3	25.3	45.7	50.2			34.7	34.7
Actuated g/C Ratio				0.30	0.30	0.30	0.54	0.59			0.41	0.41
v/c Ratio				0.35	0.07	0.09	0.51	0.40			0.07	0.17
Control Delay				24.5	20.2	0.3	17.9	13.6			17.1	4.6
Queue Delay				0.0	0.0	0.0	0.1	0.4			0.0	0.0
Total Delay				24.5	20.2	0.3	18.0	14.0			17.1	4.6
LOS				C	C	A	B	B			B	A
Approach Delay					19.5			15.8			11.4	
Approach LOS					B			B			B	
Queue Length 50th (ft)				76	13	0	93	110			16	0
Queue Length 95th (ft)				130	28	2	292	343			35	36
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				769	1537	749	935	1319			2088	720
Starvation Cap Reductn				0	0	0	73	429			0	0
Spillback Cap Reductn				0	0	0	0	0			0	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				0.24	0.04	0.07	0.43	0.50			0.07	0.17

Intersection Summary

Cycle Length: 105
Actuated Cycle Length: 84.6
Natural Cycle: 55
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 0.72
Intersection Signal Delay: 15.8
Intersection LOS: B

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2020 Existing
Timing Plan: PM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	20.0	44.0	41.0
Total Split (%)	19%	42%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2020 Existing
Timing Plan: PM

Intersection Capacity Utilization 61.2%
Analysis Period (min) 15

ICU Level of Service B

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2020 Existing
Timing Plan: PM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↕↕	↔					↕↕	↔	↔	↕↕	
Traffic Volume (vph)	345	213	355	0	0	0	0	470	200	64	179	0
Future Volume (vph)	345	213	355	0	0	0	0	470	200	64	179	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	383	237	394	0	0	0	0	522	222	71	199	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	383	237	394	0	0	0	0	522	222	71	199	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	41.0	41.0	41.0					44.0	44.0	20.0		
Total Split (%)	39.0%	39.0%	39.0%					41.9%	41.9%	19.0%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	25.3	25.3	25.3					39.8	39.8	45.7	50.2	
Actuated g/C Ratio	0.30	0.30	0.30					0.47	0.47	0.54	0.59	
v/c Ratio	0.72	0.22	0.53					0.31	0.26	0.14	0.09	
Control Delay	34.6	22.1	5.0					15.8	3.3	17.5	14.1	
Queue Delay	0.3	0.0	0.0					0.0	0.0	0.0	0.1	
Total Delay	34.9	22.1	5.0					15.9	3.3	17.5	14.2	
LOS	C	C	A					B	A	B	B	
Approach Delay		20.3						12.1			15.1	
Approach LOS		C						B			B	
Queue Length 50th (ft)	179	48	0					86	0	23	33	
Queue Length 95th (ft)	276	76	58					155	43	53	61	
Internal Link Dist (ft)		1283				1227		625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	769	1537	910					1664	861	693	2506	
Starvation Cap Reductn	0	0	0					0	0	0	1472	
Spillback Cap Reductn	85	0	0					117	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.56	0.15	0.43					0.34	0.26	0.10	0.19	
Intersection Summary												
Cycle Length: 105												
Actuated Cycle Length: 84.6												
Natural Cycle: 55												
Control Type: Actuated-Uncoordinated												
Maximum v/c Ratio: 0.72												
Intersection Signal Delay: 16.6												
Intersection LOS: B												

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2020 Existng
Timing Plan: PM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	25.0	39.0	41.0
Total Split (%)	24%	37%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2020 Existng
Timing Plan: PM

Intersection Capacity Utilization 61.2%
Analysis Period (min) 15
ICU Level of Service B

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Gas Sttaion Driveway

2020 Existng
Timing Plan: PM

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔	↔	↔	↕↕	↕↕	↔
Traffic Vol, veh/h	0	8	0	674	485	57
Future Vol, veh/h	0	8	0	674	485	57
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	170	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	9	0	733	527	62

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	894	264	589	0	0
Stage 1	527	-	-	-	-
Stage 2	367	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-
Pot Cap-1 Maneuver	281	734	982	-	-
Stage 1	557	-	-	-	-
Stage 2	671	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	281	734	982	-	-
Mov Cap-2 Maneuver	281	-	-	-	-
Stage 1	557	-	-	-	-
Stage 2	671	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	982	-	734	-	-
HCM Lane V/C Ratio	-	-	0.012	-	-
HCM Control Delay (s)	0	-	10	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2020 Existng
Timing Plan: PM

Intersection						
Int Delay, s/veh	0.7					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↕↕	↕↕	↔	↔
Traffic Vol, veh/h	10	39	623	1	20	475
Future Vol, veh/h	10	39	623	1	20	475
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	45	716	1	23	546

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1036	359	0	0	717
Stage 1	717	-	-	-	-
Stage 2	319	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	227	638	-	-	880
Stage 1	445	-	-	-	-
Stage 2	710	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	221	638	-	-	880
Mov Cap-2 Maneuver	221	-	-	-	-
Stage 1	445	-	-	-	-
Stage 2	692	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	13.4	0	0.4
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	221	638	880	-
HCM Lane V/C Ratio	-	-	0.052	0.07	0.026	-
HCM Control Delay (s)	-	-	22.2	11.1	9.2	-
HCM Lane LOS	-	-	C	B	A	-
HCM 95th %tile Q(veh)	-	-	0.2	0.2	0.1	-

2010 HCM Intersection Capacity Analysis
 8: Corporate Crossing & Discovery Blvd

2020 Existing
 Timing Plan: PM

Intersection												
Int Delay, s/veh	6.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔	↔	↔	↔	↔	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	129	15	53	14	7	56	5	425	7	32	410	25
Future Vol, veh/h	129	15	53	14	7	56	5	425	7	32	410	25
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	-	180	-	-	180	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	140	16	58	15	8	61	5	462	8	35	446	27

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	775	1010	237	777
Stage 1	530	530	-	476
Stage 2	245	480	-	301
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	288	238	764	287
Stage 1	500	525	-	539
Stage 2	737	553	-	683
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	251	229	764	244
Mov Cap-2 Maneuver	251	229	-	244
Stage 1	498	508	-	536
Stage 2	666	550	-	592

Approach	EB	WB	NB	SB
HCM Control Delay, s	32.8	13.3	0.1	0.6
HCM LOS	D	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1085	-	-	249	764	244	607	1088	-	-
HCM Lane V/C Ratio	0.005	-	-	0.629	0.075	0.062	0.113	0.032	-	-
HCM Control Delay (s)	8.3	-	-	41.1	10.1	20.7	11.7	8.4	-	-
HCM Lane LOS	A	-	-	E	B	C	B	A	-	-
HCM 95th %tile Q(veh)	0	-	-	3.8	0.2	0.2	0.4	0.1	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background
Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↔	↕	↔	↔	↕			↕	↔
Traffic Volume (vph)	0	0	0	300	162	57	465	209	0	0	113	188
Future Volume (vph)	0	0	0	300	162	57	465	209	0	0	113	188
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	330	178	63	511	230	0	0	124	207
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	330	178	63	511	230	0	0	124	207
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8		5	5	6		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0			5.0	5.0	
Minimum Split (s)				22.5	22.5	22.5	9.5			22.5	22.5	
Total Split (s)				25.0	25.0	25.0	33.0			32.0	32.0	
Total Split (%)				27.8%	27.8%	27.8%	36.7%			35.6%	35.6%	
Yellow Time (s)				3.5	3.5	3.5	3.5			3.5	3.5	
All-Red Time (s)				1.0	1.0	1.0	1.0			1.0	1.0	
Lost Time Adjust (s)				0.0	0.0	0.0	0.0			0.0	0.0	
Total Lost Time (s)				4.5	4.5	4.5	4.5			4.5	4.5	
Lead/Lag							Lag			Lead	Lead	
Lead-Lag Optimize?							Yes			Yes	Yes	
Recall Mode				None	None	None	None			Max	Max	
Act Effct Green (s)				18.6	18.6	18.6	47.8	52.3		27.5	27.5	
Actuated g/C Ratio				0.23	0.23	0.23	0.60	0.65		0.34	0.34	
v/c Ratio				0.80	0.22	0.14	0.58	0.19		0.07	0.30	
Control Delay				44.9	25.3	0.8	12.9	4.0		18.5	4.5	
Queue Delay				0.0	0.0	0.0	0.4	0.2		0.0	0.0	
Total Delay				44.9	25.3	0.8	13.2	4.2		18.5	4.5	
LOS				D	C	A	B	A		B	A	
Approach Delay					34.0			10.4			9.7	
Approach LOS					C			B			A	
Queue Length 50th (ft)				155	37	0	62	27		15	0	
Queue Length 95th (ft)				#279	65	3	292	44		28	44	
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				454	909	500	1061	1412		1751	681	
Starvation Cap Reductn				0	0	0	177	653		0	0	
Spillback Cap Reductn				0	0	0	0	0		92	0	
Storage Cap Reductn				0	0	0	0	0		0	0	
Reduced v/c Ratio				0.73	0.20	0.13	0.58	0.30		0.07	0.30	

Intersection Summary	
Cycle Length:	90
Actuated Cycle Length:	79.9
Natural Cycle:	60
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.80
Intersection Signal Delay:	18.5
Intersection LOS:	B

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background
Timing Plan: AM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	19.0	46.0	25.0
Total Split (%)	21%	51%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary	
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2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background
Timing Plan: AM

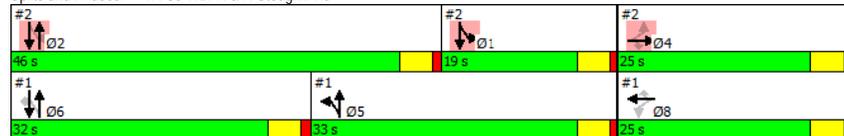
Intersection Capacity Utilization 67.2% ICU Level of Service C

Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background
Timing Plan: AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↕	↕↕	↕					↕↕	↕	↕	↕↕	
Traffic Volume (vph)	154	64	213	0	0	0	0	562	110	34	364	0
Future Volume (vph)	154	64	213	0	0	0	0	562	110	34	364	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	171	71	237	0	0	0	0	624	122	38	404	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	171	71	237	0	0	0	0	624	122	38	404	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	25.0	25.0	25.0					46.0	46.0	19.0		
Total Split (%)	27.8%	27.8%	27.8%					51.1%	51.1%	21.1%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	18.6	18.6	18.6					41.5	41.5	47.8	52.3	
Actuated g/C Ratio	0.23	0.23	0.23					0.52	0.52	0.60	0.65	
v/c Ratio	0.42	0.09	0.43					0.34	0.14	0.08	0.17	
Control Delay	29.4	24.1	6.4					12.2	2.7	12.1	13.0	
Queue Delay	0.0	0.0	0.0					0.0	0.0	0.0	0.3	
Total Delay	29.4	24.1	6.4					12.2	2.7	12.1	13.4	
LOS	C	C	A					B	A	B	B	
Approach Delay		17.2						10.7			13.3	
Approach LOS		B						B			B	
Queue Length 50th (ft)	72	14	0					94	0	15	87	
Queue Length 95th (ft)	131	31	54					134	25	m24	m154	
Internal Link Dist (ft)		1283				1227		625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	454	909	582					1840	881	685	2682	
Starvation Cap Reductn	0	0	0					0	0	0	1672	
Spillback Cap Reductn	0	0	0					97	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.38	0.08	0.41					0.36	0.14	0.06	0.40	

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 79.9
Natural Cycle: 60
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 0.80
Intersection Signal Delay: 13.2
Intersection LOS: B

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background
Timing Plan: AM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	33.0	32.0	25.0
Total Split (%)	37%	36%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background
Timing Plan: AM

Intersection Capacity Utilization 67.2% ICU Level of Service C

Analysis Period (min) 15

m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Gas Station Driveway

2024 Background
Timing Plan: AM

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔	↔	↔	↕↕	↕↕	↔
Traffic Vol, veh/h	0	6	0	680	550	35
Future Vol, veh/h	0	6	0	680	550	35
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	170	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	7	0	739	598	38

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	968	299	636	0	0
Stage 1	598	-	-	-	-
Stage 2	370	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-
Pot Cap-1 Maneuver	251	697	943	-	-
Stage 1	512	-	-	-	-
Stage 2	669	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	251	697	943	-	-
Mov Cap-2 Maneuver	251	-	-	-	-
Stage 1	512	-	-	-	-
Stage 2	669	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.2	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	943	-	697	-	-
HCM Lane V/C Ratio	-	-	0.009	-	-
HCM Control Delay (s)	0	-	10.2	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2024 Background
Timing Plan: AM

Intersection						
Int Delay, s/veh	0.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↕↕	↕↕	↔	↔
Traffic Vol, veh/h	3	23	658	10	44	514
Future Vol, veh/h	3	23	658	10	44	514
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	26	756	11	51	591

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1160	384	0	0	767
Stage 1	762	-	-	-	-
Stage 2	398	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	189	614	-	-	842
Stage 1	421	-	-	-	-
Stage 2	647	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	177	614	-	-	842
Mov Cap-2 Maneuver	177	-	-	-	-
Stage 1	421	-	-	-	-
Stage 2	608	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	12.8	0	0.8
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	177	614	842	-
HCM Lane V/C Ratio	-	-	0.019	0.043	0.06	-
HCM Control Delay (s)	-	-	25.7	11.1	9.5	-
HCM Lane LOS	-	-	D	B	A	-
HCM 95th %tile Q(veh)	-	-	0.1	0.1	0.2	-

2010 HCM Intersection Capacity Analysis
 8: Corporate Crossing & Discovery Blvd

2024 Background
 Timing Plan: AM

Intersection												
Int Delay, s/veh	2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕	↕	↕	↕	↕	↕	↕	↕	↕	↕
Traffic Vol, veh/h	9	3	21	8	3	13	115	649	21	44	318	145
Future Vol, veh/h	9	3	21	8	3	13	115	649	21	44	318	145
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	-	180	-	-	180	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	10	3	23	9	3	14	125	705	23	48	346	158

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1125	1499	252	1238
Stage 1	521	521	-	967
Stage 2	604	978	-	271
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	160	121	748	132
Stage 1	507	530	-	273
Stage 2	452	327	-	712
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	133	101	748	109
Mov Cap-2 Maneuver	133	101	-	109
Stage 1	447	501	-	241
Stage 2	385	288	-	648

Approach	EB	WB	NB	SB
HCM Control Delay, s	20.1	25.4	1.3	0.8
HCM LOS	C	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1057	-	-	123	748	109	301	871	-	-
HCM Lane V/C Ratio	0.118	-	-	0.106	0.031	0.08	0.058	0.055	-	-
HCM Control Delay (s)	8.9	-	-	37.7	10	40.9	17.7	9.4	-	-
HCM Lane LOS	A	-	-	E	B	E	C	A	-	-
HCM 95th %tile Q(veh)	0.4	-	-	0.3	0.1	0.3	0.2	0.2	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background
Timing Plan: PM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↔	↕	↔	↔	↕			↕	↔
Traffic Volume (vph)	0	0	0	183	68	51	368	437	0	0	140	117
Future Volume (vph)	0	0	0	183	68	51	368	437	0	0	140	117
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	201	75	56	404	480	0	0	154	129
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	201	75	56	404	480	0	0	154	129
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				41.0	41.0	41.0	25.0				39.0	39.0
Total Split (%)				39.0%	39.0%	39.0%	23.8%				37.1%	37.1%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				27.3	27.3	27.3	46.3	50.9			34.8	34.8
Actuated g/C Ratio				0.31	0.31	0.31	0.53	0.58			0.40	0.40
v/c Ratio				0.36	0.07	0.10	0.56	0.44			0.08	0.18
Control Delay				24.8	20.4	0.7	20.0	14.8			18.3	4.8
Queue Delay				0.0	0.0	0.0	0.1	0.4			0.0	0.0
Total Delay				24.8	20.4	0.7	20.1	15.2			18.3	4.8
LOS				C	C	A	C	B			B	A
Approach Delay					19.7			17.5			12.1	
Approach LOS					B			B			B	
Queue Length 50th (ft)				83	14	0	103	222			18	0
Queue Length 95th (ft)				147	31	3	327	386			39	38
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				747	1494	731	903	1282			2029	709
Starvation Cap Reductn				0	0	0	62	385			0	0
Spillback Cap Reductn				0	0	0	0	0			0	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				0.27	0.05	0.08	0.48	0.54			0.08	0.18

Intersection Summary	
Cycle Length:	105
Actuated Cycle Length:	87.2
Natural Cycle:	55
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.75
Intersection Signal Delay:	17.0
Intersection LOS:	B

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background
Timing Plan: PM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	20.0	44.0	41.0
Total Split (%)	19%	42%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary	
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2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background
Timing Plan: PM

Intersection Capacity Utilization 65.4%
Analysis Period (min) 15

ICU Level of Service C

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background
Timing Plan: PM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↕	↗	↔	↕	↗	↔	↕	↗	↔	↕	↗
Traffic Volume (vph)	373	231	384	0	0	0	0	509	216	69	194	0
Future Volume (vph)	373	231	384	0	0	0	0	509	216	69	194	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	414	257	427	0	0	0	0	566	240	77	216	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	414	257	427	0	0	0	0	566	240	77	216	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	41.0	41.0	41.0					44.0	44.0	20.0		
Total Split (%)	39.0%	39.0%	39.0%					41.9%	41.9%	19.0%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	27.3	27.3	27.3					39.9	39.9	46.3	50.9	
Actuated g/C Ratio	0.31	0.31	0.31					0.46	0.46	0.53	0.58	
v/c Ratio	0.75	0.23	0.54					0.35	0.28	0.17	0.10	
Control Delay	35.9	22.3	5.1					17.5	3.5	19.1	14.9	
Queue Delay	0.4	0.0	0.0					0.0	0.0	0.0	0.1	
Total Delay	36.2	22.3	5.1					17.5	3.5	19.1	15.0	
LOS	D	C	A					B	A	B	B	
Approach Delay		20.8						13.3			16.1	
Approach LOS		C						B			B	
Queue Length 50th (ft)	198	53	0					102	0	26	38	
Queue Length 95th (ft)	318	86	62					178	46	58	66	
Internal Link Dist (ft)		1283				1227		625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	747	1494	915					1617	853	646	2436	
Starvation Cap Reductn	0	0	0					0	0	89	1447	
Spillback Cap Reductn	70	0	0					127	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.61	0.17	0.47					0.38	0.28	0.14	0.22	
Intersection Summary												
Cycle Length: 105												
Actuated Cycle Length: 87.2												
Natural Cycle: 55												
Control Type: Actuated-Uncoordinated												
Maximum v/c Ratio: 0.75												
Intersection Signal Delay: 17.4												
Intersection LOS: B												

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background
Timing Plan: PM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	25.0	39.0	41.0
Total Split (%)	24%	37%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background
Timing Plan: PM

Intersection Capacity Utilization 65.4%
Analysis Period (min) 15
ICU Level of Service C

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Gas Sttaion Driveway

2024 Background
Timing Plan: PM

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔	↔	↔	↕↕	↕↕	↔
Traffic Vol, veh/h	0	9	0	730	525	62
Future Vol, veh/h	0	9	0	730	525	62
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	170	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	10	0	793	571	67

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	968	286	638	0	0
Stage 1	571	-	-	-	-
Stage 2	397	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-
Pot Cap-1 Maneuver	251	711	942	-	-
Stage 1	529	-	-	-	-
Stage 2	648	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	251	711	942	-	-
Mov Cap-2 Maneuver	251	-	-	-	-
Stage 1	529	-	-	-	-
Stage 2	648	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.1	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	942	-	711	-	-
HCM Lane V/C Ratio	-	-	0.014	-	-
HCM Control Delay (s)	0	-	10.1	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2024 Background
Timing Plan: PM

Intersection						
Int Delay, s/veh	0.8					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↕↕	↕↕	↔	↔
Traffic Vol, veh/h	11	42	674	1	22	514
Future Vol, veh/h	11	42	674	1	22	514
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	13	48	775	1	25	591

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1122	388	0	0	776
Stage 1	776	-	-	-	-
Stage 2	346	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	200	611	-	-	836
Stage 1	414	-	-	-	-
Stage 2	688	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	194	611	-	-	836
Mov Cap-2 Maneuver	194	-	-	-	-
Stage 1	414	-	-	-	-
Stage 2	667	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	14.2	0	0.4
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	194	611	836	-
HCM Lane V/C Ratio	-	-	0.065	0.079	0.03	-
HCM Control Delay (s)	-	-	24.8	11.4	9.4	-
HCM Lane LOS	-	-	C	B	A	-
HCM 95th %tile Q(veh)	-	-	0.2	0.3	0.1	-

2010 HCM Intersection Capacity Analysis
 8: Corporate Crossing & Discovery Blvd

2024 Background
 Timing Plan: PM

Intersection												
Int Delay, s/veh	9.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔	↔	↔	↔	↔	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	140	16	57	15	8	61	5	460	8	35	444	27
Future Vol, veh/h	140	16	57	15	8	61	5	460	8	35	444	27
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	-	180	-	-	180	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	152	17	62	16	9	66	5	500	9	38	483	29

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	839	1093	256	841
Stage 1	574	574	-	515
Stage 2	265	519	-	326
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	259	213	743	258
Stage 1	471	501	-	511
Stage 2	717	531	-	661
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	221	204	743	214
Mov Cap-2 Maneuver	221	204	-	214
Stage 1	469	483	-	508
Stage 2	639	528	-	563

Approach	EB	WB	NB	SB
HCM Control Delay, s	48	14.2	0.1	0.6
HCM LOS	E	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1050	-	-	219	743	214	567	1052	-	-
HCM Lane V/C Ratio	0.005	-	-	0.774	0.083	0.076	0.132	0.036	-	-
HCM Control Delay (s)	8.4	-	-	61.8	10.3	23.2	12.3	8.6	-	-
HCM Lane LOS	A	-	-	F	B	C	B	A	-	-
HCM 95th %tile Q(veh)	0	-	-	5.5	0.3	0.2	0.5	0.1	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background Plus Site Generated
Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↖	↗	↘	↖	↗	↘	↖	↗	↘
Traffic Volume (vph)	0	0	0	447	162	57	732	231	0	0	149	188
Future Volume (vph)	0	0	0	447	162	57	732	231	0	0	149	188
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	491	178	63	804	254	0	0	164	207
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	491	178	63	804	254	0	0	164	207
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				25.0	25.0	25.0	33.0				32.0	32.0
Total Split (%)				27.8%	27.8%	27.8%	36.7%				35.6%	35.6%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				20.5	20.5	20.5	52.8	57.3			27.6	27.6
Actuated g/C Ratio				0.24	0.24	0.24	0.61	0.66			0.32	0.32
v/c Ratio				1.17	0.21	0.13	0.90	0.21			0.10	0.32
Control Delay				133.7	28.3	0.6	29.9	3.0			21.9	5.1
Queue Delay				0.5	0.0	0.0	50.1	0.6			0.0	0.0
Total Delay				134.2	28.3	0.6	80.0	3.6			22.0	5.1
LOS				F	C	A	E	A			C	A
Approach Delay					96.9			61.6			12.5	
Approach LOS					F			E			B	
Queue Length 50th (ft)				-346	43	0	430	24			24	0
Queue Length 95th (ft)				#536	72	2	#658	35			40	48
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				418	837	471	962	1299			1612	643
Starvation Cap Reductn				0	0	0	317	721			0	0
Spillback Cap Reductn				22	0	0	0	0			269	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				1.24	0.21	0.13	1.25	0.44			0.12	0.32

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 86.9
Natural Cycle: 90
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 1.17
Intersection Signal Delay: 65.2
Intersection LOS: E

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background Plus Site Generated
Timing Plan: AM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	19.0	46.0	25.0
Total Split (%)	21%	51%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 86.9
Natural Cycle: 90
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 1.17
Intersection Signal Delay: 65.2
Intersection LOS: E

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background Plus Site Generated
Timing Plan: AM

Intersection Capacity Utilization 99.2%

ICU Level of Service F

Analysis Period (min) 15

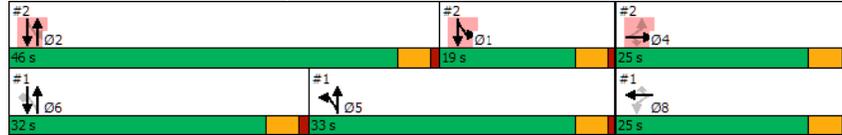
- Volume exceeds capacity, queue is theoretically infinite.

Queue shown is maximum after two cycles.

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↕↕	↔					↕↕	↕↕	↔	↕↕	↔
Traffic Volume (vph)	154	247	470	0	0	0	0	851	119	107	474	0
Future Volume (vph)	154	247	470	0	0	0	0	851	119	107	474	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	171	274	522	0	0	0	0	946	132	119	527	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	171	274	522	0	0	0	0	946	132	119	527	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	25.0	25.0	25.0					46.0	46.0	19.0		
Total Split (%)	27.8%	27.8%	27.8%					51.1%	51.1%	21.1%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	20.5	20.5	20.5					41.6	41.6	52.8	57.3	
Actuated g/C Ratio	0.24	0.24	0.24					0.48	0.48	0.61	0.66	
v/c Ratio	0.41	0.33	0.77					0.56	0.16	0.29	0.23	
Control Delay	32.4	29.4	17.3					18.2	3.2	25.3	14.7	
Queue Delay	0.0	0.0	0.0					0.4	0.0	0.2	2.7	
Total Delay	32.4	29.4	17.3					18.6	3.2	25.5	17.5	
LOS	C	C	B					B	A	C	B	
Approach Delay		23.4						16.7			18.9	
Approach LOS		C						B			B	
Queue Length 50th (ft)	84	68	60					200	0	56	162	
Queue Length 95th (ft)	144	104	#229					261	30	m60	m151	
Internal Link Dist (ft)		1283			1227			625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	418	837	676					1693	826	482	2469	
Starvation Cap Reductn	0	0	0					0	0	84	1795	
Spillback Cap Reductn	0	0	0					285	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.41	0.33	0.77					0.67	0.16	0.30	0.78	

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 86.9

Natural Cycle: 90

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 1.17

Intersection Signal Delay: 19.7

Intersection LOS: B

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: AM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	33.0	32.0	25.0
Total Split (%)	37%	36%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: AM

Intersection Capacity Utilization 99.2% ICU Level of Service F

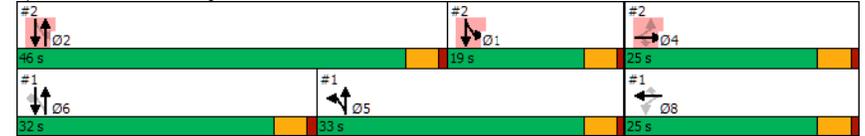
Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
3: Driveway 1 & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	1.5					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑↓					↑
Traffic Vol, veh/h	217	257	0	0	0	80
Future Vol, veh/h	217	257	0	0	0	80
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	-	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	236	279	0	0	0	87

Major/Minor	Major1	Minor1
Conflicting Flow All	0	0
Stage 1	-	-
Stage 2	-	-
Critical Hdwy	-	- 6.94
Critical Hdwy Stg 1	-	-
Critical Hdwy Stg 2	-	-
Follow-up Hdwy	-	- 3.32
Pot Cap-1 Maneuver	-	0 741
Stage 1	-	0 -
Stage 2	-	0 -
Platoon blocked, %	-	-
Mov Cap-1 Maneuver	-	- 741
Mov Cap-2 Maneuver	-	-
Stage 1	-	-
Stage 2	-	-

Approach	EB	NB
HCM Control Delay, s	0	10.5
HCM LOS		B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR
Capacity (veh/h)	741	-	-
HCM Lane V/C Ratio	0.117	-	-
HCM Control Delay (s)	10.5	-	-
HCM Lane LOS	B	-	-
HCM 95th %tile Q(veh)	0.4	-	-

2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Driveway 2

2024 Background Plus Site Generated
Timing Plan: AM

Intersection												
Int Delay, s/veh	48.7											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↓				↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓
Traffic Vol, veh/h	0	0	6	58	0	275	0	702	95	330	587	32
Future Vol, veh/h	0	0	6	58	0	275	0	702	95	330	587	32
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	0	170	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	7	63	0	299	0	763	103	359	638	35

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1738	2222	319	1852
Stage 1	1356	1356	-	815
Stage 2	382	866	-	1037
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	56	43	677	-
Stage 1	157	216	-	338
Stage 2	612	369	-	247
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	10	11	677	-
Mov Cap-2 Maneuver	10	11	-	-
Stage 1	157	55	-	338
Stage 2	292	369	-	62

Approach	EB	WB	NB	SB
HCM Control Delay, s	10.4	287.1	0	6.2
HCM LOS	B	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	914	-	-	677	18	571	773	-	-
HCM Lane V/C Ratio	-	-	-	0.01	3.502	0.523	0.464	-	-
HCM Control Delay (s)	0	-	-	10.5	1563.2	18	13.6	2.4	-
HCM Lane LOS	A	-	-	B	F	C	B	A	-
HCM 95th %tile Q(veh)	0	-	-	0	8.4	3	2.5	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2024 Background Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	1.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↔		↔	↔
Traffic Vol, veh/h	12	45	754	24	81	572
Future Vol, veh/h	12	45	754	24	81	572
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	14	52	867	28	93	657

Major/Minor	Minor1	Major1	Major2	Minor2
Conflicting Flow All	1396	448	0	895
Stage 1	881	-	-	-
Stage 2	515	-	-	-
Critical Hdwy	6.84	6.94	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-
Follow-up Hdwy	3.52	3.32	-	2.22
Pot Cap-1 Maneuver	132	558	-	754
Stage 1	365	-	-	-
Stage 2	565	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	116	558	-	754
Mov Cap-2 Maneuver	116	-	-	-
Stage 1	365	-	-	-
Stage 2	496	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	18	0	1.3
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	116	558	754	-
HCM Lane V/C Ratio	-	-	0.119	0.093	0.123	-
HCM Control Delay (s)	-	-	40.2	12.1	10.4	-
HCM Lane LOS	-	-	E	B	B	-
HCM 95th %tile Q(veh)	-	-	0.4	0.3	0.4	-

2010 HCM Intersection Capacity Analysis
6: Capital Blvd & Driveway 3

2024 Background Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	1.9					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↔	↔		↔	↔
Traffic Vol, veh/h	15	45	28	0	0	9
Future Vol, veh/h	15	45	28	0	0	9
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	49	30	0	0	10

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	30	0	111
Stage 1	-	-	30
Stage 2	-	-	81
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1583	-	886
Stage 1	-	-	993
Stage 2	-	-	942
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1583	-	877
Mov Cap-2 Maneuver	-	-	877
Stage 1	-	-	983
Stage 2	-	-	942

Approach	EB	WB	SB
HCM Control Delay, s	1.8	0	8.5
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1583	-	-	-	1044
HCM Lane V/C Ratio	0.01	-	-	-	0.009
HCM Control Delay (s)	7.3	0	-	-	8.5
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0

2010 HCM Intersection Capacity Analysis
7: Capital Blvd & Driveway 4

2024 Background Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	6.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	↕
Traffic Vol, veh/h	37	9	5	0	0	22
Future Vol, veh/h	37	9	5	0	0	22
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	40	10	5	0	0	24

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	5	0	-	0	95
Stage 1	-	-	-	-	5
Stage 2	-	-	-	-	90
Critical Hdwy	4.12	-	-	-	6.42
Critical Hdwy Stg 1	-	-	-	-	5.42
Critical Hdwy Stg 2	-	-	-	-	5.42
Follow-up Hdwy	2.218	-	-	-	3.518
Pot Cap-1 Maneuver	1616	-	-	-	905
Stage 1	-	-	-	-	1018
Stage 2	-	-	-	-	934
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1616	-	-	-	882
Mov Cap-2 Maneuver	-	-	-	-	882
Stage 1	-	-	-	-	993
Stage 2	-	-	-	-	934

Approach	EB	WB	SB
HCM Control Delay, s	5.9	0	8.4
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1616	-	-	-	1078
HCM Lane V/C Ratio	0.025	-	-	-	0.022
HCM Control Delay (s)	7.3	0	-	-	8.4
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.1	-	-	-	0.1

2010 HCM Intersection Capacity Analysis
8: Corporate Crossing & Discovery Blvd

2024 Background Plus Site Generated
Timing Plan: AM

Intersection												
Int Delay, s/veh	2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕	↕	↕	↕	↕	↕	↕	↕	↕	↕
Traffic Vol, veh/h	9	3	21	8	3	13	115	760	21	44	385	145
Future Vol, veh/h	9	3	21	8	3	13	115	760	21	44	385	145
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	180	-	-	180	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	10	3	23	9	3	14	125	826	23	48	418	158

Major/Minor	Minor2	Minor1	Major1	Major2		
Conflicting Flow All	1258	1692	288	1395	1760	425
Stage 1	593	593	-	1088	1088	-
Stage 2	665	1099	-	307	672	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32
Pot Cap-1 Maneuver	128	92	709	101	84	578
Stage 1	459	492	-	230	290	-
Stage 2	416	287	-	678	453	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	104	76	709	82	69	578
Mov Cap-2 Maneuver	104	76	-	82	69	-
Stage 1	401	462	-	201	253	-
Stage 2	350	251	-	612	425	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	24.2	32	1.2	0.8
HCM LOS	C	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	993	-	-	95	709	82	243	785	-	-
HCM Lane V/C Ratio	0.126	-	-	0.137	0.032	0.106	0.072	0.061	-	-
HCM Control Delay (s)	9.1	-	-	48.8	10.2	54	21	9.9	-	-
HCM Lane LOS	A	-	-	E	B	F	C	A	-	-
HCM 95th %tile Q(veh)	0.4	-	-	0.5	0.1	0.3	0.2	0.2	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background Plus Site Generated
Timing Plan: PM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↔	↕	↔	↔	↕			↕	↔
Traffic Volume (vph)	0	0	0	330	68	51	707	466	0	0	176	117
Future Volume (vph)	0	0	0	330	68	51	707	466	0	0	176	117
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	363	75	56	777	512	0	0	193	129
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	363	75	56	777	512	0	0	193	129
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0			5.0	5.0	
Minimum Split (s)				22.5	22.5	22.5	9.5			22.5	22.5	
Total Split (s)				41.0	41.0	41.0	25.0			39.0	39.0	
Total Split (%)				39.0%	39.0%	39.0%	23.8%			37.1%	37.1%	
Yellow Time (s)				3.5	3.5	3.5	3.5			3.5	3.5	
All-Red Time (s)				1.0	1.0	1.0	1.0			1.0	1.0	
Lost Time Adjust (s)				0.0	0.0	0.0	0.0			0.0	0.0	
Total Lost Time (s)				4.5	4.5	4.5	4.5			4.5	4.5	
Lead/Lag							Lag			Lead	Lead	
Lead-Lag Optimize?							Yes			Yes	Yes	
Recall Mode				None	None	None	None			Max	Max	
Act Effct Green (s)				31.7	31.7	31.7	55.2	59.7		34.6	34.6	
Actuated g/C Ratio				0.32	0.32	0.32	0.55	0.59		0.34	0.34	
v/c Ratio				0.65	0.07	0.10	1.02	0.46		0.11	0.20	
Control Delay				35.4	23.4	0.6	59.6	10.4		23.7	5.4	
Queue Delay				0.0	0.0	0.0	30.9	2.8		0.0	0.0	
Total Delay				35.4	23.4	0.6	90.5	13.3		23.7	5.4	
LOS				D	C	A	F	B		C	A	
Approach Delay					29.6			59.8			16.4	
Approach LOS					C			E			B	
Queue Length 50th (ft)				198	17	0	-599	111		32	0	
Queue Length 95th (ft)				296	33	3	#842	218		51	40	
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				645	1290	646	763	1107		1752	630	
Starvation Cap Reductn				0	0	0	174	467		0	0	
Spillback Cap Reductn				0	0	0	0	0		64	0	
Storage Cap Reductn				0	0	0	0	0		0	0	
Reduced v/c Ratio				0.56	0.06	0.09	1.32	0.80		0.11	0.20	

Intersection Summary	
Cycle Length:	105
Actuated Cycle Length:	100.5
Natural Cycle:	80
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	1.02
Intersection Signal Delay:	46.1
Intersection LOS:	D

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background Plus Site Generated
Timing Plan: PM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	20.0	44.0	41.0
Total Split (%)	19%	42%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary	
Cycle Length:	105
Actuated Cycle Length:	100.5
Natural Cycle:	80
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	1.02
Intersection Signal Delay:	46.1
Intersection LOS:	D

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2024 Background Plus Site Generated
Timing Plan: PM

Intersection Capacity Utilization 99.6%

ICU Level of Service F

Analysis Period (min) 15

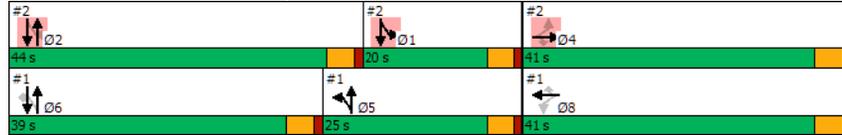
- Volume exceeds capacity, queue is theoretically infinite.

Queue shown is maximum after two cycles.

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: PM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↕↕	↔					↕↕	↕↕	↔	↕↕	↔
Traffic Volume (vph)	373	414	641	0	0	0	0	876	228	143	304	0
Future Volume (vph)	373	414	641	0	0	0	0	876	228	143	304	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	414	460	712	0	0	0	0	973	253	159	338	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	414	460	712	0	0	0	0	973	253	159	338	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	41.0	41.0	41.0					44.0	44.0	20.0		
Total Split (%)	39.0%	39.0%	39.0%					41.9%	41.9%	19.0%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	31.7	31.7	31.7					39.7	39.7	55.2	59.7	
Actuated g/C Ratio	0.32	0.32	0.32					0.40	0.40	0.55	0.59	
v/c Ratio	0.74	0.41	0.84					0.70	0.33	0.42	0.16	
Control Delay	39.4	27.9	19.0					29.5	5.8	44.7	18.4	
Queue Delay	3.7	0.0	0.0					1.2	0.0	0.0	1.0	
Total Delay	43.1	27.9	19.0					30.7	5.8	44.7	19.4	
LOS	D	C	B					C	A	D	B	
Approach Delay		27.9						25.5			27.5	
Approach LOS		C						C			C	
Queue Length 50th (ft)	235	121	124					289	13	75	84	
Queue Length 95th (ft)	346	165	306					368	64	166	122	
Internal Link Dist (ft)		1283				1227		625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	645	1290	899					1396	759	383	2103	
Starvation Cap Reductn	0	0	0					0	0	0	1486	
Spillback Cap Reductn	150	0	0					214	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.84	0.36	0.79					0.82	0.33	0.42	0.55	

Intersection Summary

Cycle Length: 105

Actuated Cycle Length: 100.5

Natural Cycle: 80

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 1.02

Intersection Signal Delay: 27.0

Intersection LOS: C

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: PM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	25.0	39.0	41.0
Total Split (%)	24%	37%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

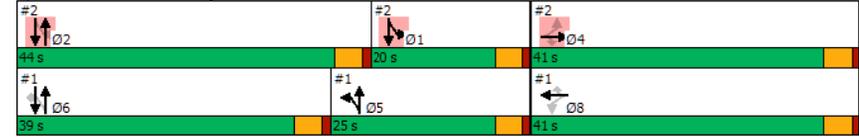
2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: PM

Intersection Capacity Utilization 99.6%
Analysis Period (min) 15

ICU Level of Service F

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
3: Driveway 1 & I-30 EBFR

2024 Background Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	1.5					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑↑					↑
Traffic Vol, veh/h	528	257	0	0	0	102
Future Vol, veh/h	528	257	0	0	0	102
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	-	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	574	279	0	0	0	111

Major/Minor	Major1	Minor1
Conflicting Flow All	0	427
Stage 1	-	-
Stage 2	-	-
Critical Hdwy	-	6.94
Critical Hdwy Stg 1	-	-
Critical Hdwy Stg 2	-	-
Follow-up Hdwy	-	3.32
Pot Cap-1 Maneuver	-	576
Stage 1	-	0
Stage 2	-	0
Platoon blocked, %	-	-
Mov Cap-1 Maneuver	-	576
Mov Cap-2 Maneuver	-	-
Stage 1	-	-
Stage 2	-	-

Approach	EB	NB
HCM Control Delay, s	0	12.7
HCM LOS		B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR
Capacity (veh/h)	576	-	-
HCM Lane V/C Ratio	0.192	-	-
HCM Control Delay (s)	12.7	-	-
HCM Lane LOS	B	-	-
HCM 95th %tile Q(veh)	0.7	-	-

2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Driveway 2

2024 Background Plus Site Generated
Timing Plan: PM

Intersection												
Int Delay, s/veh	95.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑			↑	↑	↑	↑↑			↑↑	↑
Traffic Vol, veh/h	0	0	8	74	0	351	0	758	96	331	562	57
Future Vol, veh/h	0	0	8	74	0	351	0	758	96	331	562	57
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	0	170	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	0	-	0	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	9	80	0	382	0	824	104	360	611	62

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1743	2259	306	1902
Stage 1	1331	1331	-	876
Stage 2	412	928	-	1026
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	55	41	690	-
Stage 1	163	222	-	310
Stage 2	588	345	-	251
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	6	8	690	-
Mov Cap-2 Maneuver	6	8	-	14
Stage 1	163	46	-	310
Stage 2	176	345	-	51

Approach	EB	WB	NB	SB
HCM Control Delay, s	10.3	\$ 486.6	0	6.6
HCM LOS	B	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	914	-	-	690	14	545	733	-	-
HCM Lane V/C Ratio	-	-	-	0.013	5.745	0.7	0.491	-	-
HCM Control Delay (s)	0	-	-	10.3	2673.3	25.6	14.6	2.6	-
HCM Lane LOS	A	-	-	B	F	D	B	A	-
HCM 95th %tile Q(veh)	0	-	-	0	11	5.5	2.7	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2024 Background Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	1.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	22	70	770	16	58	588
Future Vol, veh/h	22	70	770	16	58	588
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	25	80	885	18	67	676

Major/Minor	Minor1	Major1	Major2	Minor2
Conflicting Flow All	1366	452	0	903
Stage 1	894	-	-	-
Stage 2	472	-	-	-
Critical Hdwy	6.84	6.94	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-
Follow-up Hdwy	3.52	3.32	-	2.22
Pot Cap-1 Maneuver	138	555	-	749
Stage 1	360	-	-	-
Stage 2	594	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	126	555	-	749
Mov Cap-2 Maneuver	126	-	-	-
Stage 1	360	-	-	-
Stage 2	541	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	19.3	0	0.9
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	126	555	749	-
HCM Lane V/C Ratio	-	-	0.201	0.145	0.089	-
HCM Control Delay (s)	-	-	40.6	12.6	10.3	-
HCM Lane LOS	-	-	E	B	B	-
HCM 95th %tile Q(veh)	-	-	0.7	0.5	0.3	-

2010 HCM Intersection Capacity Analysis
6: Capital Blvd & Driveway 3

2024 Background Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↔	↔		↔	
Traffic Vol, veh/h	15	43	32	0	0	11
Future Vol, veh/h	15	43	32	0	0	11
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	47	35	0	0	12

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	35	0	114
Stage 1	-	-	35
Stage 2	-	-	79
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1576	-	882
Stage 1	-	-	987
Stage 2	-	-	944
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1576	-	873
Mov Cap-2 Maneuver	-	-	873
Stage 1	-	-	977
Stage 2	-	-	944

Approach	EB	WB	SB
HCM Control Delay, s	1.9	0	8.5
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1576	-	-	-	1038
HCM Lane V/C Ratio	0.01	-	-	-	0.012
HCM Control Delay (s)	7.3	0	-	-	8.5
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0

2010 HCM Intersection Capacity Analysis
7: Capital Blvd & Driveway 4

2024 Background Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	6.8					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	↕
Traffic Vol, veh/h	37	6	3	0	0	28
Future Vol, veh/h	37	6	3	0	0	28
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	40	7	3	0	0	30

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	3	0	-	0	90
Stage 1	-	-	-	-	3
Stage 2	-	-	-	-	87
Critical Hdwy	4.12	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	3.518	3.318
Pot Cap-1 Maneuver	1619	-	-	910	1081
Stage 1	-	-	-	1020	-
Stage 2	-	-	-	936	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1619	-	-	887	1081
Mov Cap-2 Maneuver	-	-	-	887	-
Stage 1	-	-	-	995	-
Stage 2	-	-	-	936	-

Approach	EB	WB	SB
HCM Control Delay, s	6.3	0	8.4
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1619	-	-	-	1081
HCM Lane V/C Ratio	0.025	-	-	-	0.028
HCM Control Delay (s)	7.3	0	-	-	8.4
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.1	-	-	-	0.1

2010 HCM Intersection Capacity Analysis
8: Corporate Crossing & Discovery Blvd

2024 Background Plus Site Generated
Timing Plan: PM

Intersection												
Int Delay, s/veh	15.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕	↕	↕	↕	↕	↕	↕	↕	↕	↕
Traffic Vol, veh/h	140	16	57	15	8	61	5	570	8	35	529	27
Future Vol, veh/h	140	16	57	15	8	61	5	570	8	35	529	27
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	180	-	-	180	-	-	-
Veh in Median Storage, #	-	0	-	0	-	0	-	0	-	0	-	-
Grade, %	-	0	-	0	-	0	-	0	-	0	-	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	152	17	62	16	9	66	5	620	9	38	575	29

Major/Minor	Minor2	Minor1	Major1	Major2		
Conflicting Flow All	991	1305	302	1007	1315	315
Stage 1	666	666	-	635	635	-
Stage 2	325	639	-	372	680	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32
Pot Cap-1 Maneuver	200	159	694	195	157	681
Stage 1	415	456	-	433	471	-
Stage 2	661	469	-	621	449	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	167	152	694	157	150	681
Mov Cap-2 Maneuver	167	152	-	157	150	-
Stage 1	413	438	-	431	469	-
Stage 2	583	467	-	521	431	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	100.8	16.8	0.1	0.5
HCM LOS	F	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	970	-	-	165	694	157	483	949	-	-
HCM Lane V/C Ratio	0.006	-	-	1.028	0.089	0.104	0.155	0.04	-	-
HCM Control Delay (s)	8.7	-	-	133.7	10.7	30.6	13.8	9	-	-
HCM Lane LOS	A	-	-	F	B	D	B	A	-	-
HCM 95th %tile Q(veh)	0	-	-	8.3	0.3	0.3	0.5	0.1	-	-

2010 HCM Intersection Capacity Analysis

1: I-30 WBFR & N Stodghill Rd

2029 Horizon

Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↔	↔	↔	↔	↔	↔	↔	↔	↔
Traffic Volume (vph)	0	0	0	315	171	60	489	220	0	0	118	198
Future Volume (vph)	0	0	0	315	171	60	489	220	0	0	118	198
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	346	188	66	537	242	0	0	130	218
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	346	188	66	537	242	0	0	130	218
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8		5	5	6		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				25.0	25.0	25.0	33.0				32.0	32.0
Total Split (%)				27.8%	27.8%	27.8%	36.7%				35.6%	35.6%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				19.2	19.2	19.2	47.9	52.4			27.5	27.5
Actuated g/C Ratio				0.24	0.24	0.24	0.59	0.65			0.34	0.34
v/c Ratio				0.82	0.22	0.14	0.62	0.20			0.07	0.32
Control Delay				46.6	25.4	1.2	14.1	4.1			18.6	4.5
Queue Delay				0.0	0.0	0.0	0.4	0.2			0.0	0.0
Total Delay				46.6	25.4	1.2	14.6	4.3			18.6	4.5
LOS				D	C	A	B	A			B	A
Approach Delay						34.9		11.4			9.8	
Approach LOS						C		B			A	
Queue Length 50th (ft)				165	40	0	66	29			16	0
Queue Length 95th (ft)				#301	68	5	312	46			30	45
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				450	901	497	1050	1400			1737	684
Starvation Cap Reductn				0	0	0	177	638			0	0
Spillback Cap Reductn				0	0	0	0	0			99	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				0.77	0.21	0.13	0.62	0.32			0.08	0.32

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 80.6
Natural Cycle: 60
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 0.82
Intersection Signal Delay: 19.2
Intersection LOS: B

2010 HCM Intersection Capacity Analysis

1: I-30 WBFR & N Stodghill Rd

2029 Horizon

Timing Plan: AM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	19.0	46.0	25.0
Total Split (%)	21%	51%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon
Timing Plan: AM

Intersection Capacity Utilization 70.1%

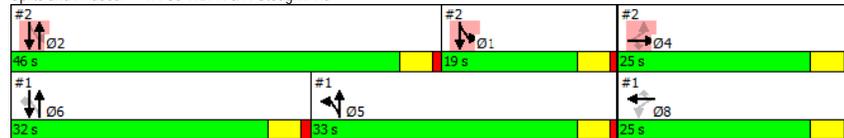
ICU Level of Service C

Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon
Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↓	↑↑	↑					↑↑	↑	↓	↑↑	
Traffic Volume (vph)	162	67	224	0	0	0	0	590	116	35	382	0
Future Volume (vph)	162	67	224	0	0	0	0	590	116	35	382	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	180	74	249	0	0	0	0	656	129	39	424	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	180	74	249	0	0	0	0	656	129	39	424	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	25.0	25.0	25.0					46.0	46.0	19.0		
Total Split (%)	27.8%	27.8%	27.8%					51.1%	51.1%	21.1%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	19.2	19.2	19.2					41.6	41.6	47.9	52.4	
Actuated g/C Ratio	0.24	0.24	0.24					0.52	0.52	0.59	0.65	
v/c Ratio	0.43	0.09	0.44					0.36	0.15	0.08	0.18	
Control Delay	29.6	24.1	6.3					12.6	2.6	12.3	13.3	
Queue Delay	0.0	0.0	0.0					0.0	0.0	0.0	0.4	
Total Delay	29.6	24.1	6.3					12.6	2.6	12.3	13.7	
LOS	C	C	A					B	A	B	B	
Approach Delay		17.3						11.0			13.6	
Approach LOS		B						B			B	
Queue Length 50th (ft)	77	15	0					100	0	15	92	
Queue Length 95th (ft)	137	32	55					142	26	m23	m156	
Internal Link Dist (ft)		1283				1227		625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	450	901	588					1824	878	660	2660	
Starvation Cap Reductn	0	0	0					0	0	0	1666	
Spillback Cap Reductn	0	0	0					112	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.40	0.08	0.42					0.38	0.15	0.06	0.43	

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 80.6

Natural Cycle: 60

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 0.82

Intersection Signal Delay: 13.5

Intersection LOS: B

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon
Timing Plan: AM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	33.0	32.0	25.0
Total Split (%)	37%	36%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

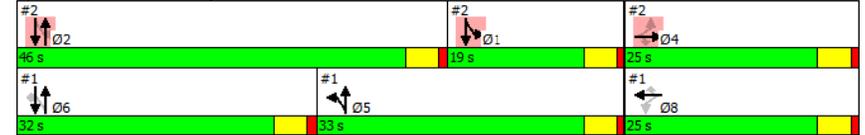
2029 Horizon
Timing Plan: AM

Intersection Capacity Utilization 70.1% ICU Level of Service C

Analysis Period (min) 15

m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Gas Station Driveway

2029 Horizon
Timing Plan: AM

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔	↔	↔	↕↕	↕↕	↔
Traffic Vol, veh/h	0	7	0	714	578	36
Future Vol, veh/h	0	7	0	714	578	36
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	170	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	8	0	776	628	39

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	1016	314	667	0	0
Stage 1	628	-	-	-	-
Stage 2	388	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-
Pot Cap-1 Maneuver	234	682	919	-	-
Stage 1	494	-	-	-	-
Stage 2	655	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	234	682	919	-	-
Mov Cap-2 Maneuver	234	-	-	-	-
Stage 1	494	-	-	-	-
Stage 2	655	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.3	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	919	-	682	-	-
HCM Lane V/C Ratio	-	-	0.011	-	-
HCM Control Delay (s)	0	-	10.3	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2029 Horizon
Timing Plan: AM

Intersection						
Int Delay, s/veh	0.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↕↕	↕↕	↔	↔
Traffic Vol, veh/h	3	24	692	10	47	540
Future Vol, veh/h	3	24	692	10	47	540
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	28	795	11	54	621

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1220	403	0	0	806
Stage 1	801	-	-	-	-
Stage 2	419	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	172	597	-	-	814
Stage 1	402	-	-	-	-
Stage 2	632	-	-	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	161	597	-	-	814
Mov Cap-2 Maneuver	161	-	-	-	-
Stage 1	402	-	-	-	-
Stage 2	590	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	13.1	0	0.8
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	161	597	814	-
HCM Lane V/C Ratio	-	-	0.021	0.046	0.066	-
HCM Control Delay (s)	-	-	27.8	11.3	9.7	-
HCM Lane LOS	-	-	D	B	A	-
HCM 95th %tile Q(veh)	-	-	0.1	0.1	0.2	-

2010 HCM Intersection Capacity Analysis
 8: Corporate Crossing & Discovery Blvd

2029 Horizon
 Timing Plan: AM

Intersection												
Int Delay, s/veh	2.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔	↔	↔	↔	↔	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	9	3	22	8	3	14	121	683	22	47	334	152
Future Vol, veh/h	9	3	22	8	3	14	121	683	22	47	334	152
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	-	180	-	-	180	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	10	3	24	9	3	15	132	742	24	51	363	165

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1185	1578	264	1303
Stage 1	548	548	-	1018
Stage 2	637	1030	-	285
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	144	108	734	118
Stage 1	488	515	-	254
Stage 2	432	309	-	698
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	117	89	734	96
Mov Cap-2 Maneuver	117	89	-	96
Stage 1	426	484	-	221
Stage 2	363	269	-	630

Approach	EB	WB	NB	SB
HCM Control Delay, s	21.7	27.5	1.3	0.8
HCM LOS	C	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1035	-	-	108	734	96	282	843	-	-
HCM Lane V/C Ratio	0.127	-	-	0.121	0.033	0.091	0.066	0.061	-	-
HCM Control Delay (s)	9	-	-	42.9	10.1	46.2	18.7	9.5	-	-
HCM Lane LOS	A	-	-	E	B	E	C	A	-	-
HCM 95th %tile Q(veh)	0.4	-	-	0.4	0.1	0.3	0.2	0.2	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon
Timing Plan: PM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↖	↗	↘	↙	↕	↔	↔	↕	↗
Traffic Volume (vph)	0	0	0	192	72	53	387	460	0	0	147	123
Future Volume (vph)	0	0	0	192	72	53	387	460	0	0	147	123
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	211	79	58	425	505	0	0	162	135
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	211	79	58	425	505	0	0	162	135
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8		5	5	6		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				41.0	41.0	41.0	25.0				39.0	39.0
Total Split (%)				39.0%	39.0%	39.0%	23.8%				37.1%	37.1%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				28.4	28.4	28.4	46.9	51.5			34.8	34.8
Actuated g/C Ratio				0.32	0.32	0.32	0.53	0.58			0.39	0.39
v/c Ratio				0.37	0.07	0.10	0.60	0.47			0.08	0.19
Control Delay				25.2	20.8	0.9	21.7	15.6			19.3	4.9
Queue Delay				0.0	0.0	0.0	0.2	0.5			0.0	0.0
Total Delay				25.2	20.8	0.9	21.9	16.1			19.3	4.9
LOS				C	C	A	C	B			B	A
Approach Delay					20.2			18.7			12.8	
Approach LOS					C			B			B	
Queue Length 50th (ft)				88	15	0	120	251			20	0
Queue Length 95th (ft)				162	34	4	358	424			42	40
Internal Link Dist (ft)	1684				1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				733	1465	719	881	1258			1990	701
Starvation Cap Reductn				0	0	0	68	365			0	0
Spillback Cap Reductn				0	0	0	0	0			0	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				0.29	0.05	0.08	0.52	0.57			0.08	0.19

Intersection Summary	
Cycle Length:	105
Actuated Cycle Length:	89
Natural Cycle:	60
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.77
Intersection Signal Delay:	17.9
Intersection LOS:	B

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon
Timing Plan: PM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	20.0	44.0	41.0
Total Split (%)	19%	42%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary	
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2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon
Timing Plan: PM

Intersection Capacity Utilization 68.2%
Analysis Period (min) 15

ICU Level of Service C

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon
Timing Plan: PM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↕	↔	↔	↕	↔	↔	↕	↔	↔	↕	↔
Traffic Volume (vph)	392	242	404	0	0	0	0	535	228	73	204	0
Future Volume (vph)	392	242	404	0	0	0	0	535	228	73	204	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	436	269	449	0	0	0	0	594	253	81	227	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	436	269	449	0	0	0	0	594	253	81	227	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	41.0	41.0	41.0					44.0	44.0	20.0		
Total Split (%)	39.0%	39.0%	39.0%					41.9%	41.9%	19.0%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	28.4	28.4	28.4					39.9	39.9	46.9	51.5	
Actuated g/C Ratio	0.32	0.32	0.32					0.45	0.45	0.53	0.58	
v/c Ratio	0.77	0.24	0.55					0.37	0.30	0.18	0.11	
Control Delay	37.4	22.5	5.1					18.7	3.7	20.1	15.4	
Queue Delay	1.0	0.0	0.0					0.1	0.0	0.1	0.2	
Total Delay	38.4	22.5	5.1					18.7	3.7	20.2	15.5	
LOS	D	C	A					B	A	C	B	
Approach Delay		21.8						14.2			16.8	
Approach LOS		C						B			B	
Queue Length 50th (ft)	212	56	0					111	0	27	41	
Queue Length 95th (ft)	356	95	65					197	49	61	71	
Internal Link Dist (ft)		1283				1227		625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	733	1465	918					1586	848	616	2389	
Starvation Cap Reductn	0	0	0					0	0	89	1444	
Spillback Cap Reductn	118	0	0					127	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.71	0.18	0.49					0.41	0.30	0.15	0.24	
Intersection Summary												
Cycle Length: 105												
Actuated Cycle Length: 89												
Natural Cycle: 60												
Control Type: Actuated-Uncoordinated												
Maximum v/c Ratio: 0.77												
Intersection Signal Delay: 18.3												
Intersection LOS: B												

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon
Timing Plan: PM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	25.0	39.0	41.0
Total Split (%)	24%	37%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon
Timing Plan: PM

Intersection Capacity Utilization 68.2%
Analysis Period (min) 15

ICU Level of Service C

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Gas Sttaion Driveway

2029 Horizon
Timing Plan: PM

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔	↔	↔	↕↕	↕↕	↔
Traffic Vol, veh/h	0	9	0	767	552	65
Future Vol, veh/h	0	9	0	767	552	65
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	170	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	10	0	834	600	71

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	1017	300	671	0	0
Stage 1	600	-	-	-	-
Stage 2	417	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-
Pot Cap-1 Maneuver	234	696	915	-	-
Stage 1	511	-	-	-	-
Stage 2	633	-	-	-	-
Platoon blocked, %					
Mov Cap-1 Maneuver	234	696	915	-	-
Mov Cap-2 Maneuver	234	-	-	-	-
Stage 1	511	-	-	-	-
Stage 2	633	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.2	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	915	-	696	-	-
HCM Lane V/C Ratio	-	-	0.014	-	-
HCM Control Delay (s)	0	-	10.2	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2029 Horizon
Timing Plan: PM

Intersection						
Int Delay, s/veh	0.8					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↕↕	↕↕	↔	↔
Traffic Vol, veh/h	11	44	709	1	23	540
Future Vol, veh/h	11	44	709	1	23	540
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	13	51	815	1	26	621

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1179	408	0	0	816
Stage 1	816	-	-	-	-
Stage 2	363	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	183	593	-	-	807
Stage 1	395	-	-	-	-
Stage 2	674	-	-	-	-
Platoon blocked, %					
Mov Cap-1 Maneuver	177	593	-	-	807
Mov Cap-2 Maneuver	177	-	-	-	-
Stage 1	395	-	-	-	-
Stage 2	652	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	14.7	0	0.4
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	177	593	807	-
HCM Lane V/C Ratio	-	-	0.071	0.085	0.033	-
HCM Control Delay (s)	-	-	26.9	11.6	9.6	-
HCM Lane LOS	-	-	D	B	A	-
HCM 95th %tile Q(veh)	-	-	0.2	0.3	0.1	-

2010 HCM Intersection Capacity Analysis
 8: Corporate Crossing & Discovery Blvd

2029 Horizon
 Timing Plan: PM

Intersection												
Int Delay, s/veh	12.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔	↔	↔	↔	↔	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	147	17	60	16	8	64	6	484	8	36	466	28
Future Vol, veh/h	147	17	60	16	8	64	6	484	8	36	466	28
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	-	180	-	-	180	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	160	18	65	17	9	70	7	526	9	39	507	30

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	882	1149	269	886
Stage 1	600	600	-	545
Stage 2	282	549	-	341
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	241	197	729	239
Stage 1	455	488	-	490
Stage 2	701	515	-	647
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	203	188	729	195
Mov Cap-2 Maneuver	203	188	-	195
Stage 1	452	469	-	487
Stage 2	619	511	-	544

Approach	EB	WB	NB	SB
HCM Control Delay, s	65.6	14.9	0.1	0.6
HCM LOS	F	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1027	-	-	201	729	195	550	1029	-	-
HCM Lane V/C Ratio	0.006	-	-	0.887	0.089	0.089	0.142	0.038	-	-
HCM Control Delay (s)	8.5	-	-	85.8	10.4	25.3	12.6	8.6	-	-
HCM Lane LOS	A	-	-	F	B	D	B	A	-	-
HCM 95th %tile Q(veh)	0	-	-	6.9	0.3	0.3	0.5	0.1	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon Plus Site Generated
Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↖	↗	↘	↙	↘	↗	↖	↗	↘
Traffic Volume (vph)	0	0	0	462	171	60	756	242	0	0	155	198
Future Volume (vph)	0	0	0	462	171	60	756	242	0	0	155	198
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	508	188	66	831	266	0	0	170	218
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	508	188	66	831	266	0	0	170	218
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				25.0	25.0	25.0	33.0				32.0	32.0
Total Split (%)				27.8%	27.8%	27.8%	36.7%				35.6%	35.6%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				20.5	20.5	20.5	53.8	58.3			27.5	27.5
Actuated g/C Ratio				0.23	0.23	0.23	0.61	0.66			0.31	0.31
v/c Ratio				1.23	0.23	0.14	0.92	0.22			0.11	0.34
Control Delay				155.1	28.8	1.1	32.9	3.0			22.3	5.1
Queue Delay				0.7	0.0	0.0	49.2	0.7			0.0	0.0
Total Delay				155.8	28.8	1.1	82.1	3.8			22.3	5.1
LOS				F	C	A	F	A			C	A
Approach Delay					111.0			63.1			12.6	
Approach LOS					F			E			B	
Queue Length 50th (ft)				-366	46	0	454	25			25	0
Queue Length 95th (ft)				#557	75	4	#695	38			41	50
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				413	827	467	948	1284			1593	646
Starvation Cap Reductn				0	0	0	317	718			0	0
Spillback Cap Reductn				29	0	0	0	0			272	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				1.32	0.23	0.14	1.32	0.47			0.13	0.34

Intersection Summary	
Cycle Length:	90
Actuated Cycle Length:	87.9
Natural Cycle:	90
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	1.23
Intersection Signal Delay:	70.7
Intersection LOS:	E

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon Plus Site Generated
Timing Plan: AM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	19.0	46.0	25.0
Total Split (%)	21%	51%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary	
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2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

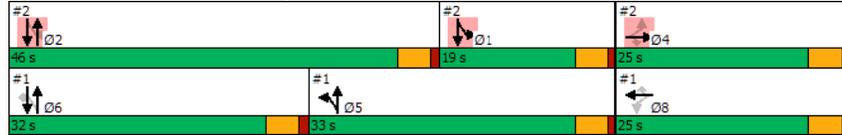
2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection Capacity Utilization 102.1%
Analysis Period (min) 15

ICU Level of Service G

- Volume exceeds capacity, queue is theoretically infinite.
Queue shown is maximum after two cycles.
- # 95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↓	↑↑	↑					↑↑	↑	↓	↑↑	
Traffic Volume (vph)	162	251	481	0	0	0	0	879	125	109	492	0
Future Volume (vph)	162	251	481	0	0	0	0	879	125	109	492	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	180	279	534	0	0	0	0	977	139	121	547	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	180	279	534	0	0	0	0	977	139	121	547	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	25.0	25.0	25.0					46.0	46.0	19.0		
Total Split (%)	27.8%	27.8%	27.8%					51.1%	51.1%	21.1%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	20.5	20.5	20.5					41.6	41.6	53.8	58.3	
Actuated g/C Ratio	0.23	0.23	0.23					0.47	0.47	0.61	0.66	
v/c Ratio	0.44	0.34	0.81					0.58	0.17	0.29	0.23	
Control Delay	33.4	29.9	20.7					19.0	3.2	26.7	14.9	
Queue Delay	0.0	0.0	0.0					0.5	0.0	0.3	4.0	
Total Delay	33.4	29.9	20.7					19.5	3.2	26.9	18.9	
LOS	C	C	C					B	A	C	B	
Approach Delay		25.6						17.5			20.4	
Approach LOS		C						B			C	
Queue Length 50th (ft)	88	70	78					209	0	57	168	
Queue Length 95th (ft)	152	106	#259					272	31	m60	m150	
Internal Link Dist (ft)		1283			1227			625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	413	827	661					1673	821	463	2439	
Starvation Cap Reductn	0	0	0					0	0	84	1787	
Spillback Cap Reductn	0	0	0					293	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.44	0.34	0.81					0.71	0.17	0.32	0.84	

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 87.9
Natural Cycle: 90
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 1.23
Intersection Signal Delay: 21.1

Intersection LOS: C

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: AM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	33.0	32.0	25.0
Total Split (%)	37%	36%	28%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection Capacity Utilization 102.1% ICU Level of Service G

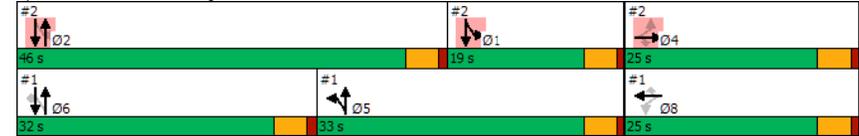
Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
3: Driveway 1 & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	1.5					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑↑					↑
Traffic Vol, veh/h	227	257	0	0	0	80
Future Vol, veh/h	227	257	0	0	0	80
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	-	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	247	279	0	0	0	87

Major/Minor	Major1	Minor1
Conflicting Flow All	0	0
Stage 1	-	-
Stage 2	-	-
Critical Hdwy	-	-
Critical Hdwy Stg 1	-	-
Critical Hdwy Stg 2	-	-
Follow-up Hdwy	-	-
Pot Cap-1 Maneuver	-	0
Stage 1	-	0
Stage 2	-	0
Platoon blocked, %	-	-
Mov Cap-1 Maneuver	-	-
Mov Cap-2 Maneuver	-	-
Stage 1	-	-
Stage 2	-	-

Approach	EB	NB
HCM Control Delay, s	0	10.6
HCM LOS		B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR
Capacity (veh/h)	735	-	-
HCM Lane V/C Ratio	0.118	-	-
HCM Control Delay (s)	10.6	-	-
HCM Lane LOS	B	-	-
HCM 95th %tile Q(veh)	0.4	-	-

2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Driveway 2

2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection												
Int Delay, s/veh	62.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑				↑↑	↑↑	↑↑	↑↑	↑↑	↑↑	↑↑
Traffic Vol, veh/h	0	0	6	58	0	275	0	737	95	330	615	32
Future Vol, veh/h	0	0	6	58	0	275	0	737	95	330	615	32
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	0	170	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	7	63	0	299	0	801	103	359	668	35

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1787	2290	334	1905
Stage 1	1386	1386	-	853
Stage 2	401	904	-	1052
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	51	39	662	-
Stage 1	151	209	-	320
Stage 2	597	354	-	242
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	8	8	662	-
Mov Cap-2 Maneuver	8	8	-	-
Stage 1	151	43	-	320
Stage 2	275	354	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	10.5	\$ 384.6	0	6.5
HCM LOS	B	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	890	-	-	662	14	555	748	-	-
HCM Lane V/C Ratio	-	-	-	0.01	4.503	0.539	0.48	-	-
HCM Control Delay (s)	0	-	-	10.5	2119.1	18.8	14.2	2.7	-
HCM Lane LOS	A	-	-	B	F	C	B	A	-
HCM 95th %tile Q(veh)	0	-	-	0	8.8	3.2	2.6	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	1.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	12	46	787	25	83	598
Future Vol, veh/h	12	46	787	25	83	598
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	14	53	905	29	95	687

Major/Minor	Minor1	Major1	Major2	Minor2
Conflicting Flow All	1454	467	0	934
Stage 1	920	-	-	-
Stage 2	534	-	-	-
Critical Hdwy	6.84	6.94	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-
Follow-up Hdwy	3.52	3.32	-	2.22
Pot Cap-1 Maneuver	121	542	-	729
Stage 1	349	-	-	-
Stage 2	552	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	105	542	-	729
Mov Cap-2 Maneuver	105	-	-	-
Stage 1	349	-	-	-
Stage 2	480	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	19	0	1.3
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	105	542	729	-
HCM Lane V/C Ratio	-	-	0.131	0.098	0.131	-
HCM Control Delay (s)	-	-	44.4	12.4	10.7	-
HCM Lane LOS	-	-	E	B	B	-
HCM 95th %tile Q(veh)	-	-	0.4	0.3	0.4	-

2010 HCM Intersection Capacity Analysis
6: Capital Blvd & Driveway 3

2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	1.9					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↔	↔		↔	↔
Traffic Vol, veh/h	15	46	28	0	0	9
Future Vol, veh/h	15	46	28	0	0	9
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	50	30	0	0	10

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	30	0	112
Stage 1	-	-	30
Stage 2	-	-	82
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1583	-	885
Stage 1	-	-	993
Stage 2	-	-	941
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1583	-	876
Mov Cap-2 Maneuver	-	-	876
Stage 1	-	-	983
Stage 2	-	-	941

Approach	EB	WB	SB
HCM Control Delay, s	1.8	0	8.5
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1583	-	-	-	1044
HCM Lane V/C Ratio	0.01	-	-	-	0.009
HCM Control Delay (s)	7.3	0	-	-	8.5
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0

2010 HCM Intersection Capacity Analysis
7: Capital Blvd & Driveway 4

2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection						
Int Delay, s/veh	6.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	↕
Traffic Vol, veh/h	37	9	6	0	0	22
Future Vol, veh/h	37	9	6	0	0	22
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	40	10	7	0	0	24

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	7	0	97
Stage 1	-	-	7
Stage 2	-	-	90
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1614	-	902
Stage 1	-	-	1016
Stage 2	-	-	934
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1614	-	879
Mov Cap-2 Maneuver	-	-	879
Stage 1	-	-	991
Stage 2	-	-	934

Approach	EB	WB	SB
HCM Control Delay, s	5.9	0	8.4
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1614	-	-	-	1075
HCM Lane V/C Ratio	0.025	-	-	-	0.022
HCM Control Delay (s)	7.3	0	-	-	8.4
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.1	-	-	-	0.1

2010 HCM Intersection Capacity Analysis
8: Corporate Crossing & Discovery Blvd

2029 Horizon Plus Site Generated
Timing Plan: AM

Intersection												
Int Delay, s/veh	2.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕	↕	↕	↕	↕	↕	↕	↕	↕	↕
Traffic Vol, veh/h	9	3	22	8	3	14	121	793	22	47	401	152
Future Vol, veh/h	9	3	22	8	3	14	121	793	22	47	401	152
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	180	-	-	180	-	-	-
Veh in Median Storage, #	-	0	-	0	-	0	-	0	-	0	-	-
Grade, %	-	0	-	0	-	0	-	0	-	0	-	0
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	10	3	24	9	3	15	132	862	24	51	436	165

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1318	1771	301	1460
Stage 1	621	621	-	1138
Stage 2	697	1150	-	322
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	115	82	695	90
Stage 1	442	477	-	214
Stage 2	398	271	-	664
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	91	66	695	71
Mov Cap-2 Maneuver	91	66	-	71
Stage 1	382	445	-	185
Stage 2	330	234	-	594

Approach	EB	WB	NB	SB
HCM Control Delay, s	26.6	35.2	1.2	0.8
HCM LOS	D	E		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	972	-	-	83	695	71	227	760	-	-
HCM Lane V/C Ratio	0.135	-	-	0.157	0.034	0.122	0.081	0.067	-	-
HCM Control Delay (s)	9.3	-	-	56.3	10.4	62.7	22.3	10.1	-	-
HCM Lane LOS	A	-	-	F	B	F	C	B	-	-
HCM 95th %tile Q(veh)	0.5	-	-	0.5	0.1	0.4	0.3	0.2	-	-

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon Plus Site Generated
Timing Plan: PM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↖	↗	↘	↙	↘	↗	↖	↗	↘
Traffic Volume (vph)	0	0	0	339	72	53	726	488	0	0	183	123
Future Volume (vph)	0	0	0	339	72	53	726	488	0	0	183	123
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	373	79	58	798	536	0	0	201	135
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	373	79	58	798	536	0	0	201	135
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0			5.0	5.0	
Minimum Split (s)				22.5	22.5	22.5	9.5			22.5	22.5	
Total Split (s)				41.0	41.0	41.0	25.0			39.0	39.0	
Total Split (%)				39.0%	39.0%	39.0%	23.8%			37.1%	37.1%	
Yellow Time (s)				3.5	3.5	3.5	3.5			3.5	3.5	
All-Red Time (s)				1.0	1.0	1.0	1.0			1.0	1.0	
Lost Time Adjust (s)				0.0	0.0	0.0	0.0			0.0	0.0	
Total Lost Time (s)				4.5	4.5	4.5	4.5			4.5	4.5	
Lead/Lag							Lag			Lead	Lead	
Lead-Lag Optimize?							Yes			Yes	Yes	
Recall Mode				None	None	None	None			Max	Max	
Act Effct Green (s)				32.5	32.5	32.5	55.2	59.7		34.6	34.6	
Actuated g/C Ratio				0.32	0.32	0.32	0.55	0.59		0.34	0.34	
v/c Ratio				0.66	0.07	0.10	1.06	0.49		0.12	0.21	
Control Delay				35.5	23.4	0.8	71.3	11.0		24.0	5.4	
Queue Delay				0.0	0.0	0.0	17.8	3.9		0.0	0.0	
Total Delay				35.5	23.4	0.8	89.1	14.8		24.0	5.4	
LOS				D	C	A	F	B		C	A	
Approach Delay					29.7			59.2			16.5	
Approach LOS					C			E			B	
Queue Length 50th (ft)				205	18	0	-636	129		34	0	
Queue Length 95th (ft)				305	35	4	#877	250		53	41	
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				640	1280	642	754	1098		1738	629	
Starvation Cap Reductn				0	0	0	174	463		0	0	
Spillback Cap Reductn				0	0	0	0	0		67	0	
Storage Cap Reductn				0	0	0	0	0		0	0	
Reduced v/c Ratio				0.58	0.06	0.09	1.38	0.84		0.12	0.21	

Intersection Summary	
Cycle Length:	105
Actuated Cycle Length:	101.2
Natural Cycle:	80
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	1.06
Intersection Signal Delay:	45.7
Intersection LOS:	D

2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon Plus Site Generated
Timing Plan: PM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	20.0	44.0	41.0
Total Split (%)	19%	42%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary	
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2010 HCM Intersection Capacity Analysis
1: I-30 WBFR & N Stodghill Rd

2029 Horizon Plus Site Generated
Timing Plan: PM

Intersection Capacity Utilization 102.4% ICU Level of Service G

Analysis Period (min) 15

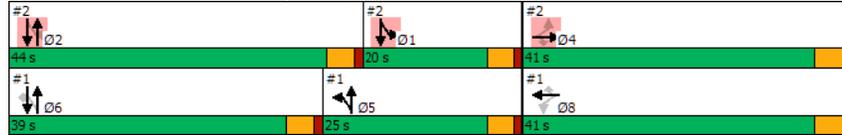
- Volume exceeds capacity, queue is theoretically infinite.

Queue shown is maximum after two cycles.

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: PM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↕↕	↔					↕↕	↕↕	↔	↕↕	↔
Traffic Volume (vph)	392	426	661	0	0	0	0	902	239	146	314	0
Future Volume (vph)	392	426	661	0	0	0	0	902	239	146	314	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	436	473	734	0	0	0	0	1002	266	162	349	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	436	473	734	0	0	0	0	1002	266	162	349	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	41.0	41.0	41.0					44.0	44.0	20.0		
Total Split (%)	39.0%	39.0%	39.0%					41.9%	41.9%	19.0%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	32.5	32.5	32.5					39.6	39.6	55.2	59.7	
Actuated g/C Ratio	0.32	0.32	0.32					0.39	0.39	0.55	0.59	
v/c Ratio	0.77	0.42	0.87					0.72	0.35	0.44	0.17	
Control Delay	40.7	27.8	22.5					30.6	6.2	47.0	18.6	
Queue Delay	5.8	0.0	0.0					1.6	0.0	0.0	1.1	
Total Delay	46.5	27.8	22.5					32.2	6.2	47.0	19.7	
LOS	D	C	C					C	A	D	B	
Approach Delay		30.4						26.7			28.4	
Approach LOS		C						C			C	
Queue Length 50th (ft)	251	124	156					304	17	77	87	
Queue Length 95th (ft)	368	170	#411					383	71	169	133	
Internal Link Dist (ft)		1283			1227			625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	640	1280	887					1385	758	369	2086	
Starvation Cap Reductn	0	0	0					0	0	0	1474	
Spillback Cap Reductn	149	0	0					213	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.89	0.37	0.83					0.85	0.35	0.44	0.57	

Intersection Summary

Cycle Length: 105

Actuated Cycle Length: 101.2

Natural Cycle: 80

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 1.06

Intersection Signal Delay: 28.7

Intersection LOS: C

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: PM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	25.0	39.0	41.0
Total Split (%)	24%	37%	39%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis
2: N Stodghill Rd & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: PM

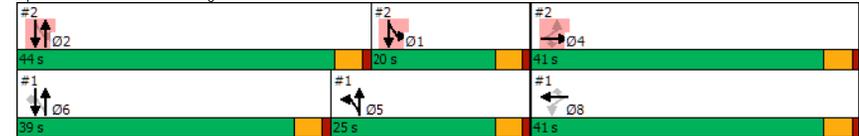
Intersection Capacity Utilization 102.4% ICU Level of Service G

Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



2010 HCM Intersection Capacity Analysis
3: Driveway 1 & I-30 EBFR

2029 Horizon Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	1.4					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑↑					↑
Traffic Vol, veh/h	554	257	0	0	0	102
Future Vol, veh/h	554	257	0	0	0	102
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	-	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	602	279	0	0	0	111

Major/Minor	Major1	Minor1
Conflicting Flow All	0	441
Stage 1	-	-
Stage 2	-	-
Critical Hdwy	-	6.94
Critical Hdwy Stg 1	-	-
Critical Hdwy Stg 2	-	-
Follow-up Hdwy	-	3.32
Pot Cap-1 Maneuver	-	564
Stage 1	-	0
Stage 2	-	0
Platoon blocked, %	-	-
Mov Cap-1 Maneuver	-	564
Mov Cap-2 Maneuver	-	-
Stage 1	-	-
Stage 2	-	-

Approach	EB	NB
HCM Control Delay, s	0	12.9
HCM LOS		B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR
Capacity (veh/h)	564	-	-
HCM Lane V/C Ratio	0.197	-	-
HCM Control Delay (s)	12.9	-	-
HCM Lane LOS	B	-	-
HCM 95th %tile Q(veh)	0.7	-	-

2010 HCM Intersection Capacity Analysis
4: Corporate Crossing/N Stodghill Rd & Driveway 2

2029 Horizon Plus Site Generated
Timing Plan: PM

Intersection												
Int Delay, s/veh	120.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑			↑	↑	↑	↑↑		↑↑	↑	↑
Traffic Vol, veh/h	0	0	8	74	0	351	0	795	96	331	588	57
Future Vol, veh/h	0	0	8	74	0	351	0	795	96	331	588	57
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	0	170	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	9	80	0	382	0	864	104	360	639	62

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1791	2327	320	1956
Stage 1	1359	1359	-	916
Stage 2	432	968	-	1040
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	51	37	676	-38
Stage 1	157	215	-	293
Stage 2	572	330	-	246
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	4	6	676	-11
Mov Cap-2 Maneuver	4	6	-	-11
Stage 1	157	34	-	293
Stage 2	159	330	-	-38

Approach	EB	WB	NB	SB
HCM Control Delay, s	10.4	\$ 634.1	0	7
HCM LOS	B	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	892	-	-	676	11	529	707	-	-
HCM Lane V/C Ratio	-	-	-	0.013	7.312	0.721	0.509	-	-
HCM Control Delay (s)	0	-	-	10.3	3511.5	27.5	15.2	3	-
HCM Lane LOS	A	-	-	B	F	D	C	A	-
HCM 95th %tile Q(veh)	0	-	-	0	11.3	5.9	2.9	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

2010 HCM Intersection Capacity Analysis
5: Corporate Crossing & Capital Blvd

2029 Horizon Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	1.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↔	↔	↔	↔
Traffic Vol, veh/h	23	73	804	16	59	614
Future Vol, veh/h	23	73	804	16	59	614
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	-	105	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	26	84	924	18	68	706

Major/Minor	Minor1	Major1	Major2	Minor2
Conflicting Flow All	1422	471	0	942
Stage 1	933	-	-	-
Stage 2	489	-	-	-
Critical Hdwy	6.84	6.94	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-
Follow-up Hdwy	3.52	3.32	-	2.22
Pot Cap-1 Maneuver	127	539	-	724
Stage 1	343	-	-	-
Stage 2	582	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	115	539	-	724
Mov Cap-2 Maneuver	115	-	-	-
Stage 1	343	-	-	-
Stage 2	527	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	20.7	0	0.9
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	115	539	724	-
HCM Lane V/C Ratio	-	-	0.23	0.156	0.094	-
HCM Control Delay (s)	-	-	45.4	12.9	10.5	-
HCM Lane LOS	-	-	E	B	B	-
HCM 95th %tile Q(veh)	-	-	0.8	0.5	0.3	-

2010 HCM Intersection Capacity Analysis
6: Capital Blvd & Driveway 3

2029 Horizon Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↔	↔		↔	↔
Traffic Vol, veh/h	15	44	32	0	0	11
Future Vol, veh/h	15	44	32	0	0	11
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	48	35	0	0	12

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	35	0	115
Stage 1	-	-	35
Stage 2	-	-	80
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1576	-	881
Stage 1	-	-	987
Stage 2	-	-	943
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1576	-	872
Mov Cap-2 Maneuver	-	-	872
Stage 1	-	-	977
Stage 2	-	-	943

Approach	EB	WB	SB
HCM Control Delay, s	1.9	0	8.5
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1576	-	-	-	1038
HCM Lane V/C Ratio	0.01	-	-	-	0.012
HCM Control Delay (s)	7.3	0	-	-	8.5
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0

2010 HCM Intersection Capacity Analysis
7: Capital Blvd & Driveway 4

2029 Horizon Plus Site Generated
Timing Plan: PM

Intersection						
Int Delay, s/veh	6.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	↕
Traffic Vol, veh/h	37	7	3	0	0	28
Future Vol, veh/h	37	7	3	0	0	28
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	40	8	3	0	0	30

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	3	0	91
Stage 1	-	-	3
Stage 2	-	-	88
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1619	-	909
Stage 1	-	-	1020
Stage 2	-	-	935
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1619	-	886
Mov Cap-2 Maneuver	-	-	886
Stage 1	-	-	995
Stage 2	-	-	935

Approach	EB	WB	SB
HCM Control Delay, s	6.1	0	8.4
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1619	-	-	-	1081
HCM Lane V/C Ratio	0.025	-	-	-	0.028
HCM Control Delay (s)	7.3	0	-	-	8.4
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.1	-	-	-	0.1

2010 HCM Intersection Capacity Analysis
8: Corporate Crossing & Discovery Blvd

2029 Horizon Plus Site Generated
Timing Plan: PM

Intersection												
Int Delay, s/veh	21.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕	↕	↕	↕	↕	↕	↕	↕	↕	↕
Traffic Vol, veh/h	147	17	60	16	8	64	6	594	8	36	551	28
Future Vol, veh/h	147	17	60	16	8	64	6	594	8	36	551	28
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None									
Storage Length	-	-	0	0	-	180	-	-	180	-	-	-
Veh in Median Storage, #	-	0	-	0	-	0	-	0	-	0	-	-
Grade, %	-	0	-	0	-	0	-	0	-	0	-	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	160	18	65	17	9	70	7	646	9	39	599	30

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1034	1361	315	1052
Stage 1	692	692	-	665
Stage 2	342	669	-	387
Critical Hdwy	7.54	6.54	6.94	7.54
Critical Hdwy Stg 1	6.54	5.54	-	6.54
Critical Hdwy Stg 2	6.54	5.54	-	6.54
Follow-up Hdwy	3.52	4.02	3.32	3.52
Pot Cap-1 Maneuver	186	147	681	181
Stage 1	400	443	-	416
Stage 2	646	454	-	608
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	153	140	681	142
Mov Cap-2 Maneuver	153	140	-	142
Stage 1	397	424	-	413
Stage 2	563	451	-	504

Approach	EB	WB	NB	SB
HCM Control Delay, s	139	17.8	0.1	0.5
HCM LOS	F	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	949	-	-	152	681	142	468	928	-	-
HCM Lane V/C Ratio	0.007	-	-	1.173	0.096	0.122	0.167	0.042	-	-
HCM Control Delay (s)	8.8	-	-	185.9	10.8	33.9	14.2	9.1	-	-
HCM Lane LOS	A	-	-	F	B	D	B	A	-	-
HCM 95th %tile Q(veh)	0	-	-	10	0.3	0.4	0.6	0.1	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

2010 HCM Intersection Capacity Analysis 2024 Background Plus Site (With Splits Optimization)

1: I-30 WBFR & N Stodghill Rd

Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↖	↗	↘	↖	↗	↘	↖	↗	↘
Traffic Volume (vph)	0	0	0	447	162	57	732	231	0	0	149	188
Future Volume (vph)	0	0	0	447	162	57	732	231	0	0	149	188
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	491	178	63	804	254	0	0	164	207
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	491	178	63	804	254	0	0	164	207
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				33.0	33.0	33.0	34.0				23.0	23.0
Total Split (%)				36.7%	36.7%	36.7%	37.8%				25.6%	25.6%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				27.0	27.0	27.0	47.5	52.0			18.5	18.5
Actuated g/C Ratio				0.31	0.31	0.31	0.54	0.59			0.21	0.21
v/c Ratio				0.91	0.16	0.11	0.96	0.23			0.15	0.42
Control Delay				51.9	22.7	0.4	40.2	4.0			29.5	7.5
Queue Delay				2.8	0.0	0.0	44.0	0.7			0.1	0.0
Total Delay				54.7	22.7	0.4	84.2	4.8			29.6	7.5
LOS				D	C	A	F	A			C	A
Approach Delay					42.2			65.1				17.3
Approach LOS					D			E				B
Queue Length 50th (ft)				262	37	0	446	24			28	0
Queue Length 95th (ft)				#442	62	2	#721	36			46	56
Internal Link Dist (ft)	1684				1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				574	1147	599	846	1113			1070	496
Starvation Cap Reductn				0	0	0	199	574			0	0
Spillback Cap Reductn				31	0	0	0	0			271	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				0.90	0.16	0.11	1.24	0.47			0.21	0.42

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 88
Natural Cycle: 90
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 0.96
Intersection Signal Delay: 49.2
Intersection LOS: D

2010 HCM Intersection Capacity Analysis 2024 Background Plus Site (With Splits Optimization)

1: I-30 WBFR & N Stodghill Rd

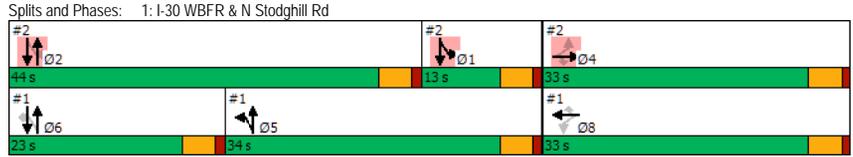
Timing Plan: AM

Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	13.0	44.0	33.0
Total Split (%)	14%	49%	37%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary

2010 HCM Intersection Capacity Analysis 2024 Background Plus Site (With Splits Optimization)
 1: I-30 WBFR & N Stodghill Rd
 Timing Plan: AM

Intersection Capacity Utilization 99.2% ICU Level of Service F
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.



2010 HCM Intersection Capacity Analysis 2024 Background Plus Site (With Splits Optimization)
 2: N Stodghill Rd & I-30 EBFR
 Timing Plan: AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↕	↗					↕	↗	↔	↕	↗
Traffic Volume (vph)	154	247	470	0	0	0	0	851	119	107	474	0
Future Volume (vph)	154	247	470	0	0	0	0	851	119	107	474	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	171	274	522	0	0	0	0	946	132	119	527	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	171	274	522	0	0	0	0	946	132	119	527	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	33.0	33.0	33.0					44.0	44.0	13.0		
Total Split (%)	36.7%	36.7%	36.7%					48.9%	48.9%	14.4%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	27.0	27.0	27.0					39.6	39.6	47.5	52.0	
Actuated g/C Ratio	0.31	0.31	0.31					0.45	0.45	0.54	0.59	
v/c Ratio	0.32	0.25	0.73					0.59	0.17	0.37	0.25	
Control Delay	25.3	23.6	15.9					20.6	3.5	32.0	18.4	
Queue Delay	0.0	0.0	0.0					0.9	0.0	0.0	5.7	
Total Delay	25.3	23.6	15.9					21.5	3.5	32.0	24.1	
LOS	C	C	B					C	A	C	C	
Approach Delay		19.8						19.3			25.6	
Approach LOS		B						B			C	
Queue Length 50th (ft)	73	60	85					210	0	56	166	
Queue Length 95th (ft)	126	91	210					273	31	m73	m202	
Internal Link Dist (ft)		1283				1227		625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	574	1147	742					1591	784	334	2114	
Starvation Cap Reductn	0	0	0					0	0	0	1513	
Spillback Cap Reductn	0	0	0					348	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.30	0.24	0.70					0.76	0.17	0.36	0.88	

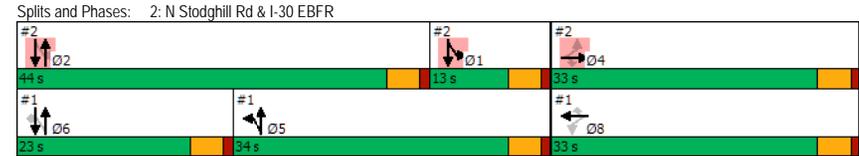
Intersection Summary
 Cycle Length: 90
 Actuated Cycle Length: 88
 Natural Cycle: 90
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 0.96
 Intersection Signal Delay: 20.9
 Intersection LOS: C

2010 HCM Intersection Capacity Analysis 2024 Background Plus Site (With Splits Optimization)
 2: N Stodghill Rd & I-30 EBFR Timing Plan: AM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	34.0	23.0	33.0
Total Split (%)	38%	26%	37%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

2010 HCM Intersection Capacity Analysis 2024 Background Plus Site (With Splits Optimization)
 2: N Stodghill Rd & I-30 EBFR Timing Plan: AM

Intersection Capacity Utilization 99.2% ICU Level of Service F
 Analysis Period (min) 15
 m Volume for 95th percentile queue is metered by upstream signal.



2010 HCM Intersection Capacity Analysis 2029 Horizon Plus Site (With Splits Optimization)
 1: I-30 WBFR & N Stodghill Rd Timing Plan: AM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				↖	↖	↖	↖	↖	↖	↖	↖	↖
Traffic Volume (vph)	0	0	0	462	171	60	756	242	0	0	155	198
Future Volume (vph)	0	0	0	462	171	60	756	242	0	0	155	198
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Adj. Flow (vph)	0	0	0	508	188	66	831	266	0	0	170	218
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	508	188	66	831	266	0	0	170	218
Turn Type				Perm	NA	Perm	pm+pt	NA			NA	Perm
Protected Phases					8			5	5		6	
Permitted Phases				8		8	5	6				6
Detector Phase				8	8	8	5	5	6		6	6
Switch Phase												
Minimum Initial (s)				5.0	5.0	5.0	5.0				5.0	5.0
Minimum Split (s)				22.5	22.5	22.5	9.5				22.5	22.5
Total Split (s)				33.0	33.0	33.0	34.0				23.0	23.0
Total Split (%)				36.7%	36.7%	36.7%	37.8%				25.6%	25.6%
Yellow Time (s)				3.5	3.5	3.5	3.5				3.5	3.5
All-Red Time (s)				1.0	1.0	1.0	1.0				1.0	1.0
Lost Time Adjust (s)				0.0	0.0	0.0	0.0				0.0	0.0
Total Lost Time (s)				4.5	4.5	4.5	4.5				4.5	4.5
Lead/Lag							Lag				Lead	Lead
Lead-Lag Optimize?							Yes				Yes	Yes
Recall Mode				None	None	None	None				Max	Max
Act Effct Green (s)				27.4	27.4	27.4	48.0	52.5			18.5	18.5
Actuated g/C Ratio				0.31	0.31	0.31	0.54	0.59			0.21	0.21
v/c Ratio				0.93	0.17	0.11	0.99	0.24			0.16	0.43
Control Delay				56.5	22.8	0.7	47.2	4.1			29.7	7.5
Queue Delay				12.0	0.0	0.0	37.2	0.9			0.1	0.0
Total Delay				68.5	22.8	0.7	84.4	5.0			29.8	7.5
LOS				E	C	A	F	A			C	A
Approach Delay					51.4			65.2			17.3	
Approach LOS					D			E			B	
Queue Length 50th (ft)				275	40	0	-478	25			29	0
Queue Length 95th (ft)				#463	66	3	#758	38			48	57
Internal Link Dist (ft)		1684			1350			132			443	
Turn Bay Length (ft)				415		370						500
Base Capacity (vph)				567	1135	594	836	1100			1059	502
Starvation Cap Reductn				0	0	0	199	571			0	0
Spillback Cap Reductn				53	0	0	0	0			274	0
Storage Cap Reductn				0	0	0	0	0			0	0
Reduced v/c Ratio				0.99	0.17	0.11	1.30	0.50			0.22	0.43

Intersection Summary	
Cycle Length:	90
Actuated Cycle Length:	88.9
Natural Cycle:	90
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.99
Intersection Signal Delay:	52.2
Intersection LOS:	D

2010 HCM Intersection Capacity Analysis 2029 Horizon Plus Site (With Splits Optimization)
 1: I-30 WBFR & N Stodghill Rd Timing Plan: AM

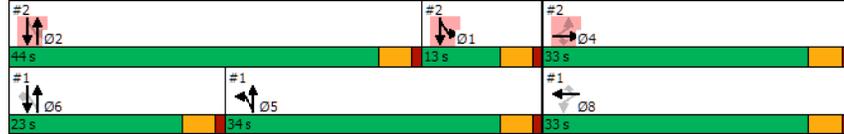
Lane Group	01	02	04
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	1	2	4
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	13.0	44.0	33.0
Total Split (%)	14%	49%	37%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			

Intersection Summary	
Cycle Length:	90
Actuated Cycle Length:	88.9
Natural Cycle:	90
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.99
Intersection Signal Delay:	52.2
Intersection LOS:	D

2010 HCM Intersection Capacity Analysis 2029 Horizon Plus Site (With Splits Optimization)
 1: I-30 WBFR & N Stodghill Rd Timing Plan: AM

Intersection Capacity Utilization 102.1% ICU Level of Service G
 Analysis Period (min) 15
 - Volume exceeds capacity, queue is theoretically infinite.
 Queue shown is maximum after two cycles.
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 1: I-30 WBFR & N Stodghill Rd



2010 HCM Intersection Capacity Analysis 2029 Horizon Plus Site (With Splits Optimization)
 2: N Stodghill Rd & I-30 EBFR Timing Plan: AM

	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↕	↕↕	↕					↕↕	↕	↕	↕↕	
Traffic Volume (vph)	162	251	481	0	0	0	0	879	125	109	492	0
Future Volume (vph)	162	251	481	0	0	0	0	879	125	109	492	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Adj. Flow (vph)	180	279	534	0	0	0	0	977	139	121	547	0
Shared Lane Traffic (%)												
Lane Group Flow (vph)	180	279	534	0	0	0	0	977	139	121	547	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	1	2
Permitted Phases	4		4						2	1	2	
Detector Phase	4	4	4					2	2	1	1	2
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0					5.0	5.0	5.0		
Minimum Split (s)	22.5	22.5	22.5					22.5	22.5	9.5		
Total Split (s)	33.0	33.0	33.0					44.0	44.0	13.0		
Total Split (%)	36.7%	36.7%	36.7%					48.9%	48.9%	14.4%		
Yellow Time (s)	3.5	3.5	3.5					3.5	3.5	3.5		
All-Red Time (s)	1.0	1.0	1.0					1.0	1.0	1.0		
Lost Time Adjust (s)	0.0	0.0	0.0					0.0	0.0	0.0		
Total Lost Time (s)	4.5	4.5	4.5					4.5	4.5	4.5		
Lead/Lag								Lead	Lead	Lag		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					Max	Max	None		
Act Effct Green (s)	27.4	27.4	27.4					39.5	39.5	48.0	52.5	
Actuated g/C Ratio	0.31	0.31	0.31					0.44	0.44	0.54	0.59	
v/c Ratio	0.33	0.26	0.75					0.62	0.18	0.38	0.26	
Control Delay	25.6	23.7	18.1					21.3	3.4	33.6	18.7	
Queue Delay	0.0	0.0	0.0					1.1	0.0	0.0	9.8	
Total Delay	25.6	23.7	18.1					22.5	3.4	33.6	28.5	
LOS	C	C	B					C	A	C	C	
Approach Delay		21.0						20.1			29.4	
Approach LOS		C						C			C	
Queue Length 50th (ft)	77	61	103					219	0	57	172	
Queue Length 95th (ft)	133	93	234					285	32	m72	m202	
Internal Link Dist (ft)		1283			1227			625			132	
Turn Bay Length (ft)	500		500						180			
Base Capacity (vph)	567	1135	727					1573	780	318	2091	
Starvation Cap Reductn	0	0	0					0	0	0	1506	
Spillback Cap Reductn	0	0	0					348	0	0	0	
Storage Cap Reductn	0	0	0					0	0	0	0	
Reduced v/c Ratio	0.32	0.25	0.73					0.80	0.18	0.38	0.94	

Intersection Summary
 Cycle Length: 90
 Actuated Cycle Length: 88.9
 Natural Cycle: 90
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 0.99
 Intersection Signal Delay: 22.7 Intersection LOS: C

2010 HCM Intersection Capacity Analysis 2029 Horizon Plus Site (With Splits Optimization)
 2: N Stodghill Rd & I-30 EBFR Timing Plan: AM

Lane Group	Ø5	Ø6	Ø8
Lane Configurations			
Traffic Volume (vph)			
Future Volume (vph)			
Peak Hour Factor			
Adj. Flow (vph)			
Shared Lane Traffic (%)			
Lane Group Flow (vph)			
Turn Type			
Protected Phases	5	6	8
Permitted Phases			
Detector Phase			
Switch Phase			
Minimum Initial (s)	5.0	5.0	5.0
Minimum Split (s)	9.5	22.5	22.5
Total Split (s)	34.0	23.0	33.0
Total Split (%)	38%	26%	37%
Yellow Time (s)	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0
Lost Time Adjust (s)			
Total Lost Time (s)			
Lead/Lag	Lag	Lead	
Lead-Lag Optimize?	Yes	Yes	
Recall Mode	None	Max	None
Act Effct Green (s)			
Actuated g/C Ratio			
v/c Ratio			
Control Delay			
Queue Delay			
Total Delay			
LOS			
Approach Delay			
Approach LOS			
Queue Length 50th (ft)			
Queue Length 95th (ft)			
Internal Link Dist (ft)			
Turn Bay Length (ft)			
Base Capacity (vph)			
Starvation Cap Reductn			
Spillback Cap Reductn			
Storage Cap Reductn			
Reduced v/c Ratio			
Intersection Summary			

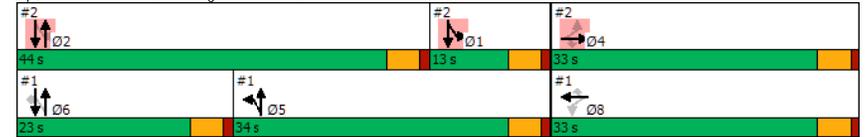
2010 HCM Intersection Capacity Analysis 2029 Horizon Plus Site (With Splits Optimization)
 2: N Stodghill Rd & I-30 EBFR Timing Plan: AM

Intersection Capacity Utilization 102.1% ICU Level of Service G

Analysis Period (min) 15

m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: N Stodghill Rd & I-30 EBFR



Appendix E. TxDOT Driveway Spacing and Deceleration Lane Criteria

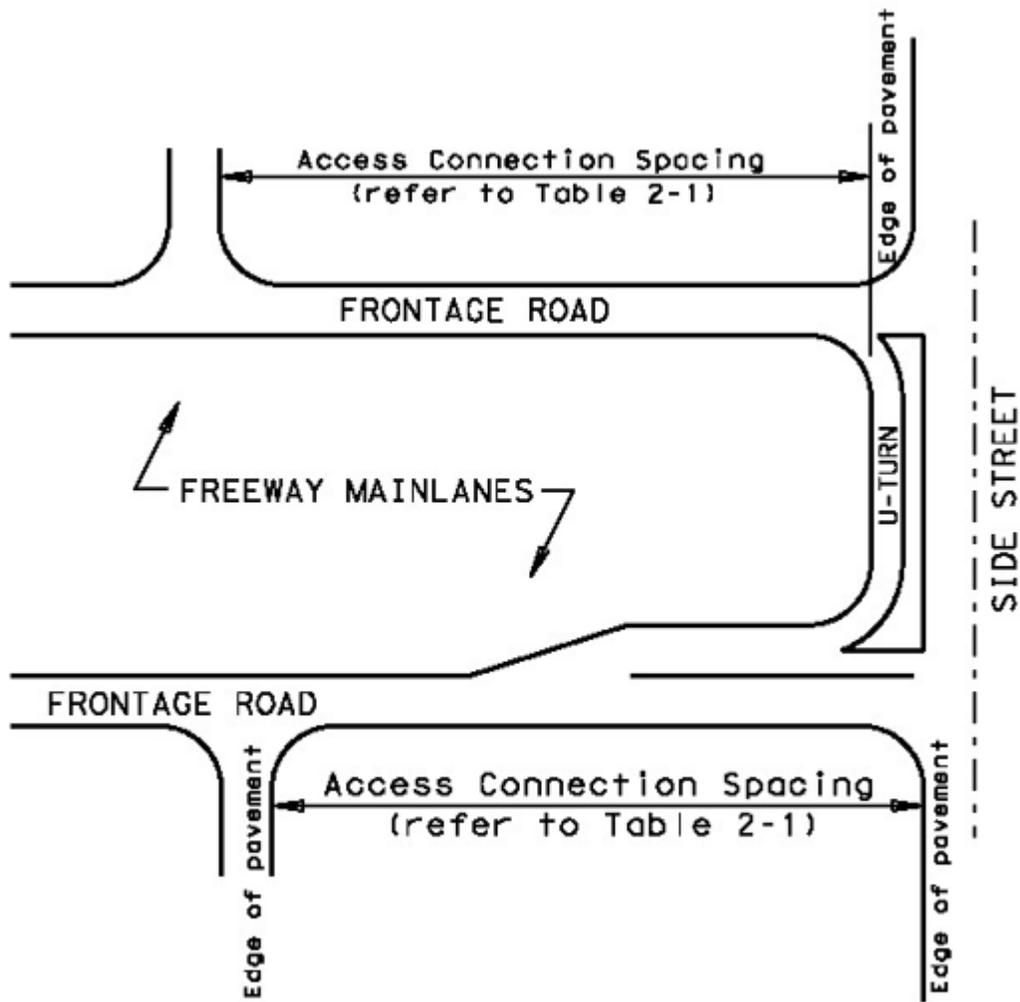


Figure 2-3. Frontage Road U-Turn Spacing Diagram

Table 2-1: Frontage Road Connection Spacing Criteria

Minimum Connection Spacing Criteria for Frontage Roads ⁽¹⁾⁽²⁾		
	Minimum Connection Spacing (feet)	
Posted Speed (mph)	One-Way Frontage Roads	Two-Way Frontage Roads
≤ 30	200	200
35	250	300
40	305	360
45	360	435
≥ 50	425	510

(1) Distances are for passenger cars on level grade. These distances may be adjusted for downgrades and/or significant truck traffic. Where present or projected traffic operations indicate specific needs, consideration may be given to intersection sight distance and operational gap acceptance measurement adjustments.

(2) When these values are not attainable, refer to the variance process as described in Chapter 2, Section 5.

Other State System Highways

This section applies to all state highway system routes that are not new highways on new alignments, freeway mainlanes, or frontage roads.

Table 2-2 provides minimum connection spacing criteria for other state system highways. However, a lesser connection spacing than set forth in this document may be allowed without variance in the situations described in Chapter 2, Section 5.

Table 2-2 does not apply to rural highways outside of metropolitan planning organization boundaries where there is little, if any, potential for development with current ADT volumes below 2000. For those highways, access location and design will be evaluated based on safety and traffic operation considerations. Such considerations may include traffic volumes, posted speed, turning volumes, presence or absence of shoulders, and roadway geometrics.

Table 2-2: Other State Highways Connection Spacing Criteria

Other State Highways Minimum Connection Spacing ⁽¹⁾⁽²⁾⁽³⁾	
Posted Speed (mph)	Distance (ft)
≤ 30	200
35	250
40	305
45	360
≥ 50	425

(1) Distances are for passenger cars on level grade. These distances may be adjusted for downgrades and/or significant truck traffic. Where present or projected traffic operations indicate specific needs, consideration may be given to intersection sight distance and operational gap acceptance measurement adjustments.

(2) When these values are not attainable, refer to the variance process as described in Chapter 2, Section 5.

(3) Access spacing values shown in this table do not apply to rural highways outside of metropolitan planning organization boundaries where there is little, if any, potential for development with current ADT levels below 2000. Access connection spacing below the values shown in this table may be approved based on safety and operational considerations as determined by TxDOT.

Corner clearance refers to the separation of access connections from roadway intersections. Table 2-2 provides minimum corner clearance criteria.

Where adequate access connection spacing cannot be achieved, the permitting authority may allow for a lesser spacing when shared access is established with an abutting property. Where no other alternatives exist, construction of an access connection may be allowed along the property line farthest from the intersection. To provide reasonable access under these conditions but also provide the safest operation, consideration should be given to designing the driveway connection to allow only the right-in turning movement or only the right-in/right out turning movements if feasible.

Auxiliary Lanes

This subsection describes the basic use and functional criteria associated with auxiliary lanes. Auxiliary lanes consist of left-turn and right-turn movements, deceleration, acceleration, and their associated transitions and storage requirements. Left-turn movements may pose challenges at driveways and street intersections. They may increase conflicts, delays, and crashes and often complicate traffic signal timing. These problems are especially acute at major highway intersections

where heavy left-turn movements take place, but also occur where left-turn movements enter or leave driveways serving adjacent land development. As with left-turn movements, right-turn movements pose problems at both driveways and street intersections. Right-turn movements increase conflicts, delays, and crashes, particularly where a speed differential of 10 mph or more exists between the speed of through traffic and the vehicles that are turning right.

Table 2-3 presents thresholds for auxiliary lanes. These thresholds represent examples of where left turn and right turn lanes should be considered. Refer to the TxDOT *Roadway Design Manual*, Chapter 3, for proper acceleration and deceleration lengths.

Table 2-3: Auxiliary Lane Thresholds

Median Type	Left Turn to or from Property		Right Turn to or from Property ⁽⁵⁾	
	Acceleration	Deceleration	Acceleration	Deceleration
Non-Traversable (Raised Median)	(2)	All	Right turn egress > 200 vph (4)	<ul style="list-style-type: none"> ◆ > 45 mph where right turn volume is > 50 vph (3) ◆ ≤ 45 where right turn volume is > 60 vph (3)
Traversable (Undivided Road)	(2)	(1)	Same as above	Same as Above

(1) Refer to Table 3-11, TxDOT *Roadway Design Manual*, for alternative left-turn-bay operational considerations.

(2) A left-turn acceleration lane may be required if it would provide a benefit to the safety and operation of the roadway. A left-turn acceleration lane would interfere with the left-turn ingress movements to any other access connection.

(3) Additional right-turn considerations:

- ◆ Conditions for providing an exclusive right-turn lane when the right-turn traffic volume projections are less than indicated in Table 2-3:
 - High crash experience
 - Heavier than normal peak flow movements on the main roadway
 - Large volume of truck traffic
 - Highways where sight distance is limited
- ◆ Conditions for NOT requiring a right-turn lane where right-turn volumes are more than indicated in Table 2-3:
 - Dense or built-out corridor where space is limited
 - Where queues of stopped vehicles would block the access to the right turn lane
 - Where sufficient length of property width is not available for the appropriate design

(4) The acceleration lane should not interfere with any downstream access connection.

- ◆ The distance from the end of the acceleration lane taper to the next unsignalized downstream access connection should be equal to or greater than the distances found in Table 2-2.
- ◆ Additionally, if the next access connection is signalized, the distance from the end of the acceleration lane taper to the back of the 90th percentile queue should be greater than or equal to the distances found Table 2-2.

(5) Continuous right-turn lanes can provide mobility benefits both for through movements and for the turning vehicles.^a Access connections within a continuous right turn lane should meet the spacing requirements found in Table 2-2. However, when combined with crossing left in movements, a continuous right-turn lane can introduce additional operational conflicts.

Table 3-11: Guide for Left-Turn Lanes on Two-Lane Highways

Opposing Volume (vph)	Advancing Volume (vph)			
	5 % Left Turns	10 % Left Turns	20 % Left Turns	30 % Left Turns
40 mph [60 km/h] Design Speed				
800	330	240	180	160
600	410	305	225	200
400	510	380	275	245
200	640	470	350	305
100	720	515	390	340
50 mph [80 km/h] Design Speed				
800	280	210	165	135
600	350	260	195	170
400	430	320	240	210
200	550	400	300	270
100	615	445	335	295
60 mph [100 km/h] Design Speed				
800	230	170	125	115
600	290	210	160	140
400	365	270	200	175
200	450	330	250	215
100	505	370	275	240

Right-Turn Deceleration Lanes. Shoulders 10 ft [3.0 m] wide alongside the traffic lanes generally provide sufficient area for acceleration or deceleration of right-turning vehicles. Where the right turn lane is being constructed in addition to the through lanes and shoulders, the minimum right turn lane width is 10 ft [3.0 m] with a 2 ft [0.6 m] surfaced shoulder. Where speed change lanes are used, they should be provided symmetrically along both sides of the highway for both directions of traffic, thus presenting drivers with a balanced section.

A deceleration-acceleration lane on one side of a two-lane highway, such as at a “tee” intersection, results in the appearance of a three-lane highway and may result in driver confusion. In this regard, right-turn speed change lanes are generally inappropriate for “tee” intersection design except where a four lane (2 through, 1 median left turn, 1 right acceleration/deceleration) section is provided.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING OF THE SUBJECT PROPERTY FROM A COMMERCIAL (C) DISTRICT AND LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR COMMERCIAL/RETAIL, MULTI-FAMILY, AND LIGHT INDUSTRIAL LAND USES ON THE SUBJECT PROPERTY, BEING A 55.80-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 22, 22-2, & 24 OF THE R. IRVINE SURVEY, ABSTRACT NO. 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Stephen Doyle of Structured Real Estate on behalf of Luke Alverson of Capstar Holding Corporation for the approval of a zoning change from a Commercial (C) District and Light Industrial (LI) District to a Planned Development District for commercial/retail, multi-family, and light industrial land uses on a 55.80-acre tract of land identified as Tracts 22, 22-2, and 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. Area Map. That the *Subject Property* shall generally consist of *Areas 1-7* as depicted in the *Area Map*, contained in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 3. Concept Plan. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. Conceptual Building Elevations. That development of structures on the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. Roadways/Streets Layouts and Cross Sections. That all roadways and streets developed on the *Subject Property* shall generally be in accordance with the *Roadway/Street Layouts and Cross Sections*, outlined in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. Signage. That all signage on the *Subject Property* shall generally be in accordance with the *Signage Details*, outlined in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. Permitted Land Uses and Development Standards. That development of the *Subject Property* shall generally be in accordance with the *Permitted Land Uses and Development Standards*, outlined in *Exhibit 'H'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'H'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 8. Procedures. That -- *in addition to the procedures of the Unified Development Code (UDC)* -- any proposed development on the *Subject Property* shall adhere to the following additional procedures:

- (1) **PD Development Plans.** For all *Areas* depicted in *Exhibit 'C'*, any new development, development that represents a substantial change to the conceptual building elevations contained in *Exhibit 'E'*, and/or development that deviates from the concept plan contained in *Exhibit 'D'* shall be subject to the approval of a PD Development Plan in accordance to the procedures established in Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC). The purpose of this PD Development Plan is to allow the Planning and Zoning Commission and City Council the ability to review any changes to ensure the following:
 - (a) The proposed development meets the general purpose and intent of the Planned Development District as stated in *Exhibit 'H'*; and,
 - (b) The proposed development will result in an improved project over what was originally approved in the Planned Development District; and,
 - (c) The proposed development will be an attractive and complementary contribution to Planned Development District; and,
 - (d) The proposed development will not have a negative impact on adjacent properties or inhibit adjacent properties from meeting the requirements and intent of this Planned Development District.

To ensure that a proposed project meets these guidelines a concept plan, landscape plan, and building elevations will be required to be submitted and reviewed by the

Director of Planning and Zoning. The Director of Planning and Zoning may, upon a determination of substantial compliance with this Planned Development District, waive the PD Development Plan requirement; however, if the Director of Planning and Zoning determines that a PD Development Plan is required, the Planning and Zoning Commission shall review the proposed request and make a recommendation to the City Council. Upon recommendation by the Planning and Zoning Commission, the City Council shall review the proposed request and approve or deny the application based on the above criteria. In approving a PD Development Plan, the Planning and Zoning Commission may recommend and the City Council may impose conditions necessary to mitigate any identified negative impacts to the adjacent properties, public streets, and/or open spaces in order to safeguard the intent of the Planned Development District. A PD Development Plan may be combined with a Specific Use Permit (SUP) and run concurrently as a single case.

- (2) Streetscape Plan. In conjunction with the submittal of a *Site Plan*, a *Streetscape Plan* showing the location and cut sheets and/or product specifications for all streetscape elements shall be provided. Examples of streetscape elements include benches, landscape planters and pots, landscape and right-of-way light fixtures, trash cans, and etcetera. The purpose of this plan is to ensure that all streetscape elements contribute to a consistent streetscape aesthetic.
- (3) Master Parks and Open Space Plan. Prior to or in conjunction with a *Site Plan* for a *Multi-Family Development or Structure* within *Area 4* as depicted in *Exhibit 'C'*, a *Master Parks and Open Space Plan* shall be submitted for *Areas 3, 4, & 6*. Should the *Concept Plan* contained in *Exhibit 'D'* of this ordinance be amended to exclude a *Multi-Family Development or Structure*, a separate *Site Plan* and *Master Parks and Open Space Plan* for *Areas 3 & 6* shall be submitted and approved prior to the acceptance of any application for subsequent development on the *Subject Property*. The Parks and Recreation Board shall review the *Master Parks and Open Space Plan* for compliance with the requirements of this Planned Development District ordinance and forward a recommendation with any conditions to the Planning and Zoning Commission. The Planning and Zoning Commission shall take into consideration the recommendations of the Parks and Recreation Board in reviewing and acting upon the *Site Plan*. The City Council shall review and approve these recommendations as part of the *Final Plat* for the *Multi Family Development or Structure*.
- (4) Waivers. In order to create a high quality, cohesive development while still providing the flexibility for creative design, an applicant proposing a development within the *Subject Property* may request a waiver to allow substantial changes -- *as determined by the Director of Planning and Zoning* -- to one (1) or more of the following in conjunction with a request for a PD Development Plan:
 - (a) Roadway Alignments and Design Standards
 - (b) Building Elevations and Layouts
 - (c) Signage Elevations and Locations
 - (d) Parking Requirements
 - (e) Inconsistent Streetscape Elements
 - (f) Building Setbacks

All other substantial changes shall be processed as an amendment to this ordinance. Requests for waivers shall not be required to submit to the Board of Adjustments (BOA) for approval. Waivers may only be approved by the City Council following a recommendation by the Planning and Zoning Commission. In the event that a waiver

for Building Elevations is made, the Architectural Review Board (ARB) shall review the case and provide a recommendation to the Planning and Zoning Commission and City Council.

SECTION 9. Penalty. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. Severability. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. Conflicts. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. Effective Date. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A':
Legal Description

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A TRACT OF LAND DESCRIBED IN DEEDS TO CAPSTAR HOLDINGS CORPORATION, RECORDED IN INSTRUMENT NO.'s. 20140000007944, 20140000007994, AND 20140000012808, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND WITH A CAP STAMPED TXDOT, BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (IH-30) (VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A NAIL IN POST BEARS S 01°15' W, 0.5 FEET;

THENCE ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID IH-30 AS FOLLOWS:

- 1) N 72°51'57" E, 299.04 FEET TO A 5/8" IRON ROD FOUND WITH A CAP STAMPED TXDOT;
- 2) N 67°03'28" E, 118.01 FEET TO A POINT;
- 3) N 72°46'09" E, 943.37 FEET TO A POINT, BEING THE MOST NORTHERLY NORTHEAST CORNER OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000012808, O.P.R.R.C.T., AND BEING IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), FROM WHICH A 5/8" IRON ROD FOUND WITH A CAP STAMPED TXDOT BEARS N 70°29'31" E, 201.35 FEET;

THENCE S 01°36'16" E, DEPARTING THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID IH-30, ALONG THE MOST NORTHERLY EAST LINE OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000012808, O.P.R.R.C.T. AND THE WEST LINE OF SAID JOWERS TRACT, 329.08 FEET TO A POINT, BEING THE SOUTHWEST CORNER OF SAID JOWERS TRACT AND THE MOST NORTHERLY NORTHWEST CORNER OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000007994, O.P.R.R.C.T.;

THENCE N 76°34'05" E, ALONG THE MOST NORTHERLY NORTH LINE OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000007994, O.P.R.R.C.T., AND THE SOUTH LINE OF SAID JOWERS TRACT, 540.70 FEET (DEED: 540.41 FEET) TO A 1/2" IRON ROD FOUND, BEING THE MOST NORTHERLY NORTHEAST CORNER OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000007994, O.P.R.R.C.T., THE SOUTHEAST CORNER OF SAID JOWERS TRACT, AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WALLIS FAMILY LIMITED PARTNERSHIP #2, RECORDED IN VOLUME 2014, PAGE 173, D.R.R.C.T.;

THENCE S 01°41'51" E, ALONG THE MOST NORTHERLY EAST LINE OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000007994, O.P.R.R.C.T., AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 587.29 FEET (DEED: 586.64 FEET) TO A POINT;

THENCE N 89°40'04" E, ALONG THE MOST EASTERLY NORTH LINE OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000007994, O.P.R.R.C.T., AND THE SOUTH LINE OF SAID RUSTY WALLIS TRACT, 846.47 FEET (DEED: 846.55 FEET) TO A POINT, BEING THE MOST EASTERLY NORTHEAST CORNER OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000007944, O.P.R.R.C.T., THE SOUTHEAST CORNER OF SAID RUSTY WALLIS TRACT, AND BEING IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO BAKER SCHWIMMER VENTURES, LP, RECORDED IN INSTRUMENT NO. 20180000018084, O.P.R.R.C.T., FROM WHICH A 1/2" IRON ROD FOUND BEARS N 01°15'57" W, 1230.29 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID BAKER SCHWIMMER TRACT;

THENCE S 01°15'57" E, ALONG THE MOST EASTERLY EAST LINE OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 20140000007944, O.P.R.R.C.T., AND THE WEST LINE OF SAID BAKER SCHWIMMER TRACT, 449.60 FEET (DEED: 449.62 FEET) TO A 1/2" IRON ROD FOUND WITH A CAP, FROM WHICH A 3/4" IRON ROD FOUND BEARS S 01°15'57" E, 100.09 FEET, SAID 3/4" IRON ROD BEING THE SOUTHWEST CORNER OF SAID BAKER SCHWIMMER TRACT;

Exhibit 'A':
Legal Description

THENCE S 89°43'47" W, ALONG THE SOUTH LINE SAID CAPSTAR TRACTS RECORDED IN INSTRUMENT NO. 2014000007944 AND INSTRUMENT NO. 2014000007994, O.P.R.R.C.T., AT 120.95 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", SAID IRON BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF DATA DRIVE (65' RIGHT-OF-WAY) WITH THE NORTH RIGHT-OF-WAY LINE OF CAPITAL BOULEVARD (VARIABLE WIDTH RIGHT-OF-WAY), AS SHOWN ON THE PLAT RECORDED IN CABINET I, SLIDE 13, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.), THEN ALONG THE NORTH RIGHT-OF-WAY LINE OF CAPITAL BOULEVARD AND CONTINUING IN ALL A TOTAL DISTANCE OF 1457.24 FEET TO A POINT;

THENCE S 00°42'17" E, AT 66.41 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", BEING IN THE NORTH RIGHT-OF-WAY LINE OF SAID CAPITAL BOULEVARD, AND CONTINUING IN ALL A TOTAL DISTANCE OF 99.78 FEET (DEED: 100.00 FEET) TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE S 89°10'38" W, ALONG THE MOST WESTERLY SOUTH LINE OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 2014000007994, O.P.R.R.C.T., AND THE NORTH LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, RECORDED IN INSTRUMENT No. 20130000496918, O.P.R.R.C.T., 1290.09 FEET (DEED: 1290.14 FEET) TO A POINT, FROM WHICH A 1/2" IRON ROD FOUND BEARS N 79°03' E, 0.6 FEET, SAID POINT BEING THE SOUTHWEST CORNER OF SAID CAPSTAR TRACT RECORDED IN INSTRUMENT NO. 2014000007994, O.P.R.R.C.T., AND BEING IN THE EAST RIGHT-OF-WAY LINE OF SAID CORPORATE CROSSING;

THENCE ALONG THE WEST LINE OF SAID CAPSTAR TRACTS RECORDED IN INSTRUMENT NO. 2014000007994 AND INSTRUMENT NO. 20140000012808, O.P.R.R.C.T., AND THE EAST RIGHT-OF-WAY LINE OF SAID CORPORATE CROSSING AS FOLLOWS:

- 1) N 00°28'18" E, 53.84 FEET TO A POINT, FROM WHICH A 1/2" IRON ROD FOUND BEARS S 09°09' E, 0.3 FEET;
- 2) N 00°17'15" W, 5.72 FEET TO A POINT;
- 3) N 00°14'54" W, 395.43 FEET (DEED: 395.40 FEET) TO A POINT;
- 4) N 01°59'44" E, 93.57 FEET TO A POINT;
- 5) N 00°36'28" W, 69.67 FEET TO A POINT;

THENCE N 07°00'19" E, 330.90 FEET (DEED: 329.64 FEET) TO THE PLACE OF BEGINNING AND CONTAINING 55.784 ACRES (2,429,955 SQUARE FEET) OF LAND, MORE OR LESS.

Exhibit 'B':
Survey

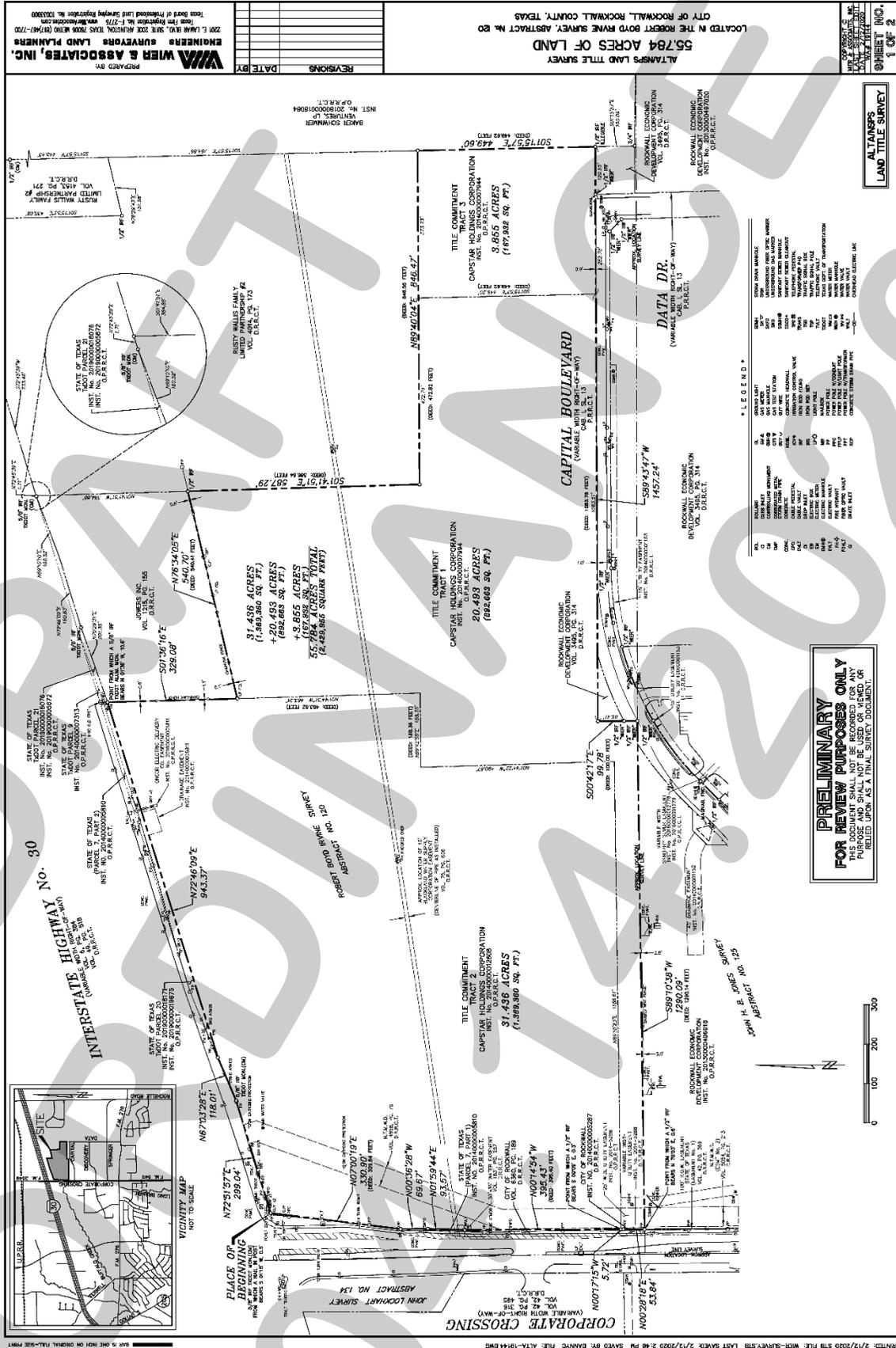


Exhibit 'C':
Area Map



Exhibit 'D':
Concept Plan



Exhibit 'D':
Concept Plan

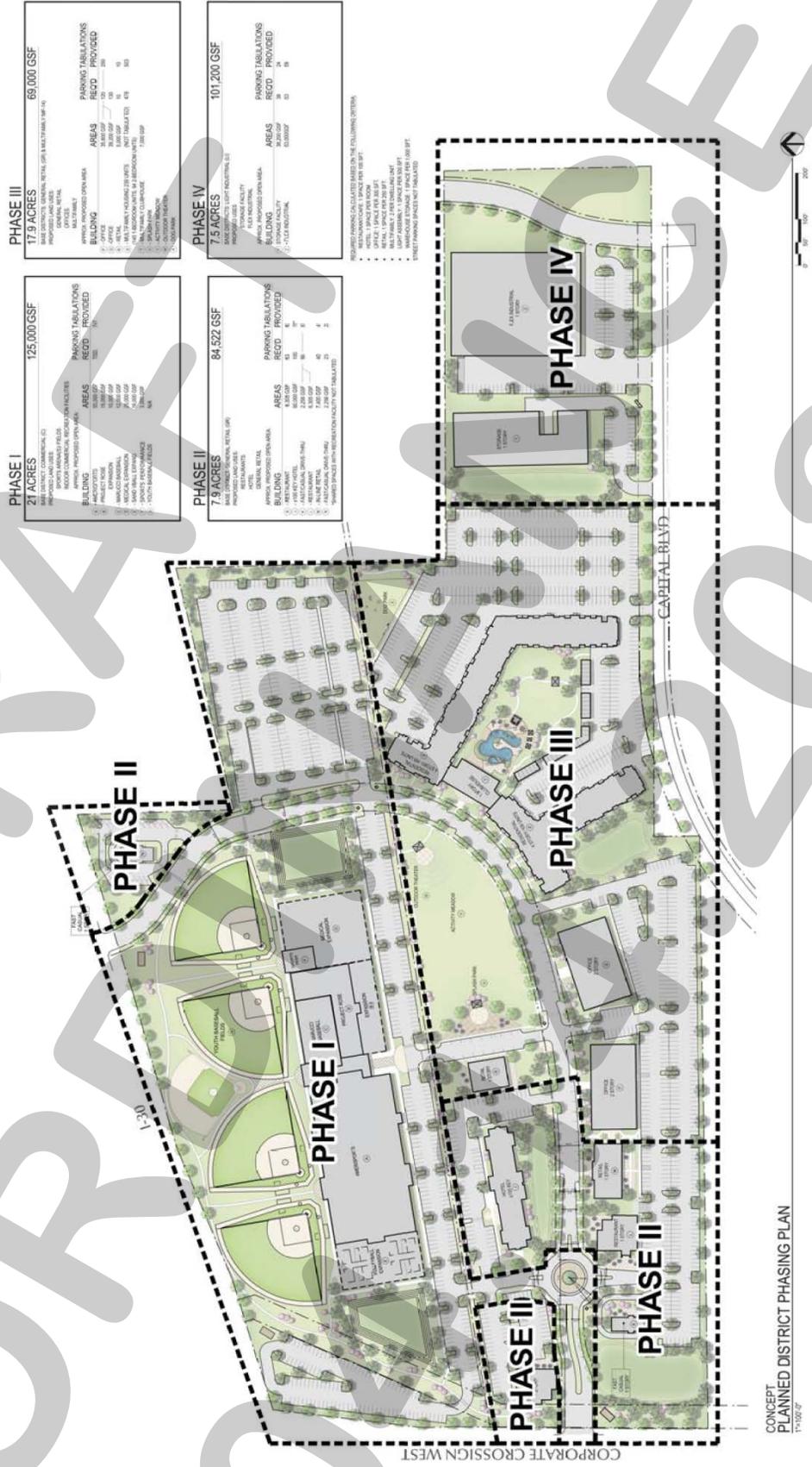


Exhibit 'E':
Conceptual Building Elevations: Area 1



NORTH ELEVATION
RECREATION BUILDING 'A' - 'F'
SCALE: 1" = 20'-0"



WEST ELEVATION
RECREATION BUILDING 'A' - 'F'
SCALE: 1" = 20'-0"



NORTH ELEVATION
RECREATION BUILDING 'A' - 'F'
SCALE: 1" = 20'-0"

Exhibit 'E':
Conceptual Building Elevations: Area 1

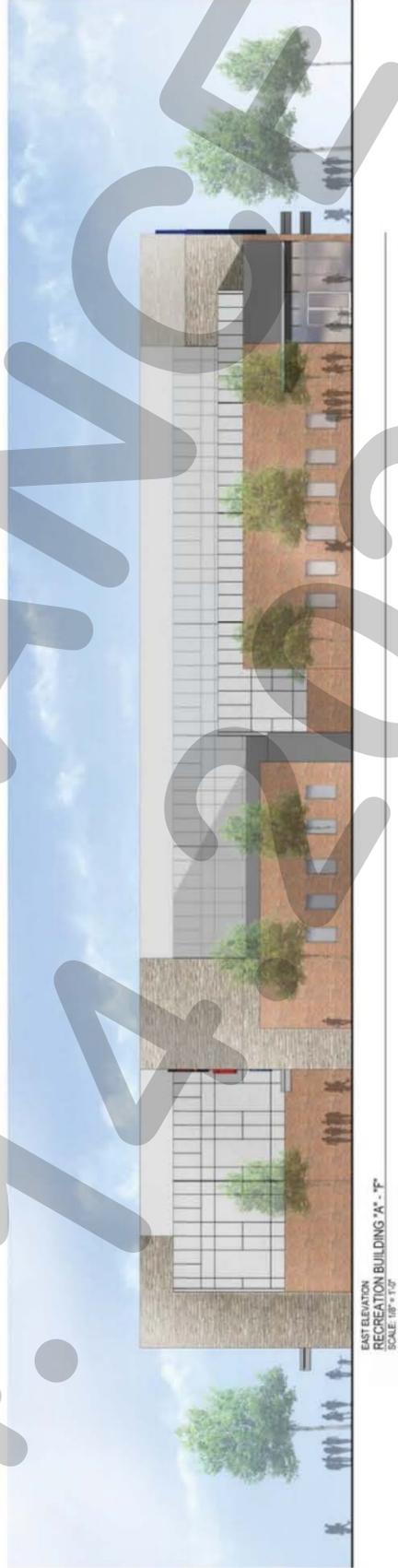
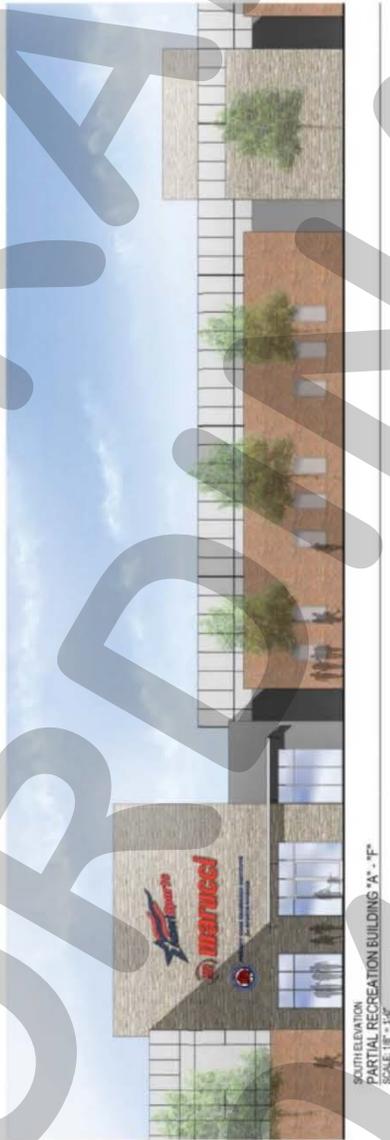
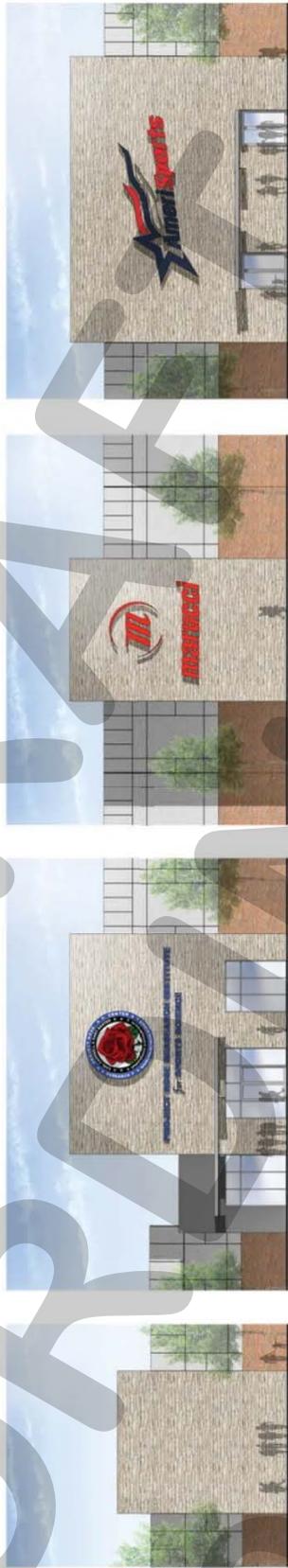


Exhibit 'E':
Conceptual Building Elevations: Area 1



NORTH ELEVATION
 PARTIAL RECREATION BUILDING "A" - "F"
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 RECREATION BUILDING "A" - "F"
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 DEVELOPMENT SIGNAGE NEAR HIGHWAY
 SCALE: 1/8" = 1'-0"

Exhibit 'E':
Conceptual Building Elevations: Area 2

MATERIAL LEGEND

	RED BRICK VENEER
	STONE VENEER
	WOOD PANEL
	STUCCO
	STUCCO
	VERTICAL LAP SIDING
	CORRUGATED METAL SIDING
	TRIM
	DARK CEMENTITIOUS PANEL



FRONT ELEVATION
 RETAIL BUILDING "M"
 SCALE 1/8" = 1'-0"



FRONT ELEVATION
 RETAIL BUILDING "R"
 SCALE 1/8" = 1'-0"



FRONT ELEVATION
 RESTAURANT BUILDING "H" + "L"
 SCALE 1/8" = 1'-0"



FRONT ELEVATION
 FAST-CASUAL BUILDING "K" + "N"
 SCALE 1/8" = 1'-0"

Exhibit 'E':
Conceptual Building Elevations: Area 2

MATERIAL LEGEND

	BUFF BRICK VENEER
	DARK CEMENTITIOUS PANEL
	WOOD PANEL
	LIGHT ACCENT PANEL



FRONT ELEVATION
2.5-STORY MEDICAL OFFICE BUILDING "Q"
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
2.5-STORY MEDICAL OFFICE BUILDING "P"
SCALE: 1/8" = 1'-0"

Exhibit 'E':
Conceptual Building Elevations: Area 2

MATERIAL LEGEND	
	BUFF BRICK VENEER
	DARK STUCCO
	LIGHT STUCCO
	WOOD PANEL
	LAP SIDING
	TRIM



FRONT ELEVATION
4-STORY HOTEL BUILDING "J"
SCALE: 1/8" = 1'-0"

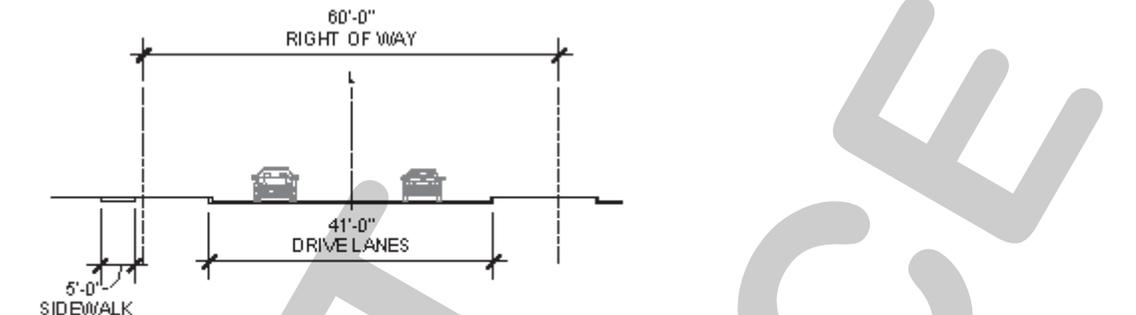
Exhibit 'E':
Conceptual Building Elevations: Area 4



Exhibit 'F': Roadway/Street Layouts and Cross Sections

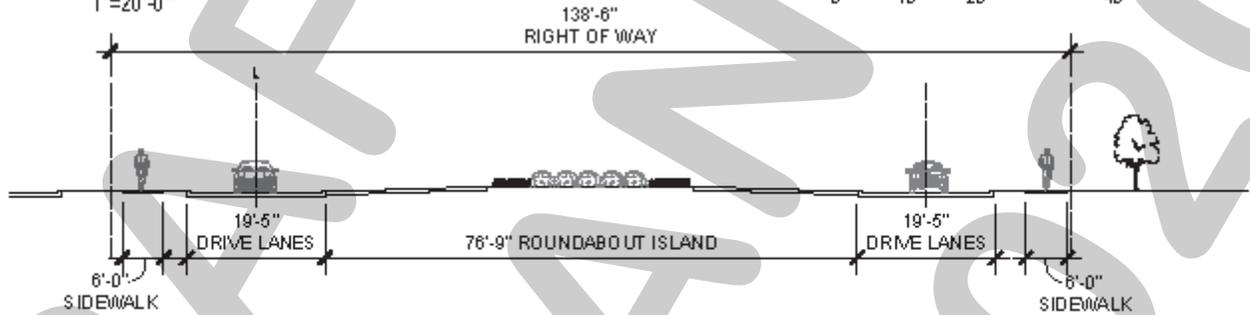


Exhibit 'F':
Roadway/Street Layouts and Cross Sections



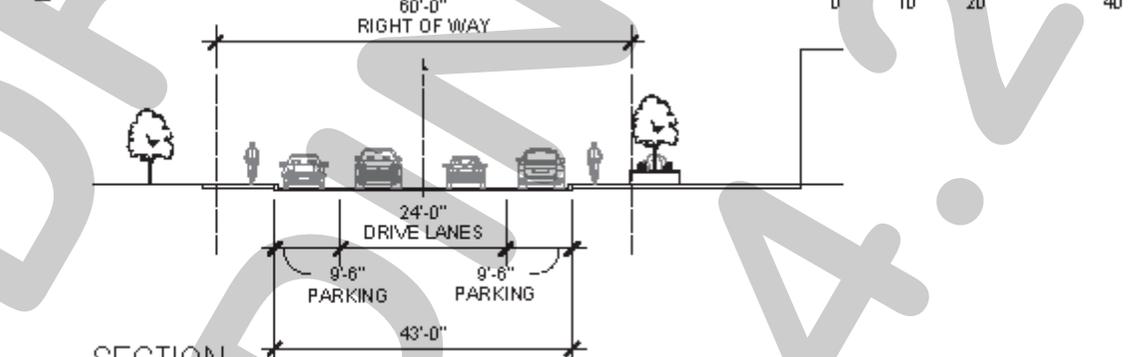
SECTION D
MINOR COLLECTOR STREET

41' B-B
 1"=20'-0"



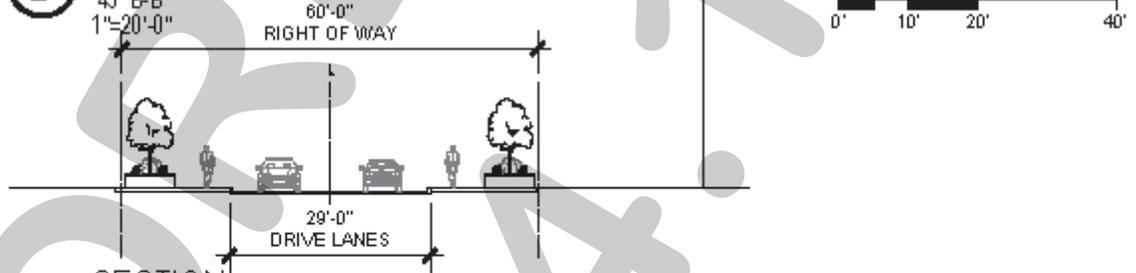
SECTION C
ROUNDAOBT

1"=20'-0"



SECTION B
LOCAL STREET WITH PARKING NICHES

43' B-B
 1"=20'-0"



SECTION A
LOCAL STREET

29' B-B



Exhibit 'F':
Roadway/Street Layouts and Cross Sections



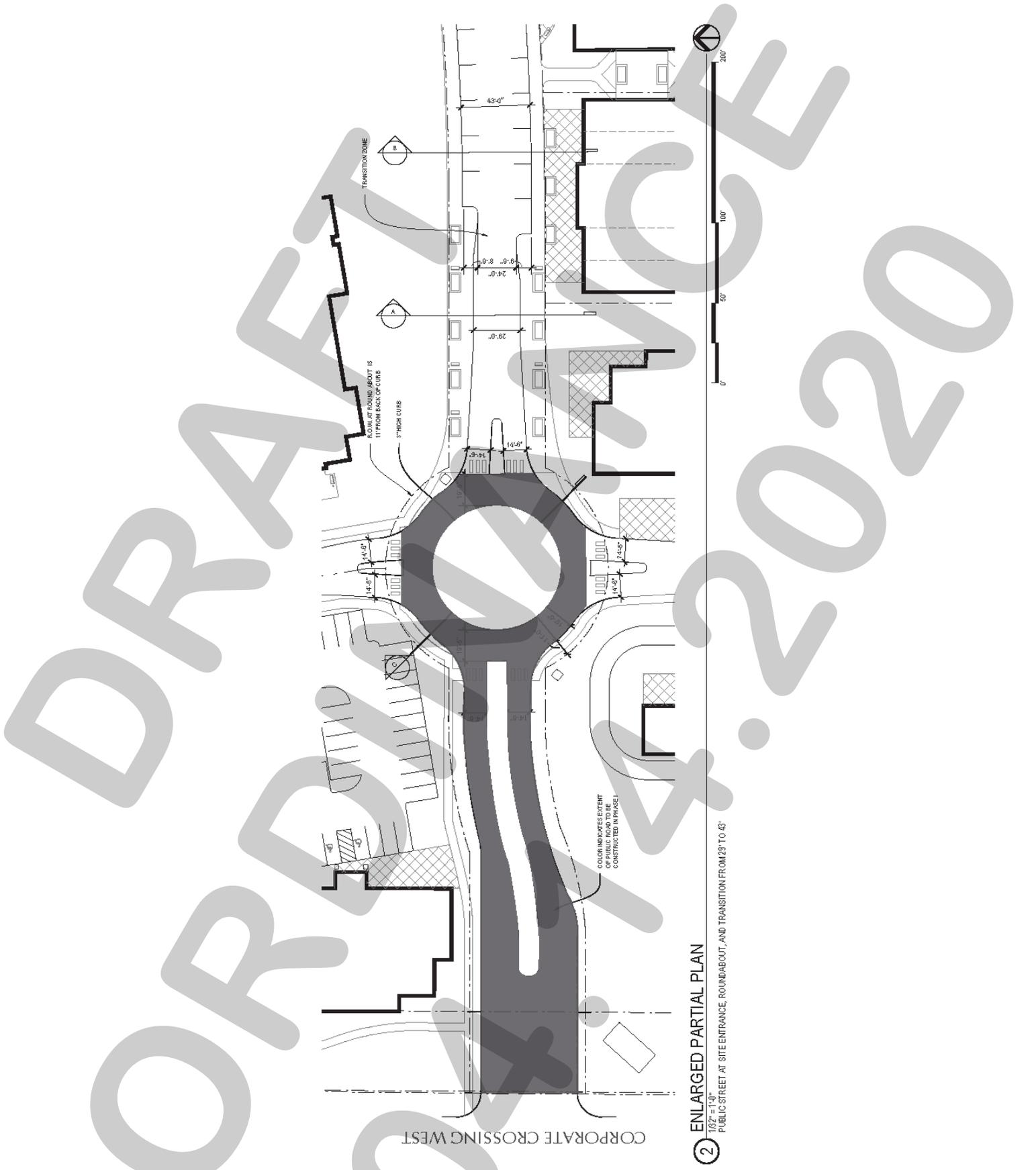
1

ENLARGED PARTIAL PLAN

1/32" = 1'-0"
PUBLIC STREET AT TRANSITION FROM 29' TO 41'



Exhibit 'F':
Roadway/Street Layouts and Cross Sections



2 ENLARGED PARTIAL PLAN
 1/8" = 1'-0"
 PUBLIC STREET AT SITE ENTRANCE, ROUNDABOUT, AND TRANSITION FROM 25' TO 45'

Exhibit 'G':
Signage Details

DRAFT
ORDINANCE
04.14.2020

Exhibit 'H':
Permitted Land Uses and Development Standards

(A) *Purpose and Intent of the Planned Development District.*

The Planned Development District's primary objective is to create a modern Main Street that connects a variety of complimentary land uses with high quality open spaces. The Main Street is articulated in a way that creates a unique pedestrian experience along an aesthetically pleasing streetscape. Buildings will be constructed close to the public Main Street, setback from the curb at approximately uniform distances. Parking areas will be located behind buildings concealing them from the visibility of pedestrians, the front Main Street, and major roadways. Pedestrian elements (e.g. benches, trash receptacles, and etcetera) will be incorporated into the streetscape at regular intervals to ensure the site works at a pedestrian scale.

(B) *Permitted Land Uses and Development Standards.*

(1) *General Standards: Areas 1-7.*

(a) *Overlay Districts.* The subject property is located within both the FM-549 Overlay (FM-549 OV) and the IH-30 Overlay (IH-30 OV) Districts. All phases of the proposed development shall be required to conform to the *General Overlay District Standards* contained in Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). These standards will govern in all cases where the Overlay District sets out a particular requirement that conflicts with other sections of the Unified Development Code (UDC); however, in cases of conflict with this Planned Development District ordinance, the Planned Development District ordinance shall be the controlling document.

(b) *Landscaping.*

(1) *Landscape Buffer for Capital Boulevard.* A minimum of a 20-foot landscape buffer shall be provided along the frontage of Capital Boulevard. This landscape buffer shall incorporate a minimum of three (3) canopy trees and two (2) accent trees per 100-linear feet of frontage and include a combination of ground cover, a *built-up* berm, and shrubbery along the entire length of the frontage.

(c) *Roadways.* All roadways shall adhere to City standards except as otherwise provided in *Exhibit 'F'* of this Planned Development District ordinance.

(d) *Signage.* All signage shall be reviewed by the Building Inspections Department through separate permit and shall be required to meet City standards; however, three (3) signs generally located in the locations indicated on the *Concept Plan* in *Exhibit 'D'* of this Planned Development District ordinance shall be permitted. These signs shall generally adhere to the signage details depicted in *Exhibit 'G'* of this Planned Development District ordinance.

(e) *Building Elevations.* The building elevations for *Areas 1, 2 & 4* shall conform to the *Conceptual Building Elevations* contained in *Exhibit 'E'* of this Planned Development District ordinance; however, building elevations submitted as part of a *Site Plan* and/or *PD Development Plan* are subject to review and recommendation from the Architectural Review Board (ARB). The ARB will also be charged with determining if the building elevations submitted through the *PD Development Plan* and/or *Site Plan* process conform to the *Conceptual Building Elevations* contained within this Planned

Exhibit 'H':
Permitted Land Uses and Development Standards

Development District ordinance; however, the ARB is not confined to only making recommendations that conform to the *Conceptual Building Elevations* contained within this Planned Development District ordinance. The Planning and Zoning Commission shall take into consideration the ARB's recommendations when approving a site plan or recommending a PD Development Plan to the City Council.

- (f) Buried Utilities. New transmission and distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property* as long as these lines remain in their current pre-developed state. Temporary power-lines constructed across undeveloped portions of the *Subject Property* intended to facilitate development, phasing, and/or looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph.
- (g) Variances. The variance procedures and requirements stipulated by Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) of the City of Rockwall -- *as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future* -- shall apply to any application or request for variances to any provisions of this ordinance.

(2) Area 1: Sports Complex.

- (a) Permitted Uses. The areas identified as *Area 1* in *Exhibit 'C'* of this ordinance -- *which herein after shall be referred to as Area 1* -- shall be subject to the land uses permitted in the Commercial (C) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, only the following land uses shall be permitted within *Area 1*:

Permitted By-Right. The following land uses are permitted *by-right*:

- Private Sports Arena, Stadium, and/or Track
- Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)
- Commercial Parking Garage (*as an Accessory Use Only*)
- Office Building 5,000 SF or Greater
- Medical Office
- Public or Private Community or Recreation Club
- Health Club or Gym
- Public/Private Park or Playground
- Massage Therapist
- Research and Technology or Light Assembly
- Hospital (*with Associated Uses*)
- Medical Office

Specific Use Permit (SUP). The following land uses shall be permitted only by Specific Use Permit (SUP):

- Golf Driving Range

Notes.

Exhibit 'H':
Permitted Land Uses and Development Standards

(1) *All land uses are subject to any additional restrictions stipulated by Article 04, Permissible Uses, of the Unified Development Code (UDC).*

(b) *Density and Development Requirements.* Unless specifically provided by this Planned Development District ordinance, the density and dimensional standards stipulated for the Commercial (C) District as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) of the City of Rockwall -- *as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future* -- are applicable to all development within Area 1.

(3) *Areas 2 & 7: General Retail Areas.*

(a) *Permitted Uses.* The areas identified as Areas 2 & 7 in Exhibit 'C' of this ordinance -- *which herein after shall be referred to as Area 2 and Area 7* -- shall be subject to the land uses permitted in the General Retail (GR) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future, with the following additions:

Permitted By-Right. The following land uses are permitted *by-right*:

- Full-Service Hotel
- Limited-Service Hotel
- Theater
- Craft/Micro Brewery, Distillery and/or Winery
- Restaurant with 2,000 SF of More with Drive-Through or Drive-In

Specific Use Permit (SUP). The following land uses shall be permitted only by Specific Use Permit (SUP):

- College, University, or Seminary
- Convalescent Care Facility/Nursing Home
- Public or Private Primary School
- Public or Private Secondary School
- Banquet Facility/Event Hall
- Business School

Prohibited Uses. The following land uses shall be *prohibited*:

- Animal Boarding/Kennel without Outside Pens
- Community Garden
- Urban Farm
- Caretakers Quarters/Domestic Security Unit
- Convent, Monastery, or Temple
- Motel
- Cemetery/Mausoleum
- Daycare
- Emergency Ground Ambulance Services
- Group or Community Home
- Hospice
- Hospital
- Mortuary or Funeral Chapel
- Local Post Office

Exhibit 'H':
Permitted Land Uses and Development Standards

- Temporary Education Building for a Public or Private School
- Social Service Provider
- Temporary Carnival, Circus, or Amusement Ride
- Indoor Gun Club with Skeet or Target Range
- Astrologer, Hypnotist, or Psychic
- Portable Beverage Service Facility
- Temporary Christmas Tree Sales Lot and/or Similar Uses
- Garden Supply/Plant Nursery
- Rental Store without Outside Storage and/or Display
- Retail Store with Gasoline Sales (*Any Number of Dispensers*)
- Second Hand Dealer
- Trade School
- Minor Automotive Repair Garage
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- Service Station
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Antenna for an Amateur Radio
- Commercial Freestanding Antenna
- Mounted Commercial Antenna
- Radio Broadcasting
- Railroad Yard or Shop
- Above Ground Utility/Transmission Lines

Notes.

(1) *All land uses are subject to any additional restrictions stipulated by Article 04, Permissible Uses, of the Unified Development Code (UDC).*

(b) *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the density and dimensional standards stipulated for the General Retail (GR) District as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) of the City of Rockwall -- *as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future* -- are applicable to all development within Areas 2 & 7.

(4) *Area 3 & 6: Private Parks.*

(a) *Permitted Uses.* The areas identified as Area 3 & 6 in *Exhibit 'C'* of this ordinance -- *which herein after shall be referred to as Area 3 and Area 6* -- shall be maintained as a private parkland and, unless otherwise denoted in this Planned Development District ordinance, only those land uses and improvements recommended by the Parks and Recreation Board and approved by the City Council shall be permitted in these areas.

(b) *Amenities.* At a minimum, the area identified as Area 3 shall incorporate the following amenities and improvements:

- (1) Splash Park
- (2) Activity Meadow
- (3) Outdoor Theater

At a minimum, the area identified as Area 6 shall incorporate the following amenities and improvements:

Exhibit 'H':
Permitted Land Uses and Development Standards

(1) Dog Park

(c) Development Schedule. Prior to or in conjunction with the acceptance (*i.e. prior to Certificate of Occupancy*) of the *Multi-Family Development or Structure -- proposed for Area 4 in Exhibit 'C' --*, private parkland (*i.e. Areas 3 & 6*) generally conforming to the *Concept Plan in Exhibit 'D'*, incorporating all elements required by this Planned Development District ordinance, and adhering to the recommendations from the Parks and Recreation Board that are approved by the City Council shall be constructed, completed, and accepted by the City of Rockwall.

(5) Area 4: Multi-Family.

(c) Permitted Uses. The area identified as *Area 4 in Exhibit 'C'* of this ordinance -- *which herein after shall be referred to as Area 4* -- shall be subject to the land uses permitted in the General Retail (GR) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future, with the following additions:

Permitted By-Right. The following land uses are permitted *by-right*:

- Multi-Family Development or Structure
- Full-Service Hotel
- Limited-Service Hotel
- Theater
- Craft/Micro Brewery, Distillery and/or Winery
- Restaurant with 2,000 SF of More with Drive-Through or Drive-In

Specific Use Permit (SUP). The following land uses shall be permitted only by Specific Use Permit (SUP):

- College, University, or Seminary
- Convalescent Care Facility/Nursing Home
- Public or Private Primary School
- Public or Private Secondary School
- Banquet Facility/Event Hall
- Business School

Prohibited Uses. The following land uses shall be *prohibited*:

- Animal Boarding/Kennel without Outside Pens
- Community Garden
- Urban Farm
- Caretakers Quarters/Domestic Security Unit
- Convent, Monastery, or Temple
- Motel
- Cemetery/Mausoleum
- Daycare
- Emergency Ground Ambulance Services
- Group or Community Home
- Hospice
- Hospital
- Mortuary or Funeral Chapel
- Local Post Office

Exhibit 'H':
Permitted Land Uses and Development Standards

- Temporary Education Building for a Public or Private School
- Social Service Provider
- Temporary Carnival, Circus, or Amusement Ride
- Indoor Gun Club with Skeet or Target Range
- Astrologer, Hypnotist, or Psychic
- Portable Beverage Service Facility
- Temporary Christmas Tree Sales Lot and/or Similar Uses
- Garden Supply/Plant Nursery
- Rental Store without Outside Storage and/or Display
- Retail Store with Gasoline Sales (*Any Amount of Dispensers*)
- Second Hand Dealer
- Trade School
- Minor Automotive Repair Garage
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- Service Station
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Antenna for an Amateur Radio
- Commercial Freestanding Antenna
- Mounted Commercial Antenna
- Radio Broadcasting
- Railroad Yard or Shop
- Above Ground Utility/Transmission Lines

Notes.

(1) *All land uses are subject to any additional restrictions stipulated by Article 04, Permissible Uses, of the Unified Development Code (UDC).*

(d) Unit Composition. The unit composition for a *Multi-Family Development or Structure* shall generally conform to the unit composition stated in *Table 1: Unit Composition* below; however, in no case should the proposed development exceed 239 units.

Table 1: Unit Composition

<i>Unit Type</i>	<i>Minimum Net Unit Area (SF)</i>	<i>Number of Units (#)</i>	<i>Units as Percentage (%)</i>
<i>One (1) Bedroom</i>	X	145	60.67%
<i>Two (2) Bedroom</i>	X	94	39.33%
<i>Total Units:</i>		239	100.00%

(e) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the density and dimensional standards stipulated for the General Retail (GR) District as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) of the City of Rockwall -- *as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future* -- are applicable to all development within *Area 4*; however, if a *Multi-Family Development or Structure* is proposed within *Area 4*, the density and dimensional standards stipulated for the Multi-Family 14 (MF-14) District as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) of the City of Rockwall -- *as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future* -- shall be applicable.

Exhibit 'H':
Permitted Land Uses and Development Standards

(6) Area 5: Light Industrial.

(a) Permitted Uses. The area identified as *Area 5* in *Exhibit 'C'* of this ordinance -- which herein after shall be referred to as *Area 5* -- shall be subject to the land uses permitted in the Light Industrial (LI) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future, with the following additions:

Permitted By-Right. The following land uses are permitted *by-right*:

- Full-Service Hotel
- General Personal Service
- General Retail Store

Specific Use Permit (SUP). The following land uses shall be permitted only by Specific Use Permit (SUP):

- College, University, or Seminary
- Public or Private Primary School
- Public or Private Secondary School
- Furniture Upholstery/Refinishing and Resale
- Trade School
- Mini-Warehouse

Prohibited Uses. The following land uses shall be *prohibited*:

- Animal Shelter or Loafing Shed
- Community Garden
- Motel
- Cemetery/Mausoleum
- Church/House of Worship
- Crematorium
- Daycare
- Emergency Ground Ambulance Services
- Mortuary or Funeral Chapel
- Prison/Custodial Institution
- Rescue Mission or Shelter for the Homeless
- Social Service Provider
- Temporary Carnival, Circus, or Amusement Ride
- Indoor Gun Club with Skeet or Target Range
- Night Club, Discotheque, or Dance Hall
- Pawn Shop
- Retail Store with Gasoline Sales (*Any Number of Dispensers*)
- Taxidermist Shop
- Bail Bond Service
- Building and Landscape Material with Outside Storage
- Building and Landscape Material with Limited Outside Storage
- Building Maintenance, Service, and Sales without Outside Storage
- Commercial Cleaners
- Service Station
- Towing Service without Storage
- Asphalt or Concrete Batch Plant

Exhibit 'H':
Permitted Land Uses and Development Standards

- Environmentally Hazardous Materials
- Food Processing with No Animal Slaughtering
- Heavy Manufacturing
- Metal Plating/Electro Plating
- Mining and Extraction of Sand Gravel, Oil and/or Other
- Salvage or Reclamation of Products (*Indoors and Outdoors*)
- Heavy Construction/Trade Yard
- Outside Storage and/or Outside Display
- Bus Charter Service and Service Facility
- Airport, Heliport or Landing Field
- Railroad Yard or Shop
- Transit Passenger Facility
- Trucking Company

- (b) *Density and Dimensional Requirements*. Unless specifically provided by this Planned Development District ordinance, the density and development standards stipulated for the Light Industrial (LI) District as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) of the City of Rockwall -- as *heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future* -- are applicable to all development within Area 5.

City of Rockwall Project Plan Review History



Project Number SP2020-004	Owner PETER SISAN	Applied 3/20/2020	AG
Project Name Kroger Outlot, 2901 Ridge Rd.	Applicant JASON MILLER	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 2901 RIDGE		City, State Zip ROCKWALL, TX 75032	
 Subdivision MR M ADDITION		Tract 1	Block A
		Lot No 1	Parcel No 4465-000A-0001-00-0R
			General Plan
			Zoning

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	Markup a. ached
<p>(3/26/2020 2:37 PM SJ)</p> <p>M - Must show all exisng and proposed ulies on the sit e.</p> <p>M - All parking spaces to be 9' wide minimum.</p> <p>M - Bump out curblines so that the parking spaces are 20' deep and protected.</p> <p>M - All fire lane radii to be 20' radius minimum.</p> <p>M - Must receive an offsite easement for the driveway connecon onto the Kroger property. The exisng easemen t is only for emergency access, not public access.</p> <p>M - Must prove (using autoturn or an approved equal) that the passenger car in the parking space near the dumpster can safely back out.</p> <p>M - Must show all exisng and proposed ulies on the landsc ape plans to verify the 10' spacing to a tree.</p> <p>The following items are for your information for the engineering design.</p> <ul style="list-style-type: none"> I - 4% Engineering Inspecon F ees I - Impact Fees I - Engineering plan review fees I - Must e loop w ater line. I - No structures in easements. Min. easement width is 20'. I - Fire lane radii is 20' minimum as long as the building is 29' or shorter. If taller than 30', the radii must be 30' min. I - Parking to be 20'x9' for nose-to-nose or adjacent to the building all else to be 18'x9'. I - Retaining walls 3' and taller must be designed by a structural engineer. I - All walls must be rock or stone face. No smooth concrete walls. I - No trees within 10' of non-steel encased public ulies . I - Dumpster area must drain to an oil/water separator prior to connecting to the storm system I - Must meet City of Rockwall Standards of Design. 							

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	COMMENTS
(3/25/2020 2:54 PM AA)						
1) The required turning radius of a fire apparatus access road shall be in accordance with:						
a) For buildings less than 30-feet and less than 3 stories in height:						
i) 20-feet (inside) for turns less than or equal to 90 degrees						
ii) 25-feet (inside) for turns greater than 90 degrees						
2) Presence of automatic fire sprinkler system shall be indicated on the plans.						
3) The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.						
4) A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.						
GIS	Lance Singleton	3/20/2020	3/27/2020			
Parks Department	David Gonzales	4/6/2020	4/13/2020	4/6/2020		COMMENTS
(4/6/2020 4:30 PM DG)						
The following comments are from Travis E. Sales Director of Parks Recreation and Animal Services:						
SP2020-004 – Tree being saved in migration to count towards landscape requirements will need to be healthy actively growing specimen trees. New trees need to be a minimum 5' from utility lines						
PLANNING	David Gonzales	3/20/2020	3/27/2020	4/2/2020	13	COMMENTS
						See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(4/2/2020 9:42 AM DG)						
SP2020-004; Site Plan for 2901 Ridge Road						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Site Plan for a strip retail center on a 0.918-acre tract of land being identified as Lot 1, Block A, Mr. M. Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2020-004) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 9 (PD-9), and the Development Standards of Article 05, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.						
I.6 Signage Plan. Please note that the plan for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).						
M.7 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC):						
1) In the Site Plan Information Legend, indicate Zoned PD-9. (§03.04.A, Art. 11, UDC)						
2) In the Site Plan Information Legend, change land use from C-Commercial to GR-General Retail (§03.04.A, Art. 11, UDC)						
3) Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (§03.02, Art. 06, UDC)						
4) Indicate all building setbacks adjacent to right-of-way. (§03.04.B, Art. 11, UDC)						
5) Indicate all utilities both existing and proposed. Provide labels for all easements (i.e. utility, detention, drainage, etc.) Who/what is SWB Easement? (§03.04.B, Art. 11, UDC)						
6) Indicate the street centerline for all existing and proposed streets (§03.04.B, Art. 11, UDC)						
7) Indicate location of all Fire Hydrants (§03.04.B, Art. 11, UDC)						
8) Provide a label for all Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate for existing and proposed (§03.04.B, Art. 11, UDC)						
9) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department).						
10) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. Dash-in RTU's and provide screening detail (§01.05.C, Art. 05, UDC)						
M.8 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						required elements to the City's boards and commissions (Sec. 2, Art. 08, UDC):
						<ol style="list-style-type: none"> 1) Correct the Landscape Legend: All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass(i.e. sod-hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). (§05.03.G, Art. 08, UDC) 2) Correct the Landscape Legend: Where hydro mulch is used, other than the prohibited areas, a minimum coverage of 75% to 80% stand of grass with a minimum established height of one (1) inch shall be required prior to the release of the Certificate of Occupancy(i.e. CO). (Sec. 4.2, Coverage, Engineering Standards of Design and Construction) 3) Correct the Landscape Calculations: Under "G. Planting Requirements, 2. Ridge Road" is within an overlay district [i.e. Scenic Overlay (SOV) District] and requires a minimum of four (4) accent trees per 100 linear feet. Correct plan to indicate a minimum of ten (10) accent trees. (§06.02.E, Art. 05, UDC) 4) Provide note indicating irrigation will meet requirements of UDC on Sheet No L1.1. (Subsection 5.04, Art. 08, UDC)
						I.9 Irrigation Plan. This plan was not reviewed. Requires submittal and approval during the building permit process.
						I.10 Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article 09, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.
						<ol style="list-style-type: none"> 1) A treescape plan was not submitted for this development. Existing trees were noted to be saved; therefore no treescape plan is required.
						M. 11 Photometric Plan. According to Section 3.3, Minimum Requirements, of Article 07, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC.
						<ol style="list-style-type: none"> 1) No light standard, light fixture, light pole, pole base or combination thereof shall exceed 20-feet in total height in any overlay district [i.e. Scenic Overlay (SOV) District]. (§06.02.G, Art. 05, UDC)
						M.12 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
						<ol style="list-style-type: none"> 1) Indicate all RTU units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements (§06.02.C.3.a, Art. 05, UDC) 2) Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. Provide a finish for the TPO roof that matches the exterior. (§04.01.A.1, Art. 05, UDC)
						Based on the building elevation submittal staff has identified the following variances and exceptions to the Unified Development Code (UDC) and the Scenic Overlay (SOV) District:
						<ol style="list-style-type: none"> 1) Building Articulation. The proposed building does not meet the articulation standards established by the UDC for the north and south elevations and requires approval of an exception. Exception Required (§04.01.C.1, Art. 05, UDC) 2) Primary Materials. The proposed building is required to have a minimum of 20% natural or quarried stone on all building façades. In this case, the applicant is not indicating the use of stone on any façade, rather the use of brick and split-face CMU block for all facades. Variance Required [§ 6.02.C.1.a.1, Art. 05, UDC] 3) Roof Design Standards. All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. In this case the applicant is

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>proposing to construct a flat roof system with parapet walls Variance Required (§6.02.C.2, Art. 05, UDC)</p> <p>4) Four (4) Sided Architecture. The UDC indicates that all buildings shall be architecturally finished on all four(4) sides utilizing the same materials, detailing, articulation and features. In this case the applicant is providing architectural features, materials, and detailing on the front and side facades, but not the rear (south facing) façade. Variance Required (§6.02.C.5, Art. 05, UDC)</p> <p>To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two(2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures</p> <ul style="list-style-type: none"> Please provided a letter of explanation for the associated variance and exceptions and the compensatory measures justifying these variances as required by the UDC for consideration. <p>I.13 Please note that failure to address all comments provided by staff by 3:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 28, 2020 Planning & Zoning Meeting.</p> <p>I.15 The Architectural Review Board (ARB) meeting will be held on April 14, 2020 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission</p> <p>I.16 Please note the scheduled meetings for this case:</p> <ol style="list-style-type: none"> 1) Planning & Zoning Work Session meeting will be held on April 14, 2020. 2) Architectural Review Board (ARB) meeting will be held on April 14, 2020. 3) Planning & Zoning meeting/public hearing meeting will be held on April 28, 2020. 4) Architectural Review Board (ARB) meeting will be held on April 28, 2020 (if required). <p>I.17 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.</p>	David Gonzales	3/27/2020	4/3/2020	3/27/2020	COMMENTS	See comments

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(3/27/2020 10:18 AM DG)

The following comments are related to CPTED Design Standards from Captain Ed Fowler, Rockwall Police Department:

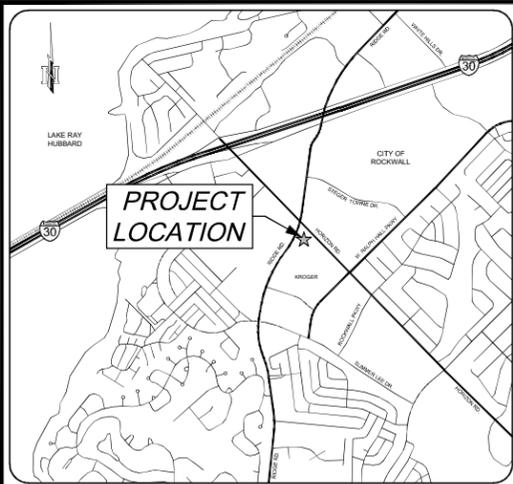
SP2020-004

Retail and Restaurant Building

Considerations:

- Consider Additional Security lighting above all entrances, including rear doors, parking areas and dumpster(s).
- Consider Additional Lighting at all corners of the building, in the same manner as those at the front corners where lighting is placed on either side of the 90 degree intersection of the building (brown corners).
- Consider two additional lights on each of the sides of the building evenly spaced to eliminate shadows and placed to hide or commit crimes
- Consider providing clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing
- Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area.
- Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.)
- Consider auxiliary locking system on rear doors that adhere to fire code
- Consider all exterior doors being equipped with alarm contact sensors and all windows with glass break sensors
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex
- Consider camera monitors for the rear of the business to ensure that employees will have a complete and unobstructed view prior to exiting the rear of the business.
- Ensure new or existing trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting for trees and shrubs at the rear of business to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night when exiting the business.
- Consider industry standard or higher security cameras at the corners and entranceways of the business and throughout interior of the business
- Consider some type of locking system to keep individuals from accessing the roof ladder that is located at the rear of the business
- Can discuss CPTED for the interior of the businesses once they've been defined. Including locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, etc.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing the actual businesses and speaking directly with the owners/architect(s).

The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.



VICINITY MAP
NOT TO SCALE

SITE PLAN INFORMATION		
LAND USE:	CURRENT: C - COMMERCIAL	PROPOSED: C - COMMERCIAL
TOTAL LOT AREA:	0.921 ACRES (40,148 S.F.)	
TOTAL LOT PERIMETER:	4906 LF	
BUILDING AREA:	5,400 S.F.	
BUILDING HEIGHT:	24'-0" - 24'-0"	
STANDARD PARKING:	REQUIRED	PROVIDED
ACCESSIBLE PARKING:	2	2
TOTAL:	37	37

LEGEND		
EXISTING	PROPOSED	
WV	WV	WATER METER
FW	FW	WATER VALVE
FH	FH	FIRE HYDRANT
GM	GM	GAS METER
SSMH	SSMH	SANITARY SEWER MANHOLE
SSCO	SSCO	SANITARY SEWER CLEANOUT
LP	LP	UTILITY POLE
LP	LP	SITE LIGHTING POLE
TSP	TSP	TRAFFIC SIGNAL POLE
TSB	TSB	TRAFFIC SIGNAL BOX
SMH	SMH	STORM MANHOLE
JB	JB	STORM JUNCTION BOX
CI	CI	CURB INLET
GI	GI	GRATE INLET
SIGN	SIGN	SIGN
OHE	OHE	EXISTING OVERHEAD ELECTRIC LINE
CC	CC	EXISTING CONCRETE CURB
PC	PC	PROPOSED CONCRETE CURB
NSP	NSP	NUMBER OF PARKING SPACES
FL	FL	PROPOSED FIRE LANE
FC	FC	PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
FC	FC	PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W.
FC	FC	PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W.

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND DETAILS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS, PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
 - ALL DIMENSIONS AND RADIUS ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - ALL CURB RADIUS SHALL BE 4' UNLESS OTHERWISE NOTED.
 - FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

- ACCESSIBILITY NOTES**
- PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
 - ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT 1/4" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
 - ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
 - ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
 - ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' x 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.3% (1:12).
 - RAMP PLANS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
 - SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH. THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY CS&S SURVEYING TEXAS, L.L.C. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

BENCHMARK

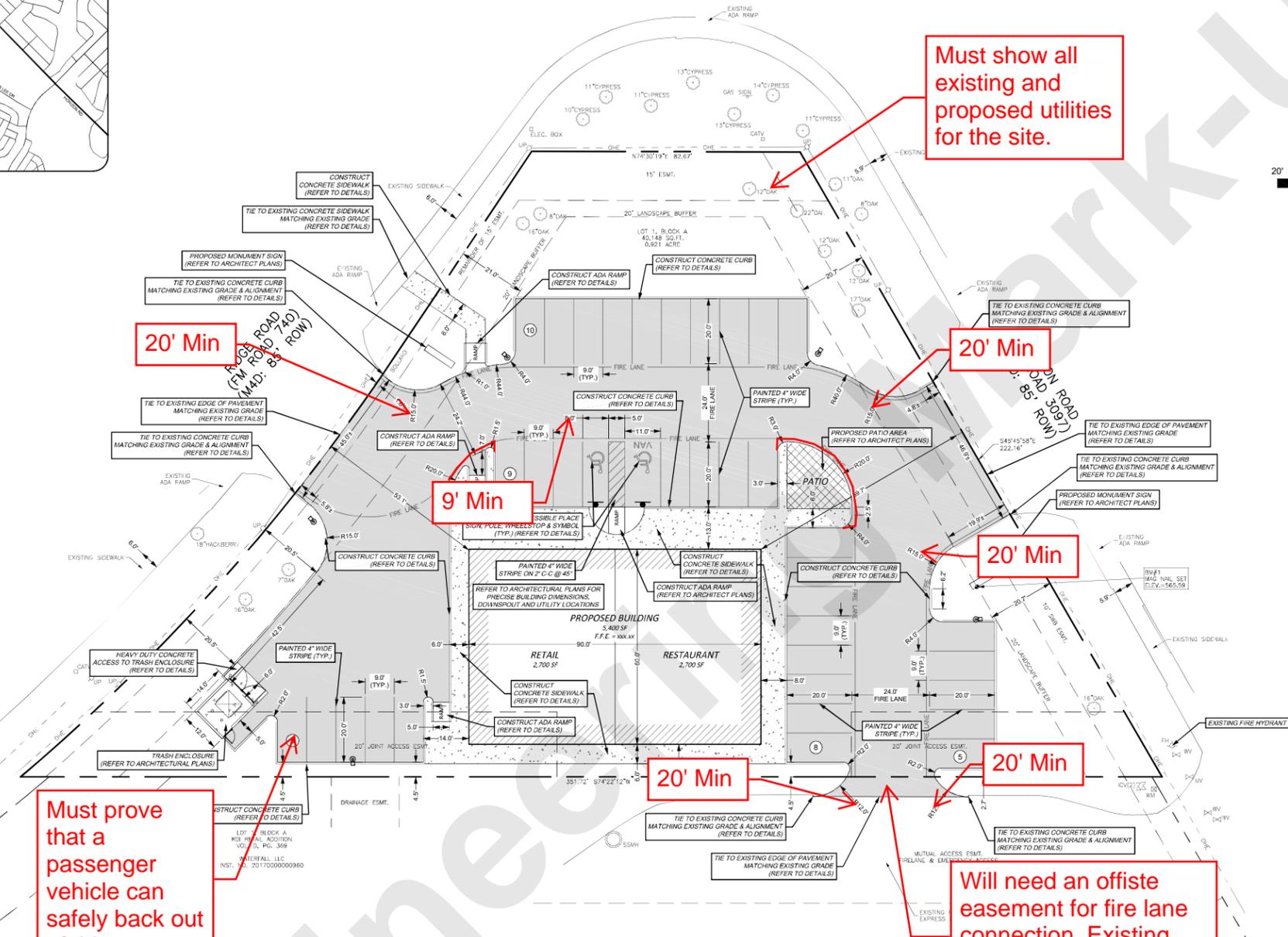
IF THE CONTRACTOR RELOCATES REFERENCE MARKERS WITH A NEW REFERENCE MARKER, IT SHALL BE LOCATED WITHIN A HORIZONTAL AND VERTICAL TOLERANCE OF 1/16" ELEVATION = 565.59

OWNER

SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP SOUTH
SUITE 1100
HOUSTON, TEXAS 77027



CASE NUMBER: SP2020-XXX



Must show all existing and proposed utilities for the site.

20' Min

20' Min

9' Min

20' Min

20' Min

20' Min

Will need an offsite easement for fire lane connection. Existing easement is only for emergencies.

Must prove that a passenger vehicle can safely back out of this space.

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees
- Must tie loop water line.
- No structures in easements. Min. easement width is 20'.
- Fire lane radii is 20' minimum as long as the building is 29' or shorter. If taller than 30', the radii must be 30' min.
- Parking to be 20'x9' for nose-to-nose or adjacent to the building all else to be 18'x9'.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.
- No trees within 10' of non-steel encased public utilities.
- Dumpster area must drain to an oil/water separator prior to connecting to the storm system
- Must meet City of Rockwall Standards of Design.

CITY OF ROCKWALL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN

KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TEXAS 75032

DRAWN BY: TG
DESIGNED BY: DK
LATEST REVISION: 03/18/20
KSA JOB NO.: 15-150638

KSA
6781 Oak Hill Blvd.,
Tyler, Texas 75793
T: 903-581-8141 F: 988-224-9418
www.ksaeng.com

This document is released for the purpose of interim review under the authority of Darrel Kottzur, P. E., Lic. # 83947, on March 18, 2020. It is not to be used for construction, bidding, or permit purposes.

SEAL: TPBE Firm Registration No. F-1356
SHEET NO.

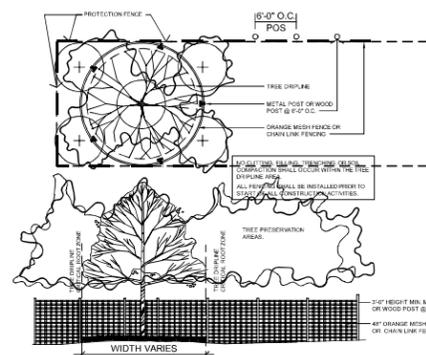
C1.0

Landscape Requirements:

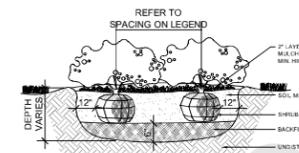
- Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.
- The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.
- All plant materials shall possess the following minimum qualities:
 - Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
 - All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
 - Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
 - All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
 - Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
 - Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
 - All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.
- Planting mix shall be thoroughly mixed in the following proportions:
 - Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY Or 10 Lbs. Organic fertilizer.
 - Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time-released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.
- Excavation work and Surface drainage works shall conform to the following requirements:
 - Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
 - Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
 - Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
 - Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
 - Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).
- Additional work requirements on landscape areas:
 - Prior to installation of any planting works (trees, shrubs, groundcover and grass works); apply "Round Up" in all planting areas to eradicate all weed growths on site.
 - ADD ALTERNATE:** Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be back polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs. (cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
 - Use "Shovel Edge" to separate all plant beds from grass areas.
 - Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.
- Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
 - The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Sixty Days (60).
 - The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
 - Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.
- Warranty Periods, Plant Guarantees, and Replacements:
 - Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Special Notes for Protection of Existing Trees:

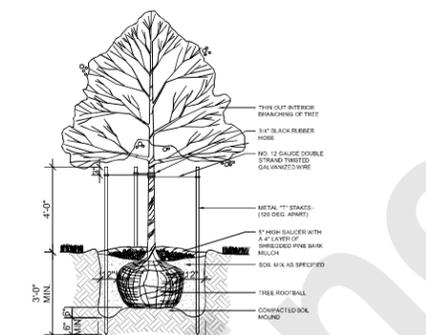
- Tree protection fencing shall be installed to eliminate activities detrimental to trees including but not limited to the following:
 - Soil compaction in the critical root zones resulting from heavy equipments, vehicular or excessive pedestrian traffic or storage of equipments or materials.
 - Root disturbance due to cuts, fills, or trenching works.
 - Wounds to exposed roots, trunks or limbs by mechanical equipments.
 - Other activities such as chemical storage, cement truck cleaning, fire, etc. are not acceptable or allowed around existing trees designated to remain on site.
- Location and types of tree protection devices:
 - Tree protection devices are to be installed to completely surround the critical root zones (tree dripline) of all trees to be preserved.
 - Tree protection fencing shall consist of chain link fencing or accepted substitutes (orange colored fabric mesh membrane). In addition to fencing, where tree trunks are in jeopardy of being damaged by equipments, 2x4 inch boards may be required to be strapped around the trunks of trees.
 - Tree protection fence may be installed around a grouping of existing trees for better control.
- All tree protection fencing shall be installed prior to any clearing, grubbing or grading. Tree protection fences must remain in functioning condition throughout all phases of the site development/construction.
- The contractor shall provide Class One Tree works for all trees designated to remain on the project site. Work shall include required root pruning; removal of dead/dying branches, trimming/thinning out of tree branches; repair of tree cavities and other tree damages. Trees shall be fertilized annually. A 3-1-1 ratio of nitrogen, phosphorus and potassium containing slow release, non-burning nitrogen should be applied according to manufacturer's instructions.
- All existing trees to remain shall be maintained by a certified tree arborist.
- During construction, no excess soil, additional fill, equipment, liquids or construction debris shall be placed inside the protective barrier, upon the root protection zone, nor shall any soil be removed from within the barrier.
- The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than one inch. Welling and retaining methods are allowed outside the root protection zone and shall be done in conformance with the Texas A & M University, Extension Landscape Horticulture, Protecting Existing Landscape Trees from Construction Damage Due to Grade Changes", Everett E. Janne and Douglas F. Welch, PhD, authors.



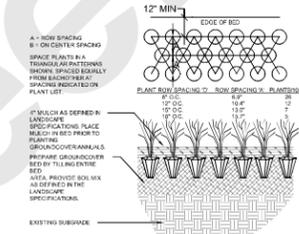
A TREE PROTECTION DETAIL
SCALE: NOT TO SCALE



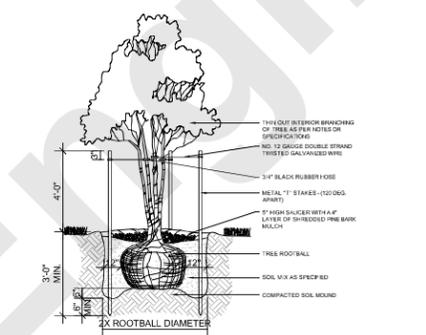
D SHRUB PLANTING
SCALE: NOT TO SCALE



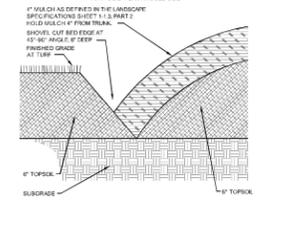
B SINGLE-TRUNK TREE PLANTING
SCALE: NOT TO SCALE



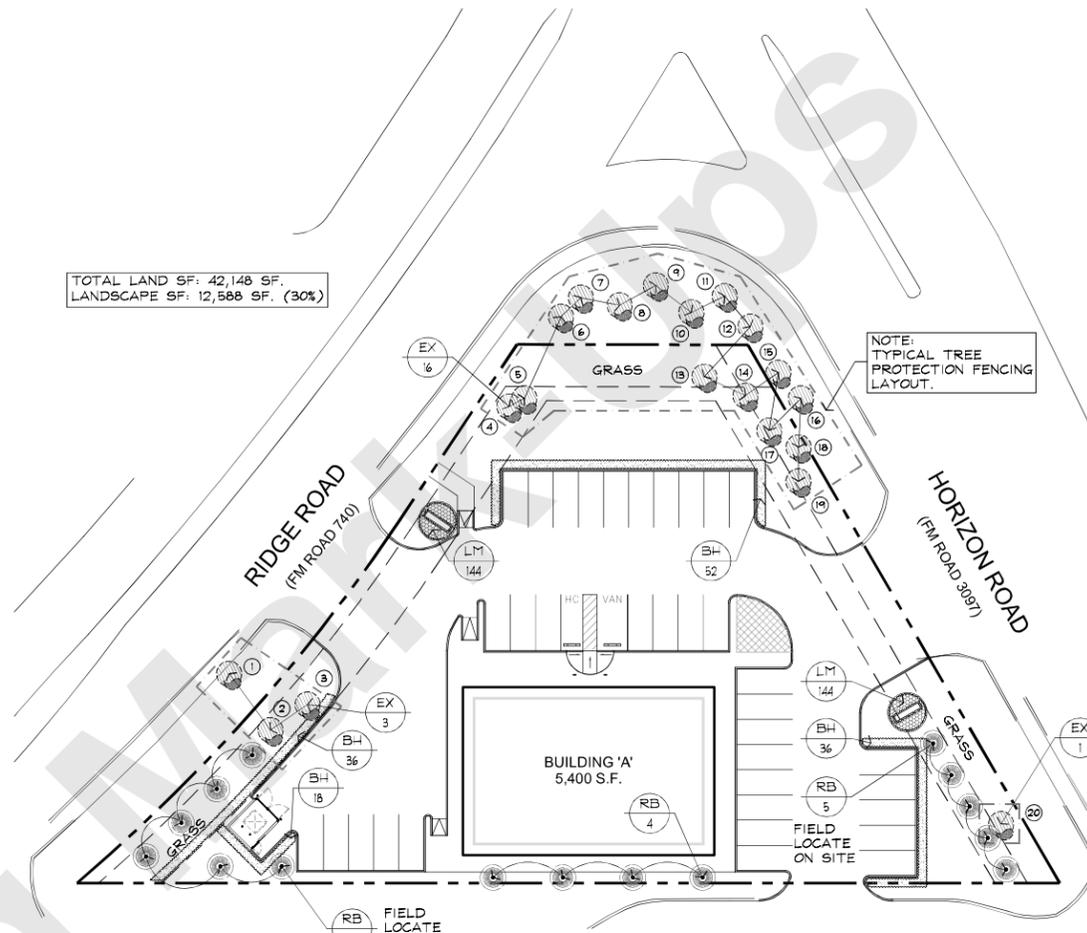
E GROUNDCOVER PLANTING
SCALE: NOT TO SCALE



C MULTI-TRUNK TREE PLANTING
SCALE: NOT TO SCALE



F SHOVEL CUT BED EDGE
SCALE: NOT TO SCALE



Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
EX	20			Existing trees to be remain and be protected by tree fencing as shown. Refer to Tree Inventory Table for tree type and caliper sizes. Refer to Tree Preservation requirements this sheet.
RB	15	Cercis Canadensis	Texas Redbud	2" cal. 30 gal. container, 6' to 7' ht. Tree Form.
BH	142	Ilex Burfordii	Dwarf Burford Holly	5 gal. planted at 36" o.c. single row.
LM	288	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Grass	Verify SF.	Cynodon Dactylon	Common Bermuda	Hydromulched for all areas within limits of this project plus all right of way areas. All areas to be grassed shall be cleaned up of all construction debris and shall be fine graded to adhere to civil grading/drainage plan.

LANDSCAPE CALCULATIONS:

- SITE AREAS: 40,148 SF.
- LANDSCAPE AREAS REQUIRED: 20% OR 8,030 SF.
- LANDSCAPE AREAS PROVIDED: 31% OR 12,588.00 SF.
- TOTAL BUILDING SF: 5,400.00 SF.
- TOTAL IMPERVIOUS AREAS: 27,560.00 SF.
- TOTAL PARKING REQUIRED: 37 PARKING PROVIDED: 37
- PLANTING REQUIREMENTS:
 - HORIZON ROAD @ 222.18 LF /50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
12 EXISTING CANOPY TREES PRESERVED + 5 ACCENT TREES PROVIDED
 - RIDGE ROAD @ 250 LF /50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
7 EXISTING CANOPY TREES PRESERVED + 4 ACCENT TREES PROVIDED

Existing Trees to Remain:

Tree No.	Type of Tree	Tree Caliper
01.	Hackberry	18"
02.	Oak	16"
03.	Oak	7"
04.	Oak	16"
05.	Oak	8"
06.	Cypress	10"
07.	Cypress	11"
08.	Cypress	11"
09.	Cypress	13"
10.	Cypress	13"
11.	Cypress	14"
12.	Cypress	11"
13.	Oak	12"
14.	Oak	22"
15.	Oak	11"
16.	Oak	8"
17.	Oak	12"
18.	Oak	12"
19.	Oak	17"
20.	Oak	16"

Grass Hydromulching Work Requirements:

- Grass works:
 - Seed which has become wet, moldy and otherwise damaged in transit or in storage will not be acceptable.
 - All grass seed shall be fresh, re-cleaned grass seed of the latest crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
 - Grass seed shall have the following minimum ratio:

Summer Mix:
Cynodon Dactylon (Hulled Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre.

Winter Mix:
Cynodon Dactylon (Unhulled - Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre. Annual Ryo Grass or equal, 85% pure live seed at 175 Lbs. Pure live seed per acre.
 - Slurry Mix Component per Acre shall be Wood cellulose fiber mulch = 2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
- Hydromulched seeding on Prepared finished grades:
 - Install and spread out a minimum of one inch layer of topsoil over all areas to be hydromulched.
 - Bed preparation: Immediately after the finished grade has been approved, begin hydros seeding operation to reduce excessive weed growth and erosion.
 - Apply seed, fertilizer and mulch by spraying them on the previously prepared seedbeds in the form of an aqueous mixture and by using the methods and equipment described herein.
 - Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against miss and overlapped areas.
 - Where slope of areas to be grassed exceed a 3:1 H:V; an erosion control fabric shall be installed prior to hydromulching process.
- Maintenance:
 - Maintenance shall consist of weeding, fertilizing, insect control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
 - Guarantee growth and coverage of hydromulch planting shall be a minimum on ninety five percent 95% of the area planted will be covered with specified planting after sixty days with no bare spots visible.
 - Watering: Coordinate with the Owner to properly operate irrigation system to assure a regular, deep watering program.
- Inspection and Final Acceptance:
 - Final acceptance of lawn establishment shall mean that hydrosseed areas are Ninety Five percent 95% uniform coverage of grass in excess of one inch height. No bare spots will be acceptable.

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.
WITNESS OUR HANDS, this ____ day of _____, 2020.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

bdg
architecture
+ planning
boucher design group

Boucher Design Group LLC
Members A.I.A.
6802 Maple Ridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

Wong & Associates, Inc.
Landscape Architect
1700 West Loop South, Suite 1850
Houston, Texas 77027
Tel. 713.777.9198 Fax. 713.657.9198
Member: American Society of Landscape Architects

KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE: 03/20/20
PROJECT NO.: 1702-100
DRAWN BY: EW/SR
CHECKED BY: EW

LANDSCAPE PLAN

1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

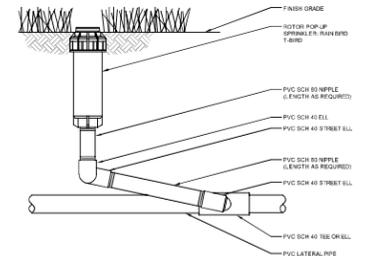
L1.1
©COPYRIGHT 2020 BOUCHER DESIGN GROUP, LLC

Irrigation General Notes:

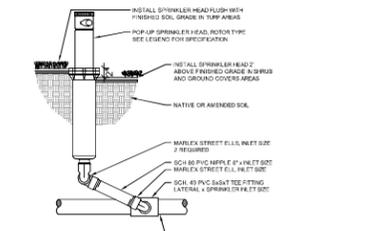
- ALL materials and equipment shall conform to all applicable State of Texas, City and County codes.
- The irrigation contractor shall be responsible for securing all permits prior to actual work on site.
- The intent of the 100% coverage of all landscape areas.
- Prior to commencement of work, the irrigation contractor shall contact the Owner to coordinate all required inspections.
- Extreme care shall be exercised in excavating and working near existing utility easements. The irrigation contractor shall be responsible for the verification of all utility locations (telephone, TV, gas electrical, water, cable, etc.). The irrigation contractor shall be responsible for all damages inflicted on any and all utility lines.
- The irrigation contractor shall at all times protect his work from damage and theft and replace all damaged or stolen parts at his expense until receipt of the Certificate of Substantial Completion from the Owner. The irrigation contractor shall flush and adjust the system for optimum performance. This shall include regulating the pressure at each valve to obtain the optimum operating pressure for each system. Use glue joints in mainline passing through sleeves under pavement. PVC sleeves shall be Schedule 40 and shall extend 24" out of the nearest existing pavement areas for easy location. The irrigation contractor shall be responsible for coordinate all sleeve locations on the project site with the Owner and/or general contractor.
- The irrigation contractor shall also comply to these additional special requirements to the irrigation system shall include the following:
 - All mainlines shall have a minimum of 18" of cover (**Sch. 40 PVC Pipe**).
 - All lateral and sub-main pipe to have a minimum of 12" of cover (**Sch. 40 PVC Pipe**).
 - No rocks, boulders or other extraneous materials shall be used for backfilling of trenches.
 - All pipes to be installed as per manufacturer's specifications.
 - All threaded joints to be coated with Teflon tape or Liquid Teflon.
 - All lines to be thoroughly flushed before installation of any sprinkler heads.
 - Sprinkler and related equipments shall be installed as per manufacturer's specification.
 - No electrical connections shall be made in the field except at a valve control box or another valve box specifically for connections.
 - All 24 volt wire shall be No. 12UF/UJL for common wire and No. 14 UF/UJL for control wires, direct burial shall be solid copper.
 - The irrigation contractor shall be responsible for proper coverage of areas to be watered; i.e. adjust heads with insufficient coverage due to blockage by existing or proposed site features or sizing down sprinkler heads to avoid excessive overwater.
 - The irrigation contractor shall refer to landscape planting plan to keep sprinkler equipments and accessory materials from interfering with proper planting; i.e. Verify rootball size for planting; configuration of shrub/groundcover beds, etc.
 - The irrigation contractor shall provide expansion coils at each wire connection in valve box (wrap around 3/4" pipe 12 times).
 - The irrigation contractor shall utilize appropriate automatic drain device where low head drainage may occur.
 - All sprinkler heads shall be mounted on swing joints unless otherwise noted.
 - The irrigation contractor shall install a separate common for each controller.
 - 24 Volt wire shall be color coded; Common shall be white and Control red.
 - The irrigation contractor shall install manufacturer's recommended grounding equipment for power supply and valve output with (2) 5/8" copper clad ground rods.
 - The irrigation contractor shall install manufacturer's recommendation on fault ground and lightning protection.
 - The irrigation contractor shall furnish the owner with the following : 2 wrenches for disassembling and adjusting each type of sprinkler heads and valves + 2 keys for the automatic controller + 2 quick coupler keys with matching hose swivels.
 - The irrigation contractor shall add extension risers to pop up sprinklers when needed for proper coverage. Coordinate with landscape contractor as to where risers for sprinkler heads are required.
 - The irrigation contractor shall install sprinkler equipments 12" from all buildings foundations and install sprinklers 4" from any curbs or walkways.
 - The irrigation backflow prevention device shall be installed within areas of proposed shrub plantings. The purpose of this is to keep the device screened from view.
 - The entire irrigation system (labor and materials) shall be guaranteed and warranted for a period of one year. The warranty period shall commence upon final acceptance by Owner of all landscape and irrigation works.
 - The irrigation contractor for the project must be licensed to do business within the State of Texas , as required by TCEQ.
 - This irrigation plan is diagrammatic only. Irrigation contractor shall provide final irrigation design layout plan complete with licensed irrigator's seal and signature. All applicable design calculations shall be shown on this irrigation plan to comply with all TCEQ requirements.

Irrigation Legend:

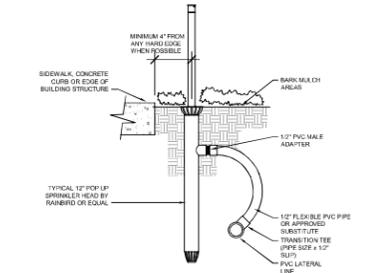
Sym	Sym	Irrigation Equipment and Manufacturer	Sprinkler Specification	GPM
A	⊙	Hunter I-20 Rotary Sprinkler	30'-0" radius	4.00
B	⊙	I-20-ADS 4"-1.0 nozzle Part Circle	30'-0" radius	2.00
Rainbird 1806 Pop Up Sprinkler or equal.				
C	⊙	RB 1806 Half 180 degree	12'-0" radius	1.30
D	⊙	RB 1806 Qtr. 90 degree	12'-0" radius	0.65
E	⊙	RB 1806 Low Angle End Strip Nozzle	4x15'	0.61
F	⊙	RB 1806 Low Angle Center Strip Nozzle	4x30'	1.21
Rainbird 1812 Shrub Pop Up Sprinkler or equal.				
G	⊙	RB 1812 Full 360 degree mounted on 24" Sch. 40 riser	12'-0" radius	2.60
H	⊙	RB 1812 Half 180 degree	12'-0" radius	1.30
J	⊙	RB 1812 Qtr. 90 degree	12'-0" radius	0.65
Rainbird PEB series Electric Remote Control Valves with sizes as noted plan.				
		One (1) 1" water meter Supplied and installed by irrigation contractor for the irrigation system. Water meter to be installed as per city and county codes.	Verify point of connection.	
		One (1) 1" FEBCO RPZ & 1" ISOLATION VALVE to be installed as per city and county code by irrigation contractor. Install BPOI Guardsack Enclosure GS-3.3 to protect backflow devices. Verify location on site.		
		Rainbird 33 DRC quick coupling valve (valves to be installed below grade inside valve box)	Total (3) field located on site.	
		One (1) Rainbird ESP 8 LX Irrigation controllers. Verify location and coordinate electrical requirements for controller with General contractor and / or owner. Install Rainbird Rain Sensors within close proximity of controller location. Verify location with Owner.		
		Pressure Line shall be 1 1/2" sch. 40 PVC pipe. Install "Thrust Blocks" as required. Install appropriate Gate Valves where noted.		
		6" Sch. 40 PVC irrigation sleeves unless noted as 4" on plan. Verify location of all sleeves on project site.		
		1/2" Sch. 40 PVC non pressure line.		
		3/4" Sch. 40 PVC non pressure line.		
		1" Sch. 40 PVC non pressure line.		
		1-1/2" Sch. 40 PVC non pressure line.		
		Sequence of Irrigation Valve		
		Size of Irrigation Valve		



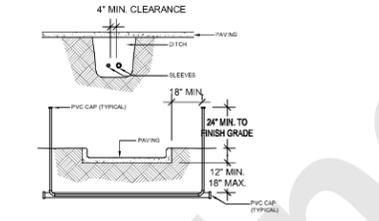
A ROTARY SPRINKLER
SCALE: NOT TO SCALE



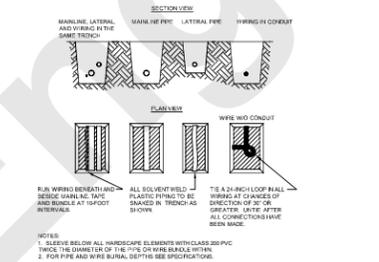
B POP-UP SPRINKLER ROTOR TYPE (6")
SCALE: NOT TO SCALE



C POP UP SPRAY HEAD (12")
SCALE: NOT TO SCALE

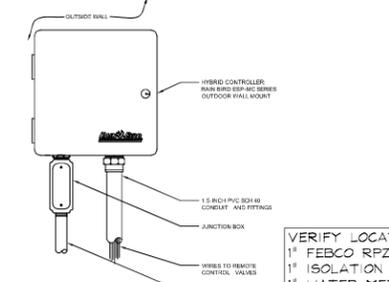


D SLEEVING
SCALE: NOT TO SCALE

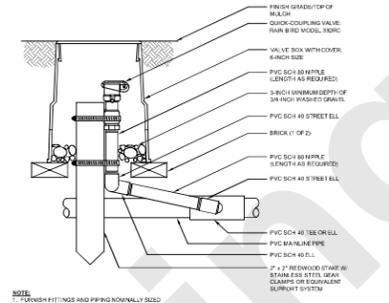


E TRENCH DETAIL
SCALE: NOT TO SCALE

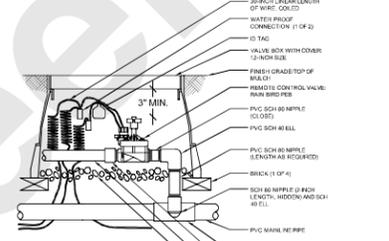
F ISOLATION/SHUT-OFF VALVE
SCALE: NOT TO SCALE



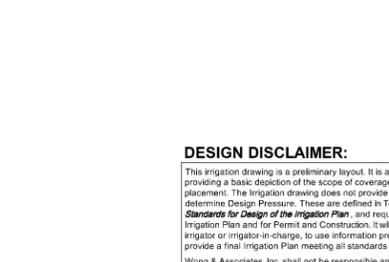
G IRRIGATION CONTROLLER
SCALE: NOT TO SCALE



H QUICK COUPLING VALVE
SCALE: NOT TO SCALE



I REMOTE CONTROL VALVE
SCALE: NOT TO SCALE



J RAIN SENSOR INSTALLATION DETAIL
SCALE: NOT TO SCALE

NOTE: HANDTRENCHING ONLY AROUND CANOPY/DRIP LINE OF ALL EXISTING TREES.

VERIFY LOCATION FOR:
1" FEBCO RPZ
1" ISOLATION VALVE
1" WATER METER

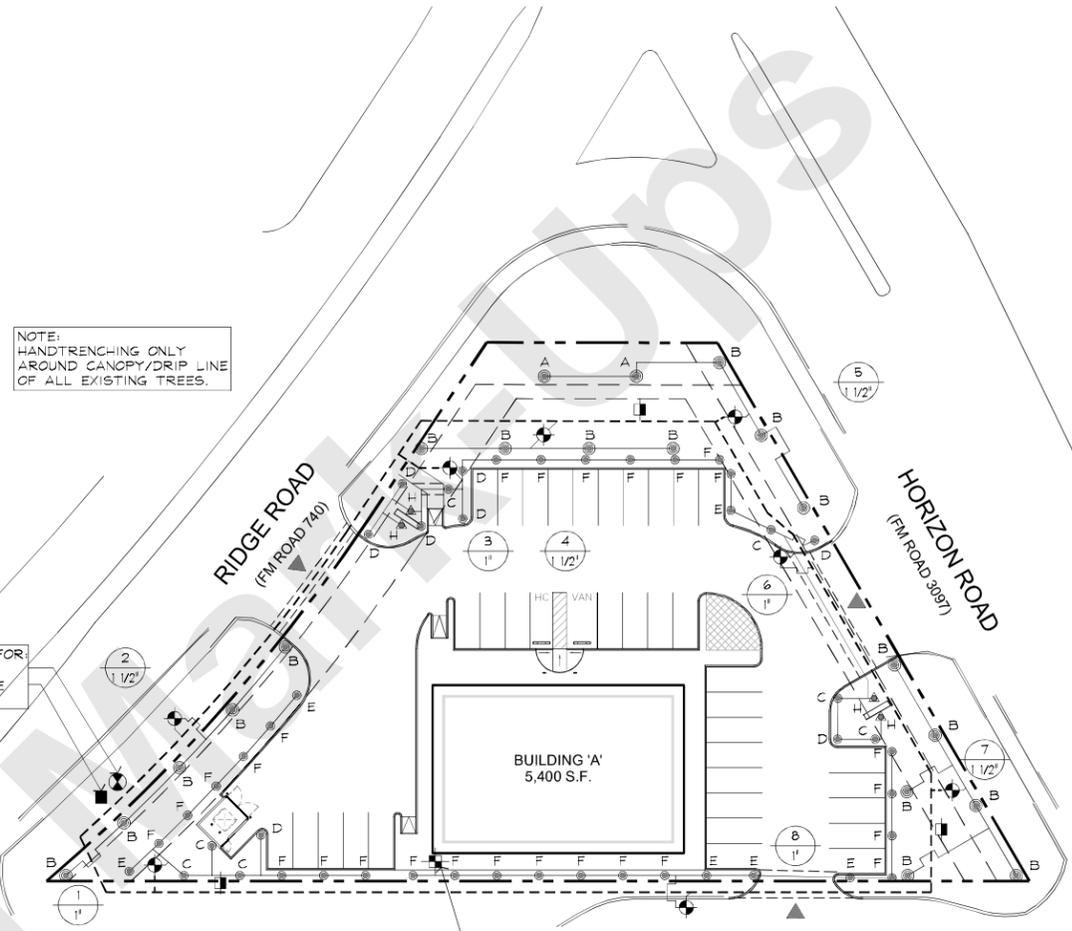
NOTE: VERIFY LOCATION FOR IRRIGATION CONTROLLER. COORDINATE POWER TO CONTROLLER WITH GC ON SITE.

NOTE: LOCATE WHERE RAIN GANFALL DIRECTLY INTO DEVICE.
NOTE: INSTALL RAIN SENSOR AS PER MANUFACTURER'S SPECIFICATIONS.

APPROVED BACKFLOW ENCLOSEURE GUARDSACK MODEL GS-3.3
CONCRETE PAD FOR ENCLOSEURE
FEBCO ROBY BACKFLOW DEVICE
PVC SCH 40 NIPPLE (TYPICAL)
RAIN BIRD MODEL 303RC (TYPICAL)

DESIGN DISCLAIMER:
This irrigation drawing is a preliminary layout. It is a diagrammatic representation for purpose of providing a basic depiction of the scope of coverage, initial valve zoning, with head type and placement. The Irrigation drawing does not provide necessary zone flow, hydraulic calculations to determine Design Pressure. These are defined in Texas Administrative Code §84.61 Minimum Standards for Design of the Irrigation Plan, and required by the T.C.E.Q. for a complete Irrigation Plan and for Permit and Construction. It will be the responsibility of the installing licensed irrigator or irrigator-in-charge, to use information provided on this Preliminary Irrigation drawing, to provide a final Irrigation Plan meeting all standards as required by T.C.E.Q. Signed and Sealed.
Wong & Associates, Inc. shall not be responsible and accepts no liability for design failure, inaccurate head layout, incorrect hydro-zoning, pipe sizing, zone flow or hydraulic calculations, irrigation equipment, or aspects of the preliminary design drawings not in compliance with local irrigation regulations. The irrigation contractor shall be ultimately responsible for the final design, installation and proper operation of the irrigation system.

Disclaimer
Wong & Associates, Inc. shall not be responsible for the operation and/or maintenance of this irrigation system, once the date of final acceptance by the owner is established. All grades and elevations on the project shall be set by the project civil engineer. The Owner shall be responsible for the monitoring and the maintaining of the irrigation system. Monthly moisture sensor tests of all sprinkler zones around all building pads and on entire property, shall be performed by the Owner to ensure that no over-watering and/or any irrigation system leaks are present. The irrigation contractor shall be responsible for providing all guarantee and warranties for the irrigation system. The irrigation contractor shall be ultimately responsible for the installation and proper operation of the irrigation system.



ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.
WITNESS OUR HANDS, this ____ day of _____, 2020.

Planning and Zoning Commission, Chairman

Director of Planning and Zoning

bdg
architecture
+ planning
boucher design group
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

STATE OF TEXAS
CRAIG S. VARS
Professional Engineer
No. 10000
Wong & Associates, Inc.
P.O. Box 2026 - Bellaire, Texas 77402-2026
Tel. 713.777.9188 Fax: 713.657.9188
Member - American Society of Landscape Architects

KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032
SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027
DATE: 03/20/20
PROJECT NO: 1702400
DRAWN BY: Ew/SR
CHECKED BY: Ew

IRRIGATION PLAN



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **2901 Ridge Road, Rockwall, Texas 75032**

Subdivision _____

Lot _____

Block _____

General Location **Hard corner of Ridge Road and Horizon Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **PD-9, General Retail**

Current Use **Commercial**

Proposed Zoning **PD-9, General Retail**

Proposed Use **Commercial**

Acreage **0.921 acres**

Lots [Current] **1**

Lots [Proposed] **1**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **SDI Rockwall Holdings, LLC**

Applicant **Boucher Design Group**

Contact Person **Peter Sisan**

Contact Person **Jason Miller**

Address **1800 West Loop South
Suite 1850**

Address **6802 Mapleridge Street
Suite 200**

City, State & Zip **Houston, Texas 77027**

City, State & Zip **Bellaire, Texas 77401**

Phone **713-892-5200**

Phone **713-785-3644**

E-Mail **psisan@sdirealty.com**

E-Mail **jason@bdgap.com**

NOTARY VERIFICATION [REQUIRED]

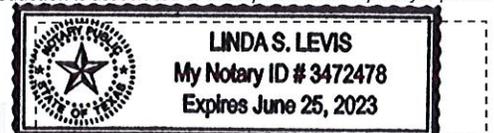
Before me, the undersigned authority, on this day personally appeared Jason Miller [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$270.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 19th day of March, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 19th day of March, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

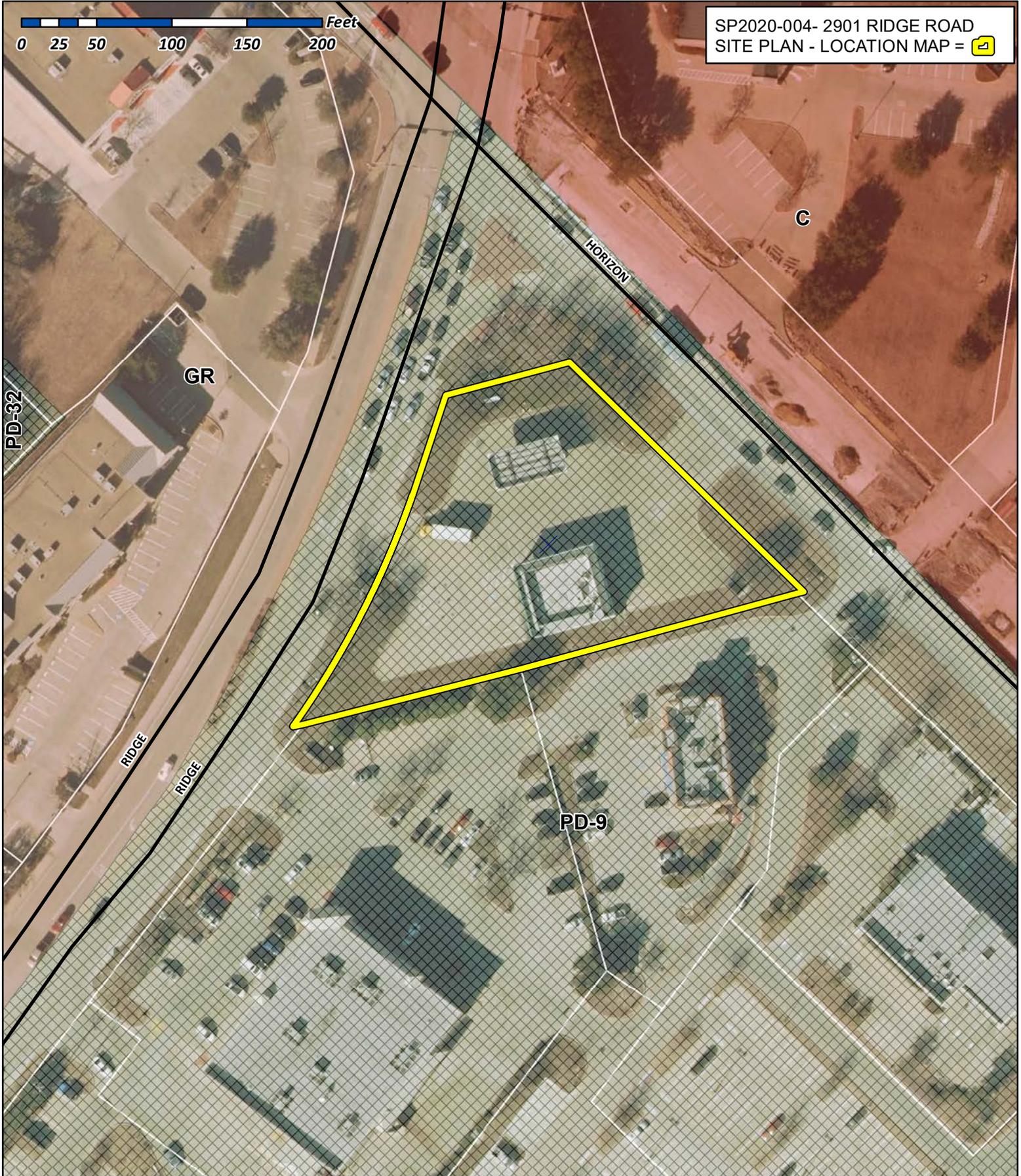


My Commission Expires

6/25/2023



SP2020-004- 2901 RIDGE ROAD
SITE PLAN - LOCATION MAP =

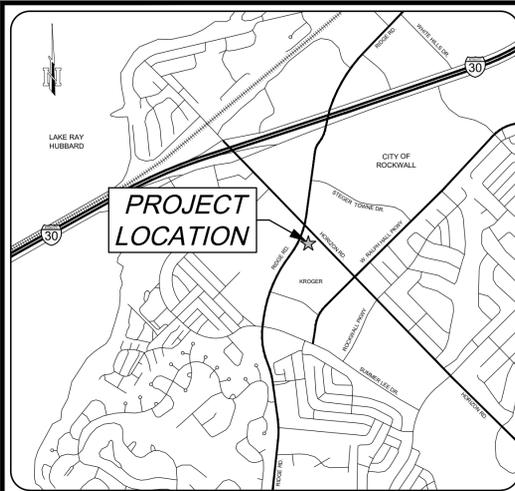


City of Rockwall

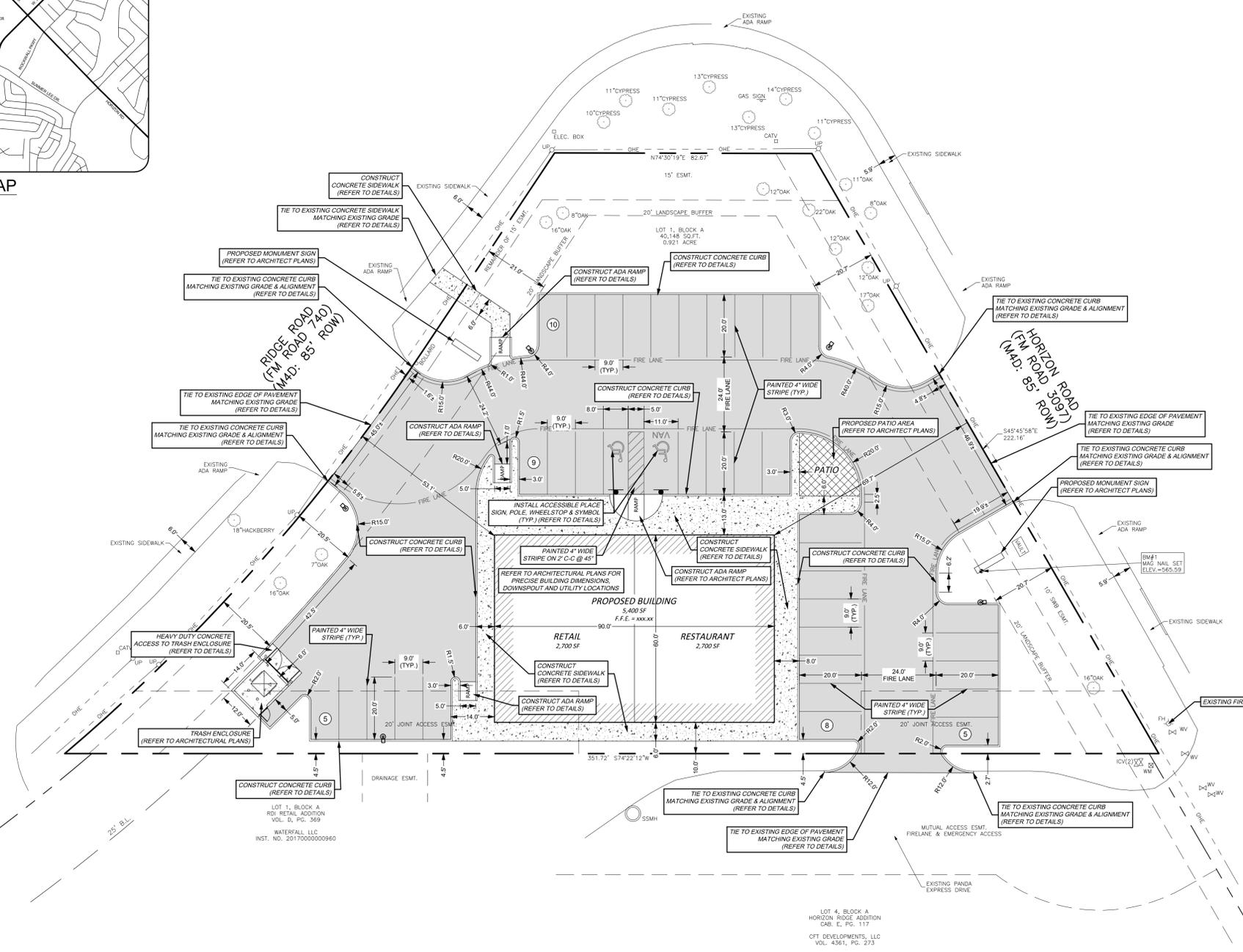
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
NOT TO SCALE



SITE PLAN INFORMATION

LAND USE: CURRENT: C-COMMERCIAL
PROPOSED: C-COMMERCIAL

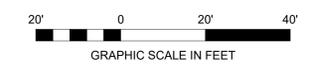
TOTAL LOT AREA: 0.921 ACRES (40,148 S.F.)
TOTAL LOT PERIMETER: 1998 LF

BUILDING AREA: 5,400± S.F.
BUILDING HEIGHT: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	35	35
ACCESSIBLE PARKING	2	2
TOTAL	37	37

Time of Day	Retail	Restaurant	Retail	Rest.	Total
6:00 a.m. - 12:00 noon	0.97	0.50	10	14	24
12:00 noon - 1:00 p.m.	1.00	0.70	11	19	30
1:00 p.m. - 4:00 p.m.	0.97	0.60	10	16	27
4:00 p.m. - 6:00 p.m.	0.82	0.90	9	24	33
6:00 p.m. - 8:00 p.m.	0.89	1.00	10	27	37
8:00 p.m. - 12:00 midnight	0.61	1.00	7	27	34
Total #			7	27	37

Retail SF	Rest SF	Retail Reg	Rest Reg
2,700	2,700	1/250	1/100



LEGEND

EXISTING	PROPOSED	DESCRIPTION
WM	WM	WATER METER
WV	WV	WATER VALVE
FH	FH	FIRE HYDRANT
GM	GM	GAS METER
SSMH	SSMH	SANITARY SEWER MANHOLE
SSCO	SSCO	SANITARY SEWER CLEANOUT
UP	UP	UTILITY POLE
SP	SP	SITE LIGHTING POLE
TSP	TSP	TRAFFIC SIGNAL POLE
TSB	TSB	TRAFFIC SIGNAL BOX
SMH	SMH	STORM MANHOLE
JB	JB	STORM JUNCTION BOX
CI	CI	CURB INLET
GI	GI	GRATE INLET
OHE	OHE	EXISTING OVERHEAD ELECTRIC LINE
CC	CC	EXISTING CONCRETE CURB
PC	PC	PROPOSED CONCRETE CURB
PS	PS	NUMBER OF PARKING SPACES
FL	FL	PROPOSED FIRE LANE
FL1	FL1	PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
FL2	FL2	PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W.
FL3	FL3	PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W.
S	S	SIGN

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOORS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND DETAILS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS. PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - ALL CURB RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
 - FIRE LINES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

- ACCESSIBILITY NOTES**
- PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
 - ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE 1" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
 - ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT STORAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
 - ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
 - ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.3% (1:12).
 - RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
 - SURFACE OF CURB RAMP SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMP SHALL NOT EXCEED 6" IN LENGTH.
 - THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY CBG SURVEYING TEXAS, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

BENCHMARK

IF THE CONTRACTOR RELOCATES REFERENCE MARKERS WITH A NEW REFERENCE MARKER, IT SHALL BE LOCATED WITHIN A HORIZONTAL AND VERTICAL TOLERANCE OF 0.117'

BENCHMARK	MAG NAIL SET ELEVATION
BM#1	565.59

OWNER

SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP SOUTH
SUITE 1850
HOUSTON, TEXAS 77027

CITY OF ROCKWALL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____, _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN

KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TEXAS 75032

PROJECT TITLE: _____ CITY XX, TEXAS

DATE	REVISION

DRAWN BY: TG
DESIGNED BY: DK
LATEST REVISION: 03/19/20
KSA JOB NO.: 19-1506-38
PROJECT NO.: 19-1506-38

KSA
6781 Oak Hill Blvd.,
Houston, Texas 77030
T. 903.555.8870
www.ksaeng.com

This document is released for the purpose of interim review under the authority of Darrel Kotzur, P.E., Lic. # 83947, on March 18, 2020. It is not to be used for construction, bidding, or permit purposes.

SEAL: TBPE Firm Registration No. F-1356
SHEET NO. **C1.0**

811
Know what's below.
Call before you dig.

CASE NUMBER: SP2020-XXX

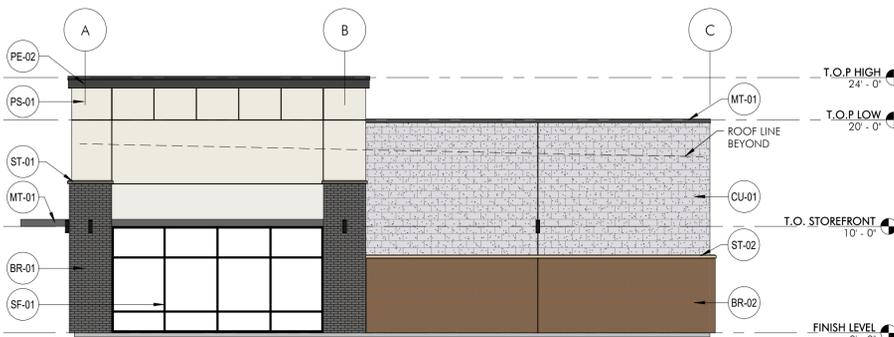
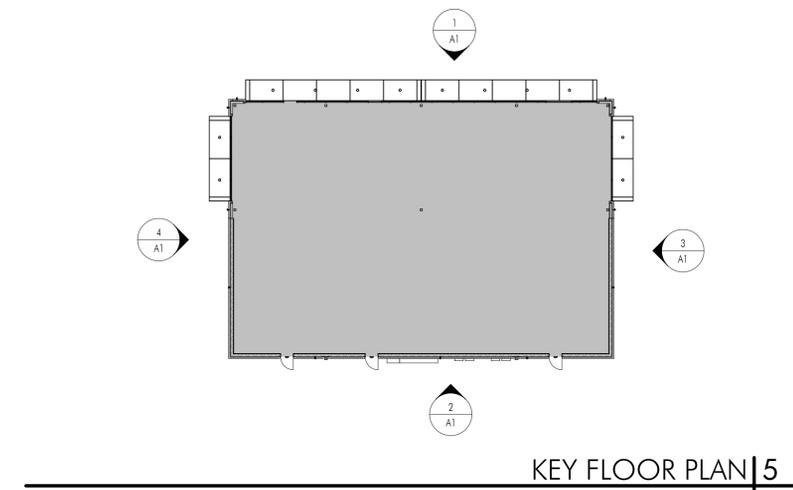
OVERALL BUILDING (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL/ CAST STONE (281 S.F.)	10% (MAX)	4%
BRICK (1,345 S.F.)		21%			
CMU (1,969 S.F.)		30%			
GLAZING (1,230 S.F.)		19%			
STUCCO (1,717 S.F.)	50% (MAX)	26%			
TOTAL (6,261 S.F.)	90% (MIN)	96%	TOTAL (281 S.F.)	10% (MAX)	4%

NORTH ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL/ CAST STONE (149 S.F.)	10% (MAX)	7%
BRICK (112 S.F.)		5%			
GLAZING (830 S.F.)		38%			
STUCCO (1,089 S.F.)	50% (MAX)	50%			
TOTAL (2,031 S.F.)	90% (MIN)	93%	TOTAL (149 S.F.)	10% (MAX)	7%

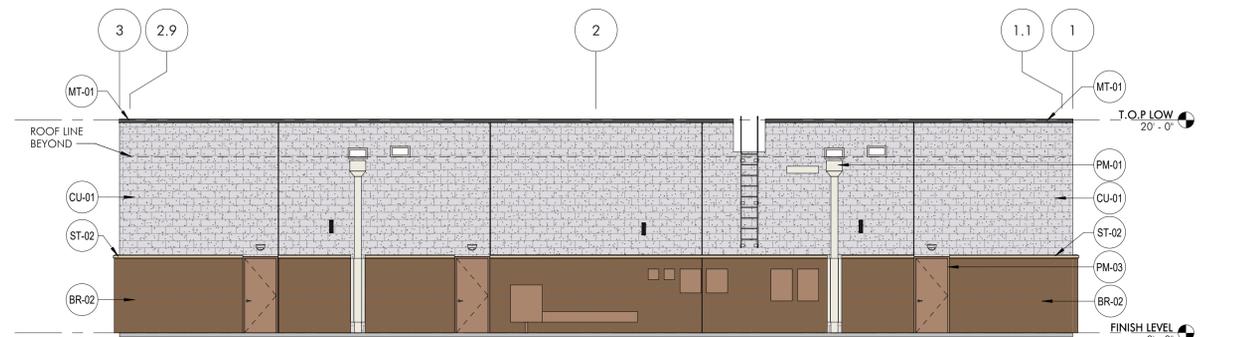
SOUTH ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL/ CAST STONE (26 S.F.)	10% (MAX)	1%
BRICK (547 S.F.)		32%			
CMU (1,145 S.F.)		67%			
TOTAL (1,692 S.F.)	90% (MIN)	99%	TOTAL (26 S.F.)	10% (MAX)	1%

EAST ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL/ CAST STONE (53 S.F.)	10% (MAX)	4%
BRICK (343 S.F.)		26%			
CMU (412 S.F.)		31%			
GLAZING (200 S.F.)		15%			
STUCCO (314 S.F.)	50% (MAX)	24%			
TOTAL (1,269 S.F.)	90% (MIN)	96%	TOTAL (53 S.F.)	10% (MAX)	4%

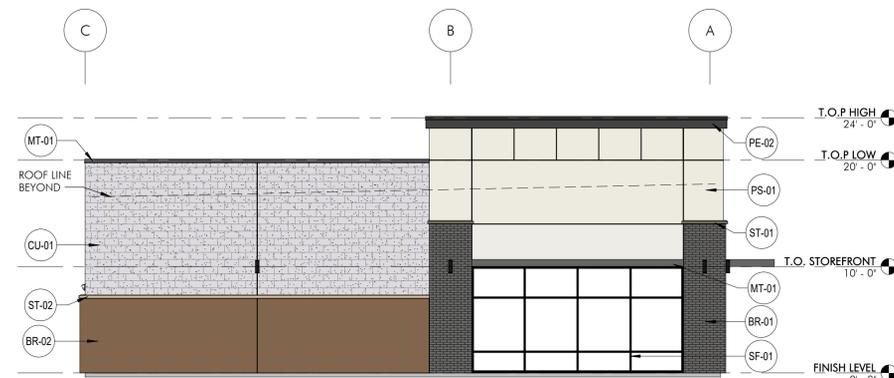
WEST ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL/ CAST STONE (53 S.F.)	10% (MAX)	4%
BRICK (343 S.F.)		26%			
CMU (412 S.F.)		31%			
GLAZING (200 S.F.)		15%			
STUCCO (314 S.F.)	50% (MAX)	24%			
TOTAL (1,269 S.F.)	90% (MIN)	96%	TOTAL (53 S.F.)	10% (MAX)	4%



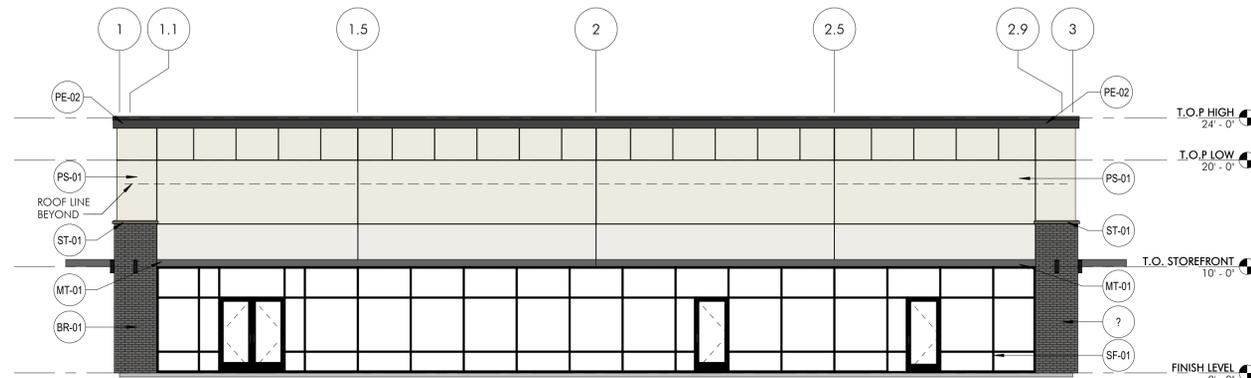
WEST ELEVATION | 4
1/8" = 1'-0"



SOUTH ELEVATION | 2
1/8" = 1'-0"



EAST ELEVATION | 3
1/8" = 1'-0"



NORTH ELEVATION | 1
1/8" = 1'-0"



BR-01
MASONRY BRICK
CLOUD CERAMICS
MIDNIGHT VELOUR



BR-02
MASONRY BRICK
CLOUD CERAMICS
KANSAS GOLD IRONSPOT



CU-01
SPLIT-FACE CMU
OLD CASTLE
WHITE LIMESTONE



ST-01
CALCIUM SILICATE
MASONRY UNIT
ARRISCRRAFT GRAPHITE



ST-02
CALCIUM SILICATE
MASONRY UNIT
ARRISCRRAFT CHAMPAGNE



MT-01
PREFINISHED METAL
CANOPY/ COPING
BERRIDGE CHARCOAL GRAY



PS-01/PM-01
PAINT
SHERWIN WILLIAMS
SW7008 ALABASTER



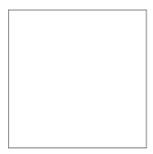
PE-02
INTEGRAL COLOR EIFS
SHERWIN WILLIAMS
SW7069 IRON ORE



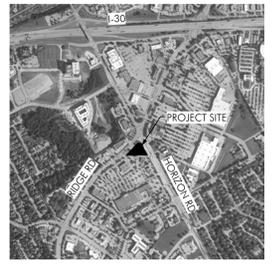
PM-03
PAINTED MTL
SHERWIN WILLIAMS
SW7715 POTTERY URN



SF-01
STOREFRONT
KAWNEER
ANODIZED BLACK



R-01
ROOFING
TPO SINGLE-PLY
COLOR: WHITE



PROPOSED LAND USE: COMMERCIAL
CASE NO:



ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.
WITNESS OUR HANDS, this ____ day of _____, 20____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Boucher Design Group, LLC
Members A.I.A.
6802 Maple Ridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

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PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TX 75032
SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

EXTERIOR ELEVATIONS

A1
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ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.
WITNESS OUR HANDS, this ____ day of _____, 2020.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



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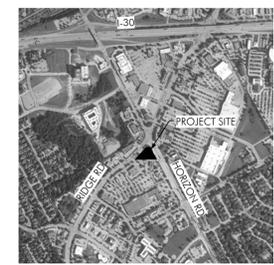
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HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

BUILDING PERSPECTIVES



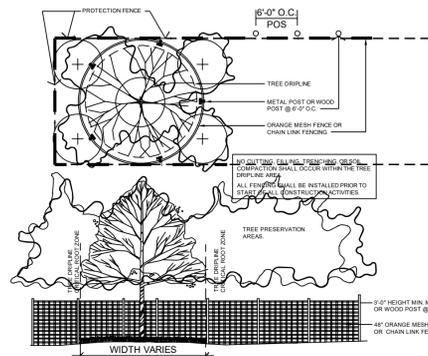
A2
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Landscape Requirements:

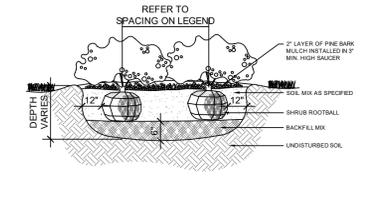
- Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.
- The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.
- All plant materials shall possess the following minimum qualities:
 - Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
 - All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
 - Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
 - All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
 - Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
 - Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
 - All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.
- Planting mix shall be thoroughly mixed in the following proportions:
 - Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY or 10 Lbs. Organic fertilizer.
 - Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time-released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.
- Excavation work and Surface drainage works shall conform to the following requirements:
 - Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
 - Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another party, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
 - Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
 - Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
 - Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).
- Additional work requirements on landscape areas:
 - Prior to installation of any planting works (trees, shrubs, groundcover and grass works), apply "Round Up" in all planting areas to eradicate all weed growths on site.
 - ADD ALTERNATE:** Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be back polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-632; 90 lbs. (machine direction) 50 lbs. (cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
 - Use "Shovel Edge" to separate all plant beds from grass areas.
 - Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.
- Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
 - The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Sixty Days (60).
 - The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
 - Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.
- Warranty Periods, Plant Guarantees, and Replacements:
 - Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Special Notes for Protection of Existing Trees:

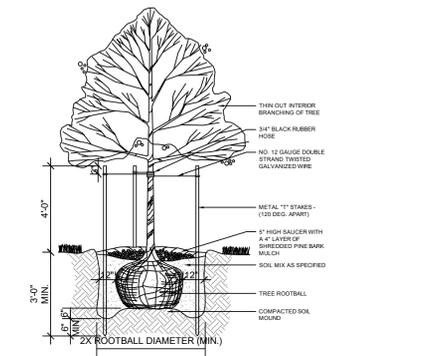
- Tree protection fencing shall be installed to eliminate activities detrimental to trees including but not limited to the following:
 - Soil compaction in the critical root zones resulting from heavy equipments, vehicular or excessive pedestrian traffic or storage of equipments or materials.
 - Root disturbance due to cuts, fills, or trenching works.
 - Wounds to exposed roots, trunks or limbs by mechanical equipments.
 - Other activities such as chemical storage, cement truck cleaning, fire, etc. are not acceptable or allowed around existing trees designated to remain on site.
- Location and types of tree protection devices:
 - Tree protection devices are to be installed to completely surround the critical root zones (tree dripline) of all trees to be preserved.
 - Tree protection fencing shall consist of chain link fencing or accepted substitutes (orange colored fabric mesh membrane). In addition to fencing, where tree trunks are in jeopardy of being damaged by equipments, 2x4 inch boards may be required to be strapped around the trunks of trees.
 - Tree protection fence may be installed around a grouping of existing trees for better control.
- All tree protection fencing shall be installed prior to any clearing, grubbing or grading. Tree protection fences must remain in functioning condition throughout all phases of the site development/construction.
- The contractor shall provide Class One Tree works for all trees designated to remain on the project site. Work shall include required root pruning; removal of dead/dying branches, trimming/thinning out of tree branches; repair of tree cavities and other tree damages. Trees shall be fertilized annually. A 3-1-1 ratio of nitrogen, phosphorus and potassium containing slow release, non-burning nitrogen should be applied according to manufacturer's instructions.
- All existing trees to remain shall be maintained by a certified tree arborist.
- During construction, no excess soil, additional fill, equipment, liquids or construction debris shall be placed inside the protective barrier, upon the root protection zone, nor shall any soil be removed from within the barrier.
- The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than one inch. Welling and retaining methods are allowed outside the root protection zone and shall be done in conformance with the Texas A & M University, Extension Landscape Horticulture, Protecting Existing Landscape Trees from Construction Damage Due to Grade Changes", Everett E. Janne and Douglas F. Welch, PhD, authors.



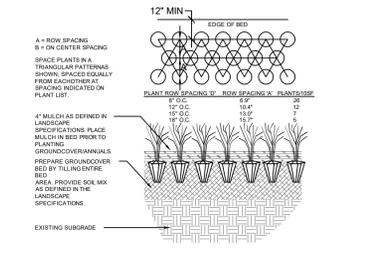
A TREE PROTECTION DETAIL
SCALE: NOT TO SCALE



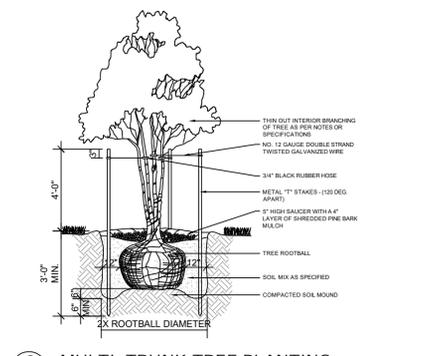
D SHRUB PLANTING
SCALE: NOT TO SCALE



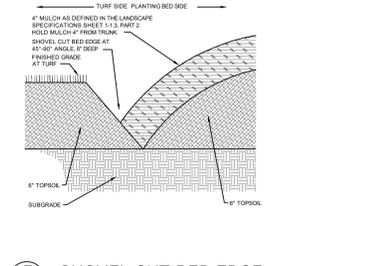
B SINGLE-TRUNK TREE PLANTING
SCALE: NOT TO SCALE



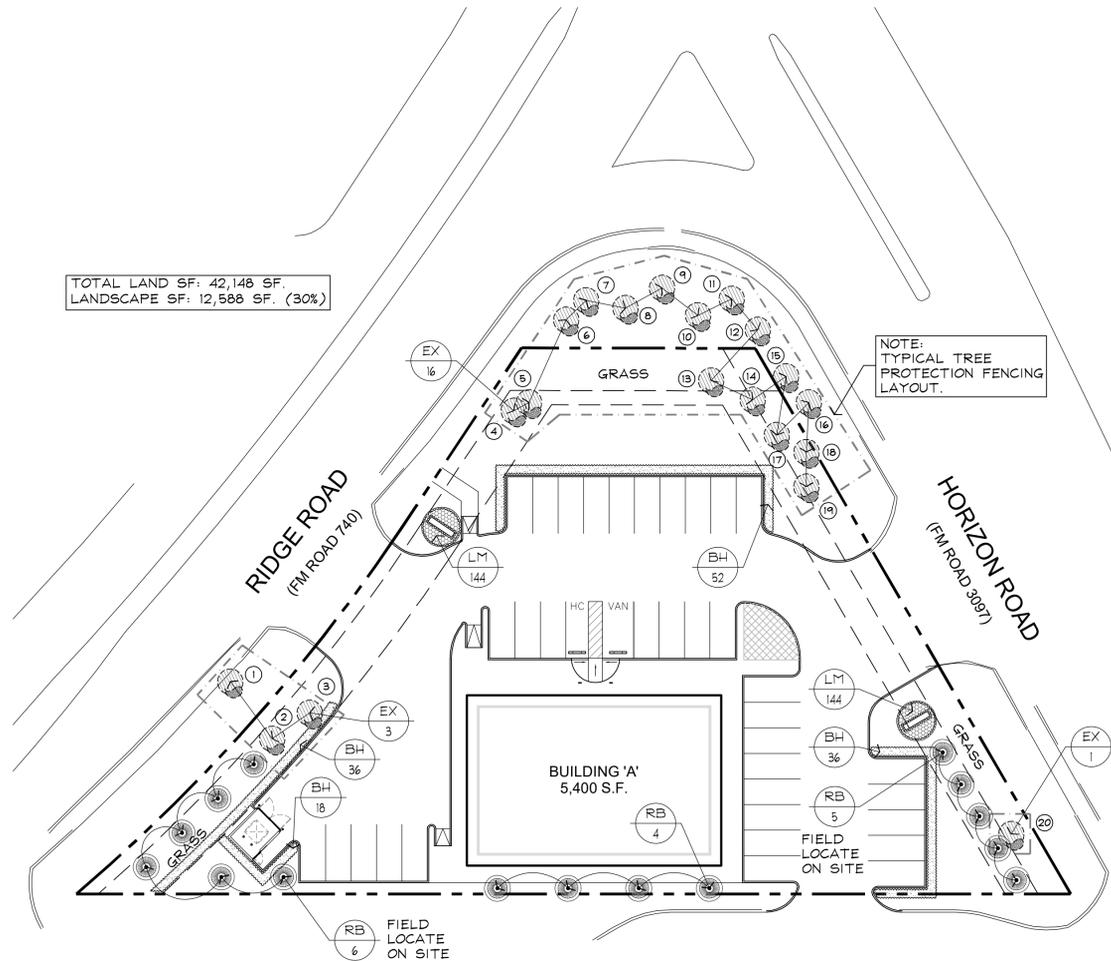
E GROUNDCOVER PLANTING
SCALE: NOT TO SCALE



C MULTI-TRUNK TREE PLANTING
SCALE: NOT TO SCALE



F SHOVEL CUT BED EDGE
SCALE: NOT TO SCALE



Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
EX	20			Existing trees to be remain and be protected by tree fencing as shown. Refer to Tree Inventory Table for tree type and caliper sizes. Refer to Tree Preservation requirements this sheet.
RB	15	Cercis Canadensis	Texas Redbud	2" cal. 30 gal. container; 6' to 7' ht. Tree Form.
BH	142	Ilex Burfordii	Dwarf Burford Holly	5 gal. planted at 36" o.c. single row.
LM	288	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Grass	Verify SF.	Cynodon Dactylon	Common Bermuda	Hydromulched for all areas within limits of this project plus all right of way areas. All areas to be grassed shall be cleaned up of all construction debris and shall be fine graded to adhere to civil grading/drainage plan.

LANDSCAPE CALCULATIONS:

- SITE AREAS: 40,148 SF.
- LANDSCAPE AREAS REQUIRED: 20% OR 8,030 SF.
- LANDSCAPE AREAS PROVIDED: 31% OR 12,588.00 SF.
- TOTAL BUILDING SF. 5400.00 SF.
- TOTAL IMPERVIOUS AREAS: 27,550.00 SF.
- TOTAL PARKING REQUIRED: 37 PARKING PROVIDED: 37
- PLANTING REQUIREMENTS:
 - HORIZON ROAD @ 222.18 LF /50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
12 EXISTING CANOPY TREES PRESERVED + 5 ACCENT TREES PROVIDED
 - RIDGE ROAD @ 250 LF /50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
7 EXISTING CANOPY TREES PRESERVED + 4 ACCENT TREES PROVIDED

Existing Trees to Remain:

Tree No.	Type of Tree	Tree Caliper
01.	Hackberry	18"
02.	Oak	16"
03.	Oak	7"
04.	Oak	16"
05.	Oak	8"
06.	Cypress	10"
07.	Cypress	11"
08.	Cypress	11"
09.	Cypress	13"
10.	Cypress	13"
11.	Cypress	14"
12.	Cypress	11"
13.	Oak	12"
14.	Oak	22"
15.	Oak	11"
16.	Oak	8"
17.	Oak	12"
18.	Oak	12"
19.	Oak	17"
20.	Oak	16"

Grass Hydromulching Work Requirements:

- Grass works:
 - Seed which has become wet, moldy and otherwise damaged in transit or in storage will not be acceptable.
 - All grass seed shall be fresh, re-cleaned grass seed of the latest crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
 - Grass seed shall have the following minimum ratio:
 - Summer Mix: Cynodon Dactylon (Hulled Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre.
 - Winter Mix: Cynodon Dactylon (Unhulled - Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre. Annual Rye Grass or equal, 85% pure live seed at 175 Lbs. Pure live seed per acre.
- Slurry Mix Component per Acre shall be Wood cellulose fiber mulch = 2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
- Hydromulched seeding on Prepared finished grades:
 - Install and spread out a minimum of one inch layer of topsoil over all areas to be hydromulched.
 - Bed preparation: Immediately after the finished grade has been approved, begin hydrosowing operation to reduce excessive weed growth and erosion.
 - Apply seed, fertilizer and mulch by spraying them on the previously prepared seedbeds in the form of an aqueous mixture and by using the methods and equipment described herein.
 - Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against miss and overlapped areas.
 - Where slope of areas to be grassed exceed a 3:1 H:V; an erosion control fabric shall be installed prior to hydromulching process.
- Maintenance:
 - Maintenance shall consist of weeding, fertilizing, insect control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
 - Guarantee growth and coverage of hydromulch planting shall be a minimum on ninety five percent 95% of the area planted will be covered with specified planting after sixty days with no bare spots visible.
 - Watering: Coordinate with the Owner to properly operate irrigation system to assure a regular, deep watering program.
- Inspection and Final Acceptance:
 - Final acceptance of lawn establishment shall mean that hydrosowed areas are Ninety Five percent 95% uniform coverage of grass in excess of one inch height. No bare spots will be acceptable.

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.

WITNESS OUR HANDS, this ____ day of _____, 2020.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

Boucher Design Group LLC
Members A.I.A.
6802 Maple Ridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgag.com



Wong & Associates, Inc.
P.O. Box 2028 Bellaire, Texas 77402-2028
Tel: 713-277-9108 Fax: 713-557-9098
Member, American Society of Landscape Architects

KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE: 03/20/20
PROJECT NO.: 1702400
DRAWN BY: EW/SR
CHECKED BY: EW

LANDSCAPE PLAN

1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

L1.1
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ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.
WITNESS OUR HANDS, this ____ day of _____, 2020.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

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PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

PHOTOMETRICS

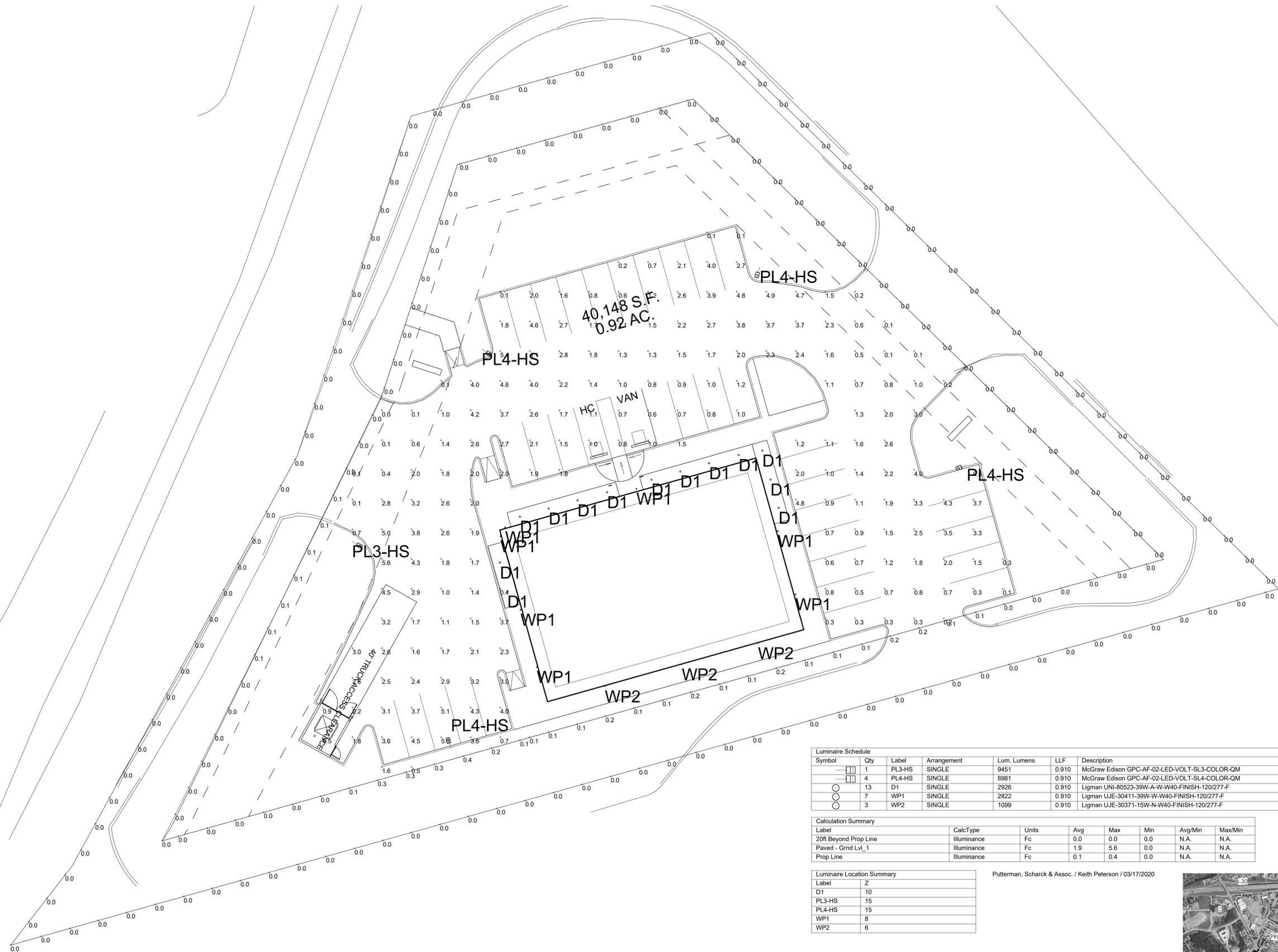


PROPOSED LAND USE: COMMERCIAL
CASE NO:



P1.0

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Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
☐	1	PL3-HS	SINGLE	9451	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL3-COLOR-QM
☐	4	PL4-HS	SINGLE	8981	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL4-COLOR-QM
○	13	D1	SINGLE	2926	0.910	Ligman UNI-80523-39W-A-W-W40-FINISH-120/277-F
○	7	WP1	SINGLE	2822	0.910	Ligman UJE-30411-39W-W-W40-FINISH-120/277-F
○	3	WP2	SINGLE	1099	0.910	Ligman UJE-30371-15W-N-W40-FINISH-120/277-F

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
20ft Beyond Prop Line	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.
Paved - Grnd Lvl_1	Illuminance	Fc	1.9	5.6	0.0	N.A.	N.A.
Prop Line	Illuminance	Fc	0.1	0.4	0.0	N.A.	N.A.

Label	Z
D1	10
PL3-HS	15
PL4-HS	15
WP1	8
WP2	6

Putterman, Scharck & Assoc. / Keith Peterson / 03/17/2020

C:\Users\james\Documents\1702400 ROCKWALL TEXAS PAD BUILDING_illum.rvt 3/18/2020 4:04:58 PM

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

UNI-80523

Nikon 3 Round Ceiling Downlight



Construction

Aluminum Casting

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Ceiling-recessed exterior downlights.

Modern, clean and powerful downlighting family providing the best resilient under-canopy solutions in the marketplace.

A compact recessed exterior downlight with a round or square front frame design. Options of stainless steel or powder coated aluminum front frame. The luminaires are designed for use in interior and exterior applications. This fixture is totally waterproof. This means that the fixture can be exposed to the elements from above as well as below.

This luminaire is manufactured with integrated heat sinks that provides exceptional cooling and heat dissipation ensuring long LED life.

This fixture can also be provided with a concrete pour box for casting into concrete slabs, please see options below.

Power is provided to the luminaire through a single PG9 watertight cable gland and 4ft of Outdoor Submersible #18/3 SOOW 600V power cable. Remote mounted transformer. Includes A80191 driver enclosure box.

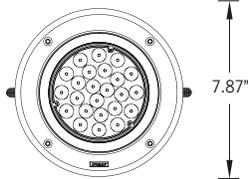
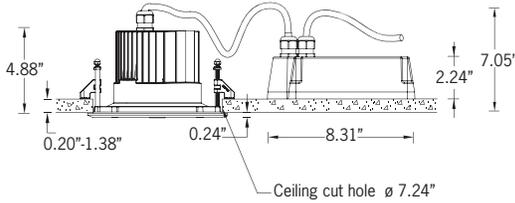
All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options. Not suitable for saunas and steamrooms.

39w LED 4299 Lumens

IP65 • Suitable For Wet Locations

IK08 • Impact Resistant (Vandal Resistant)

Weight 5 lbs (A) 5.7 lbs (S)



Ceiling Cut ϕ 7.24"

Nikon Product Family



UNI-80501 [4.7"]

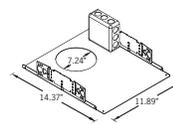


UNI-80511 [4.7"]

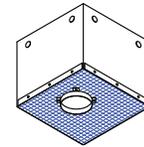


UNI-80531 [7.8"]

Additional Options (Consult Factory For Pricing)



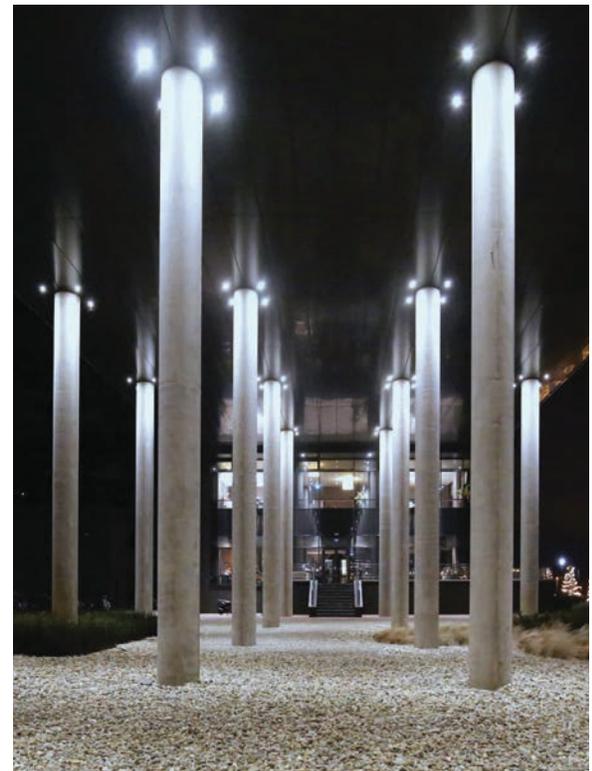
RT
Rough in Tray



CPB
Concrete Pour Box



HCL
Honeycomb Louvre



UNI-80523

Nikon 3 Round Ceiling Downlight

PROJECT				DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UNI-80523 - 39w - A - N - W30 - 03 - 120/277v

UNI-80523						
LAMP	FRAME	BEAM	LED COLOR	FINISH COLOR	VOLTAGE	
39w LED 4299lm	S - Stainless Steel A - Aluminum (CHOOSE FINISH COLOR)	N - Narrow 15° M - Medium 26° W - Wide 45°	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

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ADDITIONAL OPTIONS

- DIM - 0-10v Dimming
- NAT - Natatorium Rated
- F - Frosted Lens
- EMR - Remote Inverter
- A80191 - Remote Driver Box
- RT - Rough in Ceiling Tray
- CPB - Concrete Pour Box
- SSG - Stainless Steel Glands
- HCL - Honeycomb Louvre
- AMB - Turtle Friendly Amber LED

Sure-Lites

DESCRIPTION

The Sure-Lites Architectural Emergency Light is designed to provide superior illumination while blending into the surrounding space. The housing is constructed of die-cast aluminum with an integral refractive polycarbonate lens and advanced optical design, which in conjunction with energy-efficient, long-lasting LEDs provides maximum path of egress lighting performance. The Sure-Lites Architectural Emergency Light is wet listed for temperatures between -30°C and 50°C (-22°F and 122°F). AEL2 has an always on mode and is available with Eagle Eye self diagnostics.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Electrical

- Universal voltage input from 100 through 300 VAC; 50-60 Hz
- Line-latching
- Solid-state Voltage Limited Charger
- Low-Voltage Disconnect
- Overload/Short Circuit Protection
- Test Switch/Power Indicator Light
- Fully Recharged in 24 hours
- Self diagnostics

Housing Construction

- Die-cast Aluminum Housing
- Universal Pattern Knockouts on rear of housing for direct mounting to junction box
- 1/2" Threaded Conduit Access on top surface
- Powder Coat Paint Finish
- UV Stable Polycarbonate Lens
- Silicone Gaskets

Code Compliance

- Not for sale in California
- UL924 Listed
- UL Outdoor Wet Location Listed (suitable for wet and damp locations)
- Life Safety NFPA 101
- NEC/OSHA
- Most State and Local Codes
- City of Chicago Code
- New York City Code

Battery

- Sealed Nickel Cadmium
- Maintenance free, long life
- Full Recharge Time, 24 hrs

Warranty

- Unit: 5-Year
- Battery: 7-year pro-rata

Lamp Data

- 10 High Power LEDs
- Two color temperatures: 3000K and 5000K



AEL 2 ARCHITECTURAL EMERGENCY LIGHT SERIES 2

DIE-CAST ALUMINUM
SURFACE MOUNT
SEALED NICKEL CADMIUM
BATTERY
LED LAMPS
EAGLE EYE SELF DIAGNOSTICS
ALWAYS ON FEATURE
EMERGENCY LIGHTING



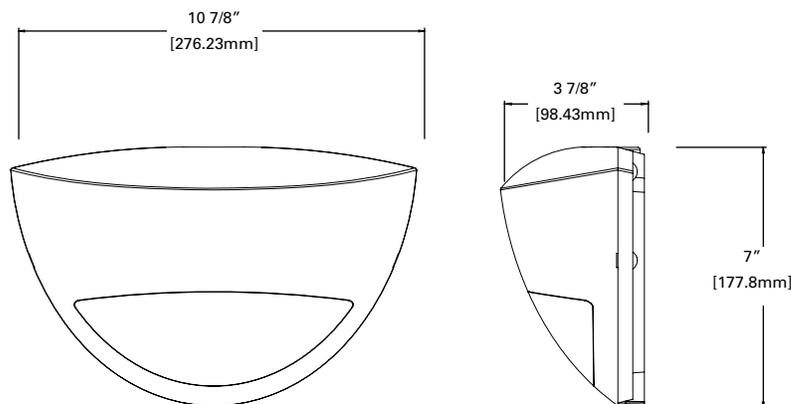
TOTALLY PREDICTABLE
RELIABILITY.

ENERGY DATA

Sealed Nickel Cadmium Battery

Input Current:
(Used as emergency light only):
120V = 2.0 Watts
277V = 2.3 Watts

Input Current:
(Used as dual purpose
emergency light &
always-on light fixture):
120V=5.2 Watts
277V=5.0 Watts



ORDERING INFORMATION

Family AEL2 = Architectural Emergency Light 2	Color Temperature 31 = 3000K Ave 46 = 5000K Ave	Housing Finish — = Silver WH = White BK = Black BZ = Bronze	Options — = No Self Diagnostics SD = Eagle Eye Self Diagnostics

TECHNICAL DATA**Lamps**

The AEL2 utilizes long-lasting LEDs (standard) which provide maximum illumination along the emergency path of egress.

Housing

Die-cast aluminum with a powder coat painted finish. Universal pattern knockouts are located on the back housing for direct mounting to the junction box. Threaded conduit entry provided on the top surface of the housing. UV stable, polycarbonate lens and vacuum-metallized reflector provide efficient optical control.

Electronics

Dual voltage input 120/277 VAC is standard. Nickel cadmium battery is standard. All battery and electrical components are enclosed within the housing.

Line-Latched

Sure-Lites line-latched electronic circuitry makes installation easy and economical. A labor efficient AC activated load switch prevents the lamps from turning on during installation to a non-energized AC circuit. Line-latching eliminates the need for a contractor's return to a job site to connect the batteries when the building's main power is turned on.

Self Diagnostics

The self-diagnostic software will automatically perform all tests required by UL924, and NFPA101. The system indicates the status of the emergency light at all times using the LED indicator. A 90 minute battery power (emergency mode) simulation test will occur once every 12 months. A 30 second battery power simulation test will occur every 30 days.

The Solid-State microprocessor based system has the ability to accurately detect and warn of system failures, plus it incorporates all of the standard electronic features that sets Sure-Lites apart from its competition. Eagle Eye self diagnostic software automatically performs all testing required by the NFPA 101 Life Safety Code and systematically calibrates itself in the field, reducing installation labor and eliminating manual calibration errors.

Solid-State Charger

Supplied with a 120/277 VAC, voltage regulated solid-state charger, the battery is recharged immediately upon restoration of AC current after a power failure. The charge circuit reacts to the condition of the battery in order to maintain peak battery capacity and maximize battery life. Solidstate construction recharges the battery in 24 hours following a power failure in accordance with UL 924.

Solid-State Transfer

The emergency light incorporates solid-state switching which eliminates corroded and pitted contacts or mechanical failures associated with relays. The switching circuit is designed to detect a loss of AC voltage and automatically energizes the lamps using DC power. Upon restoration of AC power, the DC power will be disconnected and the charger will automatically recharge the battery.

Low-Voltage Disconnect

When the battery's terminal voltage falls, the low-voltage circuitry disconnects the lighting load. The disconnect remains in effect until normal utility power is restored, preventing deep battery discharge.

Overload and Short Circuit Protection

The solid-state overload monitoring device in the DC circuit disconnects the lamp load from the battery should excessive wattage demands be made and automatically resets when the overload or short circuit is removed. This overload current protective feature eliminates the need for fuses or circuit breakers for the DC load.

Test Switch/Power Indicator Light

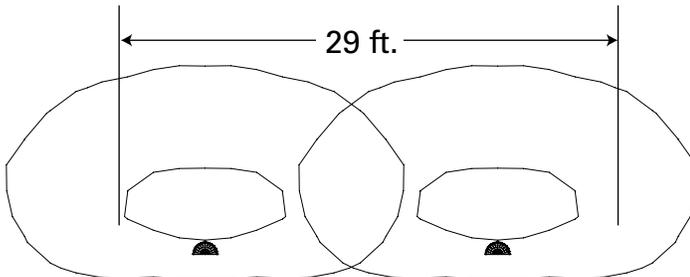
A test switch located on the inside cover of the unit permits the activation of the emergency circuit for a complete operational systems check. The Power Indicator Light provides visual assurance that the AC power is on.

Sealed Nickel Cadmium Battery

Sure-Lites sealed nickel cadmium batteries are maintenance-free with a life expectancy of 15 years. The sealed rechargeable nickel cadmium battery offers high discharge rates and stable performance over a wide range of temperatures. The specially designed resealable vent automatically controls cell pressure, assuring safety and reliability. This battery is best suited for harsh ambient temperatures because the electrolyte is not active in the electrochemical process.

Warranty

The Sure-Lites Architectural Emergency Light is backed by a firm five (5) year warranty against defects in material and workmanship. Maintenance-free, long-life, sealed nickel cadmium batteries carry a seven-year pro-rata warranty.

PHOTOMETRICS

SELF DIAGNOSTIC TESTING OPERATIONS

The Sure-Lites Eagle Eye Self Diagnostics is continuously monitoring your emergency fixture and will signal any failure through the 3 color indicator LED.

Initial Operation

When the unit is first powered up, it will go into a 24 hour fast charge, indicated by the indicator LED pulsing green. Once the unit has fully charged, it will perform a self calibration, after which the LED will change to steady green, indicating the unit is fully charged and float charging the battery to maintain readiness.

Automatic Testing

The unit will perform a battery capacity, lamp/LED, and charge circuit test every 30 days for 30 seconds. During this time, the indicator LED will change to a steady yellow. It will perform a full battery capacity (90 minute) test once per year. During this time, the indicator LED will change to a blinking yellow.

Manual Testing

- 10 Second "Installation" test – Press and release the test button once during fast charge (blinking green) to initiate a 10 second quick test. The sign will switch to emergency mode for 10 seconds allowing the installer to verify proper installation of the unit, and the LED indicator will turn solid yellow.
- 30 Second Test - Press and release the test button once during float charge (steady green). The indicator LED will turn steady yellow to indicate the unit is performing a 30 second test of the batteries and lamps/LEDs.
- 90 Minute Test - Press and release the test button a second time during a 30 second test (steady yellow) to change to a 90 minute test. During this test, the LED indicator will change to blinking yellow, and the circuit will perform a full battery capacity, charge circuit, and LED test.
- Canceling Test – Press and release the test button during the 90 minute test (flashing yellow) to return the fixture to its original state (fast charge or float charge)

Laser Test

The LEMSD is equipped with a Laser Test function, that allows the unit to be manually tested without the need to physically press the test button. Shining a laser pointer in the hole marked "LASER TEST" on the bottom of the unit has the same effect as a press and release of the test button.

Clearing Failure Codes

- A battery failure (LED two blink red) can be cleared by replacing the battery. Disconnecting the battery and AC power, or performing a full 90 minute discharge, will reset the error code, however, it will return if the battery is faulty
- Charge Circuit (LED three blink red) and lamp/LED failure (LED four blink red) will clear when the unit successfully passes a manual or automatic 30 second test.

Indicators

- LED Off - No power to unit, emergency mode.
- LED Steady Green - Unit is fully charged and is float charging the battery to maintain readiness.
- LED Green Pulse - Unit is in a 24 hour fast charge of the battery.
- LED Two Blink Red - Battery has failed a capacity test, or the battery is disconnected. See "Clearing Failure Codes" above.
- LED Three Blink Red - Battery charge circuit has failed. See "Clearing Failure Codes" above.
- LED Four Blink Red - Lamps have burned out, or on an EXIT/Combo, 50% or more of the LEDs have failed. See "Clearing Failure Codes" above.
- LED Steady Yellow - 30 second test or 10 second quick test (Fast Charge only).
- LED Blinking Yellow - 90 minute test.

Maintenance

None required. Replace the batteries as needed according to ambient conditions. However, we recommend that the equipment be tested regularly in accordance with local codes.

SURE-LITES	
	
	OFF - EMERGENCY MODE / POWER OFF
	STEADY BLINK GREEN - FAST CHARGE
	STEADY GREEN - FULL / FLOAT CHARGE
	STEADY YELLOW - QUICK TEST
	STEADY BLINK YELLOW - 90 MINUTE TEST
	2 BLINK RED - BATTERY FAILURE
	3 BLINK RED - CHARGE CIRCUIT FAILURE
	4 BLINK RED - LAMP / LED FAILURE

UTA-31873

Tango 30 Square Asymmetrical Downlight



Construction

Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Circular or square form technical up & down-light wall range. Completely tailorable wall-mounted direct/indirect optical lighting solutions for perfect task or architectural lighting.

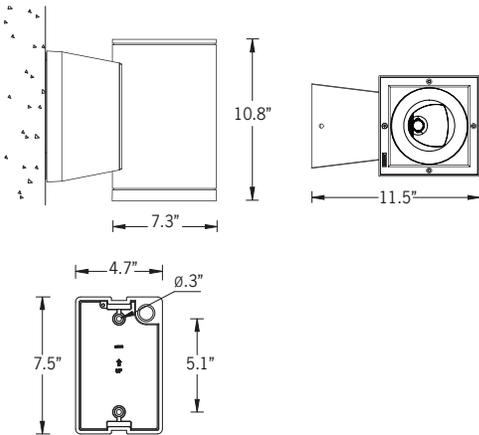
Wall luminaires with a selection of light distributions and LED wattages with downward light distributions. The Tango is unique as it is available with Type II, III & IV light distribution options that facilitates wider spacing and even light distribution between the light fixtures.

Spacings of up to 40' on center, and a 14' mounting height with a 2 fc average can be achieved using the type II optic. This provides higher energy saving and reduced installation costs.

The Tango 31 cylindrical or Tango 32 square up-down versions can be manufactured using different type beam distributions for the up and down optics. Integral electronic control gear. Mounting plate for 3" and 4" junction box is provided with the fixture.

Matching surface mount conduit boxes are available as an option. Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

42w LED 3418 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 14.3 lbs



Mounting Detail

Tango Product Family



UTA-31861



UTA-80551



UTA-80561



UTA-20011



UTA-20031

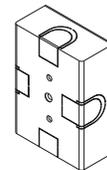


UTA-20731



UTA-20732

Additional Options (Consult Factory For Pricing)



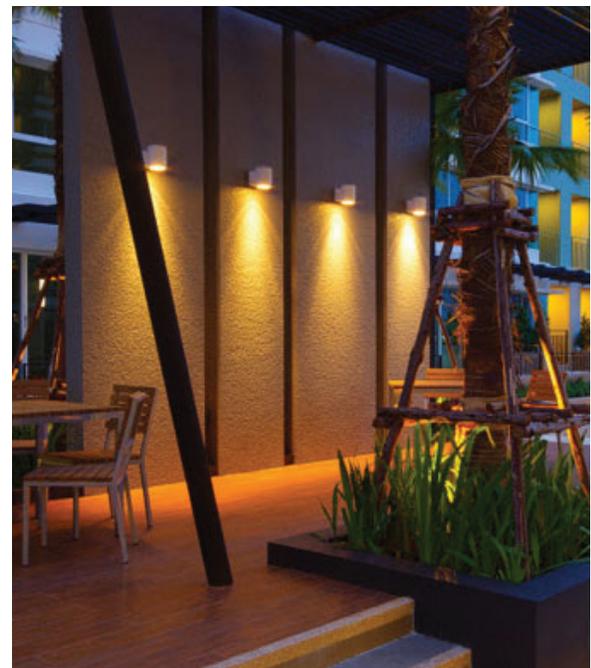
SCE
Surface Conduit
Decorative Trim



RPA
Round Pole Adapter



AGL
Anti Glare Louvre



UTA-31873

Tango 30 Square Asymmetrical Downlight

PROJECT		DATE	
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QUANTITY		TYPE		NOTE	
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ORDERING EXAMPLE || UTA - 31873 - 42w - AS - W30 - 02 - 120/277v - Options

UTA-31873					
LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE	
<p>42w COB</p> <p>3418 Lumens</p>	<p>AS - Asymmetrical Beam 46°x56°</p>	<p>W27 - 2700K</p> <p>W30 - 3000K</p> <p>W35 - 3500K</p> <p>W40 - 4000K</p>	<p>01 - BLACK RAL 9011</p> <p>02 - DARK GREY RAL 7043</p> <p>03 - WHITE RAL 9003</p> <p>04 - METALLIC SILVER RAL 9006</p> <p>05 - MATTE SILVER RAL 9006</p> <p>06 - LIGMAN BRONZE</p> <p>07 - CUSTOM RAL</p>	<p>120/277v</p> <p>Other - Specify</p>	

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ADDITIONAL OPTIONS

- | | |
|---|---|
| <p>NAT - Natatorium Rated</p> <p>SCE - Surface Conduit Decorative Trim</p> <p>DIM - 0-10v Dimming</p> <p>F - Frosted Lens</p> <p>AGL - Anti Glare Louvre</p> | <p>EMC - Emergency Battery Pack</p> <p>RPA - Round Pole Adapter</p> <p>HGT - Custom Height</p> <p>AMB - Turtle Friendly Amber LED</p> |
|---|---|

UJE-30371

Jet 32 Square Surface



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure Jet can be configured for any application.

Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

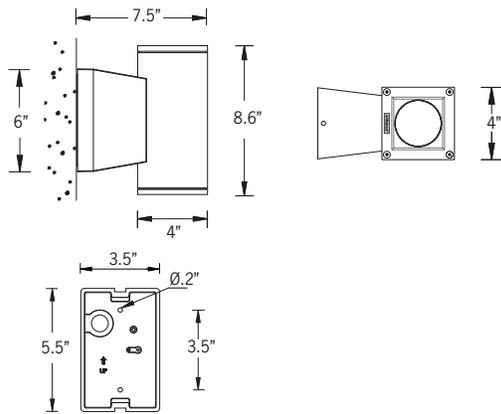
Mounting plate for 3” junction box is provided with the fixture. A 4” junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the Square downlight option, see Jet 32, 34 and 52. For type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires.

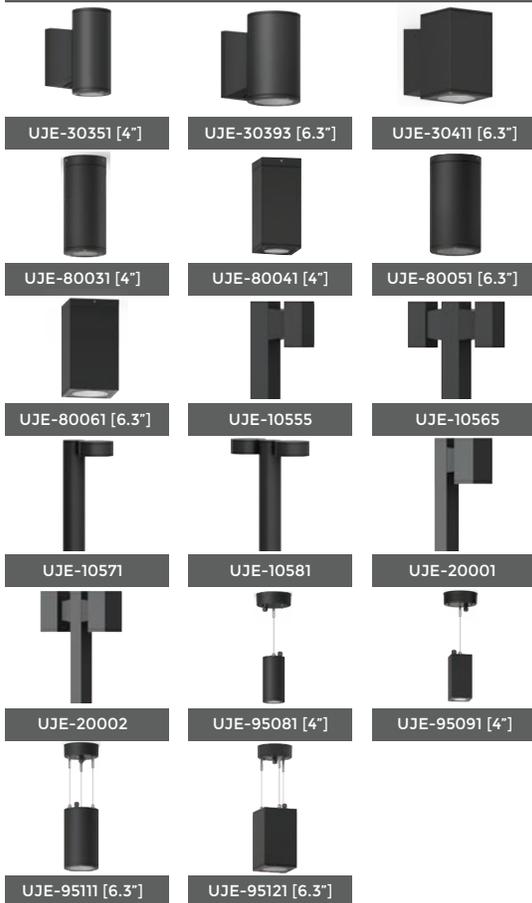
For RGBW options, see Jet 51 to 54.

15w COB 1107 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5.7 lbs

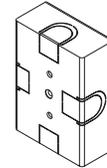


Mounting Detail

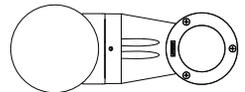
Jet Product Family



Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit Decorative Trim



RPA
Round Pole Adapter



UJE-30371

Jet 32 Square Surface

PROJECT		DATE	
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QUANTITY		TYPE		NOTE	
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ORDERING EXAMPLE || UJE - 30371 - 15w - M - W30 - 02 - 120/277v - Options

UJE-30371					
LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE	
<p>15w COB</p> <p>1107 Lumens</p>	<p>N - Narrow 20°</p> <p>M - Medium 24°</p> <p>W - Wide 36°</p> <p>VW - Very Wide 71°</p>	<p>W27 - 2700K</p> <p>W30 - 3000K</p> <p>W35 - 3500K</p> <p>W40 - 4000K</p>	<p>01 - BLACK RAL 9011</p> <p>02 - DARK GREY RAL 7043</p> <p>03 - WHITE RAL 9003</p> <p>04 - METALLIC SILVER RAL 9006</p> <p>05 - MATTE SILVER RAL 9006</p> <p>06 - LIGMAN BRONZE</p> <p>07 - CUSTOM RAL</p>	<p>120/277v</p> <p>Other - Specify</p>	

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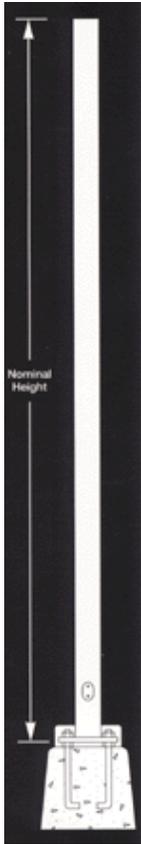
ADDITIONAL OPTIONS

- NAT - Natatorium Rated
- SCE - Surface Conduit Decorative Trim
- REMG - Remote Emergency Battery Pack
- HGT - Custom Height
- AMB - Turtle Friendly Amber LED
- 4MP - 4" Junction Box Mounting Plate
- F - Frosted Lens**
- RPA - Round Pole Adapter





RSP Round Non-Tapered Steel Poles



RSP

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196") or 7 gauge (0.1793"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly cylindrical in cross-section with round sides and excellent torsional properties.

Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 2" x 4" or 3" x 5" inside opening, located 1'-6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

Finishes

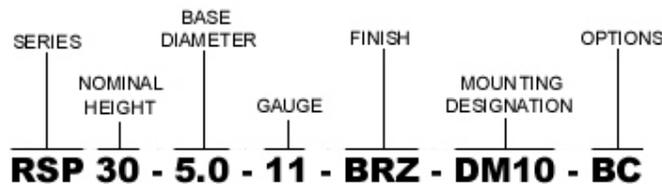
The [Standard Finish](#) is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. [Hot dip Galvanized](#) finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see [K-KLAD](#) and [K-KLAD Over Galvanizing](#).

HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.

The following explanation of the catalog numbers will be helpful in placing orders:

CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
RSP10-4.0-11	10	4.00 x 10.0	11	2 x 4	0.75 x 17 x 3	8	31	24	19.5	78
RSP10-4.5-11	10	4.50 x 10.0	11	3 x 5	0.75 x 17 x 3	8	40	31.5	25	84
RSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	51	40.5	32.5	139
RSP12-4.0-11	12	4.00 x 12.0	11	2 x 4	0.75 x 17 x 3	8	28.9	23.4	19.2	73
RSP12-4.5-11	12	4.50 x 12.0	11	3 x 5	0.75 x 17 x 3	8	34	27	21.5	96
RSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	43	33.5	27	153
RSP14-4.0-11	14	4.00 x 14.0	11	2 x 4	0.75 x 17 x 3	8	23.6	19.1	15.6	99
RSP14-4.5-11	14	4.50 x 14.0	11	3 x 5	0.75 x 17 x 3	8	28	22	17	108

RSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	36	28	22.5	166
RSP15-4.0-11	15	4.00 x 15.0	11	2 x 4	0.75 x 17 x 3	8	18.1	14.5	11.8	88
RSP15-4.5-11	15	4.50 x 15.0	11	3 x 5	0.75 x 17 x 3	8	26.5	20.5	16.3	98
RSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	33	26	20.5	173
RSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	50	39	31.5	222
RSP16-4.0-11	16	4.00 x 16.0	11	2 x 4	0.75 x 17 x 3	8	16.5	13.2	10.6	93
RSP16-4.5-11	16	4.50 x 16.0	11	3 x 5	0.75 x 17 x 3	8	24.4	18.8	14.8	120
RSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	31	24.2	19.4	179
RSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	47	37	29	232
RSP18-4.0-11	18	4.00 x 18.0	11	2 x 4	0.75 x 17 x 3	8	13.7	10.8	8.6	103
RSP18-4.5-11	18	4.50 x 18.0	11	3 x 5	0.75 x 17 x 3	8	21	16	12.5	132
RSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	21	16.5	192
RSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	40	31	25.2	252
RSP20-4.0-11	20	4.00 x 20.0	11	2 x 4	0.75 x 17 x 3	8	11.4	8.9	6.9	123
RSP20-4.5-11	20	4.50 x 20.0	11	3 x 5	0.75 x 30 x 3	8	15.5	12.2	9.6	135
RSP20-5.0-11	20	5.00 x 20.0	11	3 x 5	1.00 x 36 x 4	11	20.3	16	12.7	189
RSP20-5.0-7	20	5.00 x 20.0	7	3 x 5	1.00 x 36 x 4	11	28.2	22.4	18	253
RSP22-4.5-11	22	4.50 x 22.0	11	3 x 5	0.75 x 30 x 3	8	13	10.1	7.8	147
RSP22-4.0-11	22	4.00 x 22.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP22-5.0-11	22	5.00 x 22.0	11	3 x 5	1.00 x 36 x 4	11	17.3	13.5	10.5	202
RSP22-5.0-7	22	5.00 x 22.0	7	3 x 5	1.00 x 36 x 4	11	24.2	19.2	15.3	272
RSP24-4.0-11	24	4.00 x 24.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP24-4.5-11	24	4.50 x 24.0	11	3 x 5	0.75 x 30 x 3	8	10.9	8.3	6.3	158
RSP24-5.0-11	24	5.00 x 24.0	11	3 x 5	1.00 x 36 x 4	11	14.6	11.3	8.6	215
RSP24-5.0-7	24	5.00 x 24.0	7	3 x 5	1.00 x 36 x 4	11	20.9	16.4	12.9	292
RSP25-4.0-11	25	4.00 x 25.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP25-4.5-11	25	4.50 x 25.0	11	3 x 5	0.75 x 30 x 3	8	10	7.5	5.5	164
RSP25-5.0-11	25	5.00 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.5	10.3	7.8	221
RSP25-5.0-7	25	5.00 x 25.0	7	3 x 5	1.00 x 36 x 4	11	19.4	15.1	11.8	301
RSP26-4.5-11	26	4.50 x 26.0	11	3 x 5	0.75 x 30 x 3	8	9.1	6.7	4.9	170
RSP26-5.0-11	26	5.00 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	9.3	7	228
RSP26-5.0-7	26	5.00 x 26.0	7	3 x 5	1.00 x 36 x 4	11	18	13.9	10.8	311
RSP28-4.5-11	28	4.50 x 28.0	11	3 x 5	0.75 x 30 x 3	8	7.4	5.3	3.6	182
RSP28-5.0-11	28	5.00 x 28.0	11	3 x 5	1.00 x 36 x 4	11	10.4	7.6	5.5	240
RSP28-5.0-7	28	5.00 x 28.0	7	3 x 5	1.00 x 36 x 4	11	15.4	11.7	8.9	330
RSP30-4.5-11	30	4.50 x 30.0	11	3 x 5	0.75 x 30 x 3	8	5.3	3.5	2.2	193
RSP30-5.0-11	30	5.00 x 30.0	11	3 x 5	1.00 x 36 x 4	11	7.6	5.3	3.6	253
RSP30-5.0-7	30	5.00 x 30.0	7	3 x 5	1.00 x 36 x 4	11	11.5	8.5	6.2	349
RSP35-5.0-7	35	5.00 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7	4.6	2.8	397

FINISHES

Standard

BRZ	Bronze
BLK	Black
GRY	Gray
GRN	Green
WHT	White
P	Primed
NA	Natural Aluminum

Galvanized

G	Galvanized
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K-KLAD

K813	Bronze
K821	Black
K841	Gray
K891	Green
K881	White
K845	Natural Aluminum

K-KLAD Over Galvanizing

KZ13	Bronze
KZ21	Black
KZ41	Gray
KZ91	Green
KZ81	White
KZ45	Natural Aluminum

1 YEAR WARRANTY

5 YEAR WARRANTY

10 YEAR WARRANTY

MOUNTING DESIGNATIONS

Tenon Mount

2	2 3/8" x 4" TENON
3	2 7/8" x 4" TENON
3.5	3 1/2" x 6" TENON
4	4" x 6" TENON

Drill Mount

DM10	Drilled for 1 Luminaire
DM2090	Drilled for 2 Luminaires @ 90°
DM2180	Drilled for 2 Luminaires @ 180°
DM3090	Drilled for 3 Luminaires @ 90°
DM3120	Drilled for 3 Luminaires @ 120°
DM4090	Drilled for 4 Luminaires @ 90°

Open Mount

- OT** Open Top
OTC Open Top includes Pole Cap

Gain Mount

- 1GSS4** (1) CXA
2GSS4 (2) CXA's located on the Same Side
3GSS4 (3) CXA's located on the Same Side
4GSS4 (4) CXA's located on the Same Side
2GBB4 (2) CXA's located Back to Back
4GBB4 (4) CXA's located Back to Back
1GSS9 (1) CXASQ
2GSS9 (2) CXASQ's located on the Same Side
3GSS9 (3) CXASQ's located on the Same Side
4GSS9 (4) CXASQ's located on the Same Side
2GBB9 (2) CXASQ's located Back to Back
4GBB9 (4) CXASQ's located Back to Back

OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

Accessories

- BC** Base Cover
CPL Threaded Coupling*
NPL Threaded Nipple*
WPRP Festoon Opening**
LAB Less Anchor Bolt

Extra Handholes

- XHH** Extra Handhole*

Embedment Pole Options

- E** Embedded Pole
GS Ground Sleeve
CTE Coal Tar Epoxy

For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Additional Simplex

- 1S** 1 @ 0° *
2S 2 @ 180° *
3S 3 @ 90° *
4S 4 @ 90° *

Greater embedment depths are available upon request.

* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)

** Located 24" above baseplate and same side as handhole. (No electrical included)

PACKAGING

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.

DESCRIPTION

The Galleon™ Pedestrian Companion LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate a variety of pole configurations and mounting heights, allowing it to be offered as a pedestrian or site lighting solution. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

SPECIFICATION FEATURES

Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity.

Optics

Choice of sixteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K

and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Pedestrian LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option.

Catalog #		Type
Project		
Comments		Date
Prepared by		

Mounting

The innovative quick mounting arm attaches to new or existing 4-5" round or square poles with 1-1/2" to 4-7/8" drilling patterns without re-drilling. The mast arm adapter fits horizontal 2-3/8" tenon.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



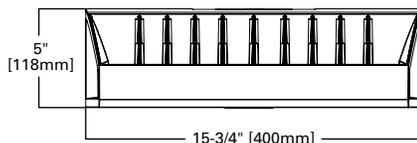
GPC GALLEON PEDESTRIAN COMPANION

1-2 Light Squares
Solid State LED

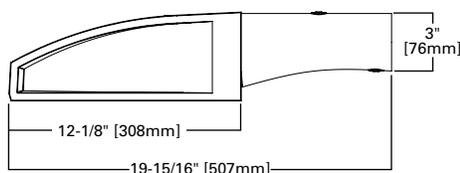
AREA/SITE LUMINAIRE

WaveLinX

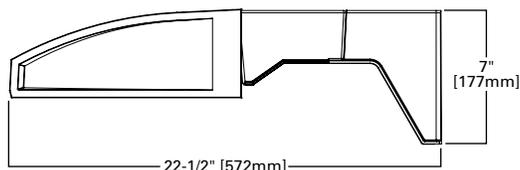
DIMENSIONS



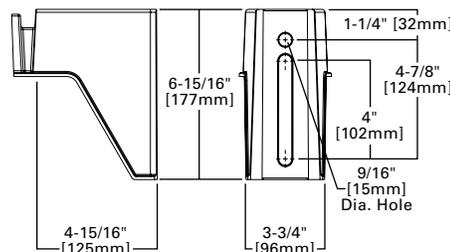
MAST ARM MOUNT



QUICK MOUNT ARM (OVERALL DIMENSIONS)



QUICK MOUNT ARM (POLE MOUNTING DETAILS)



CERTIFICATION DATA
UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

EPA
Effective Projected Area (Sq. Ft.)
Quick Mount Arm: 0.73
Mast Arm: 0.62

SHIPPING DATA
Approximate Net Weight:
27 lbs. (12.2 kgs.)

POWER AND LUMENS

Number of Light Squares		1				2			
Drive Current		600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.3	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.3	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (mA)		0.11	0.15	0.17	0.2	0.19	0.24	0.32	0.39
Input Current @ 480V (mA)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.3
Optics									
T2	4000K/5000K Lumens	4,204	5,156	6,381	7,000	8,215	10,075	12,470	13,680
	3000K Lumens	3,975	4,874	6,033	6,618	7,767	9,525	11,790	12,934
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T2R	4000K/5000K Lumens	4,464	5,474	6,775	7,431	8,723	10,696	13,239	14,523
	3000K Lumens	4,221	5,176	6,406	7,025	8,247	10,113	12,517	13,731
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T3	4000K/5000K Lumens	4,285	5,256	6,505	7,135	8,375	10,269	12,710	13,943
	3000K Lumens	4,051	4,969	6,150	6,746	7,918	9,710	12,017	13,182
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T3R	4000K/5000K Lumens	4,380	5,372	6,648	7,294	8,561	10,498	12,993	14,253
	3000K Lumens	4,141	5,078	6,286	6,895	8,094	9,925	12,285	13,475
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T4FT	4000K/5000K Lumens	4,311	5,286	6,542	7,177	8,422	10,329	12,784	14,024
	3000K Lumens	4,075	4,998	6,185	6,786	7,963	9,766	12,086	13,259
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
T4W	4000K/5000K Lumens	4,254	5,217	6,458	7,084	8,313	10,195	12,619	13,843
	3000K Lumens	4,023	4,933	6,105	6,698	7,860	9,639	11,931	13,088
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
SL2	4000K/5000K Lumens	4,196	5,147	6,370	6,988	8,202	10,058	12,449	13,656
	3000K Lumens	3,967	4,866	6,022	6,607	7,755	9,509	11,771	12,911
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
SL3	4000K/5000K Lumens	4,284	5,255	6,504	7,134	8,374	10,268	12,709	13,941
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
SL4	4000K/5000K Lumens	4,071	4,992	6,179	6,778	7,954	9,756	12,074	13,246
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
5NQ	4000K/5000K Lumens	4,420	5,420	6,709	7,358	8,637	10,591	13,108	14,380
	3000K Lumens	4,179	5,124	6,343	6,957	8,166	10,013	12,393	13,595
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
5MQ	4000K/5000K Lumens	4,501	5,520	6,831	7,494	8,795	10,786	13,350	14,644
	3000K Lumens	4,256	5,219	6,458	7,085	8,316	10,198	12,622	13,845
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	4000K/5000K Lumens	4,513	5,534	6,849	7,514	8,819	10,815	13,385	14,683
	3000K Lumens	4,268	5,232	6,475	7,104	8,338	10,224	12,656	13,882
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
SLL/SLR	4000K/5000K Lumens	3,765	4,619	5,716	6,270	7,358	9,023	11,167	12,251
	3000K Lumens	3,560	4,367	5,404	5,927	6,957	8,531	10,559	11,583
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3
RW	4000K/5000K Lumens	4,379	5,370	6,647	7,293	8,558	10,494	12,989	14,250
	3000K Lumens	4,141	5,077	6,285	6,895	8,092	9,922	12,281	13,473
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
AFL	4000K/5000K Lumens	4,396	5,390	6,672	7,318	8,590	10,533	13,037	14,301
	3000K Lumens	4,156	5,096	6,308	6,919	8,121	9,959	12,326	13,521
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

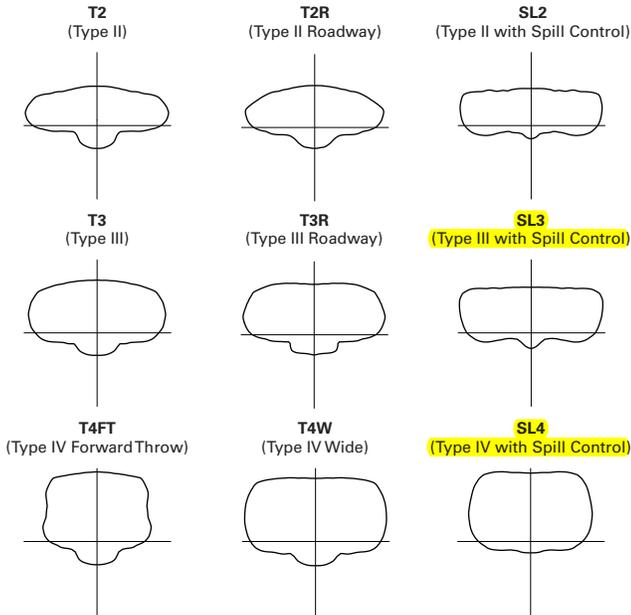


Eaton
 1121 Highway 74 South
 Peachtree City, GA 30269
 P: 770-486-4800
www.eaton.com/lighting

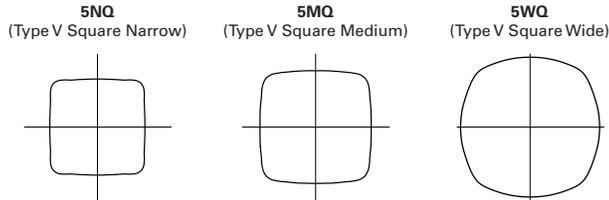
Specifications and
 dimensions subject to
 change without notice.

OPTICAL DISTRIBUTIONS

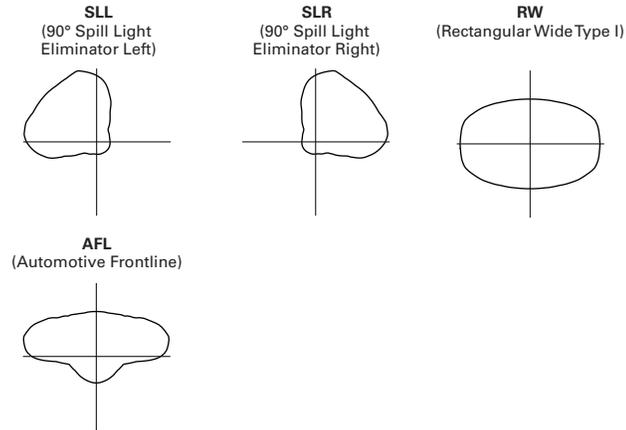
Asymmetric Area Distributions



Symmetric Distributions

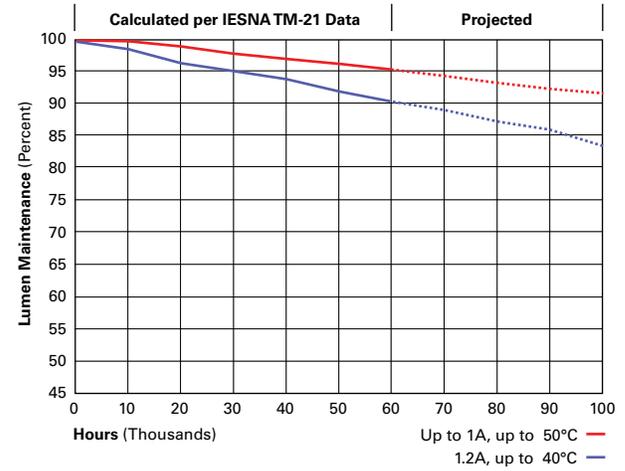


Specialized Distributions



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

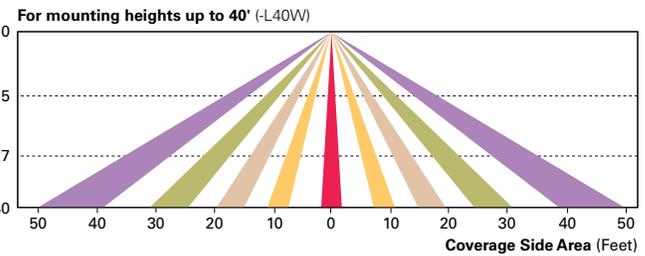
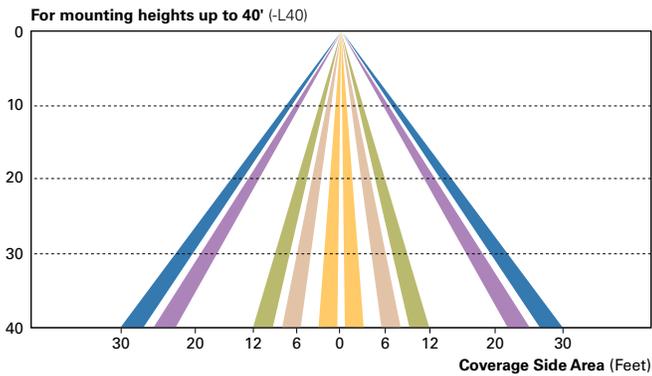
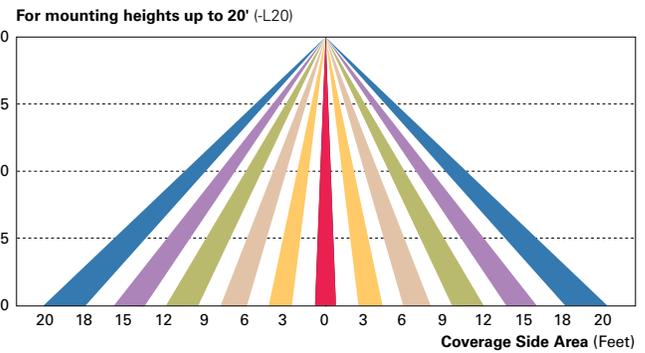
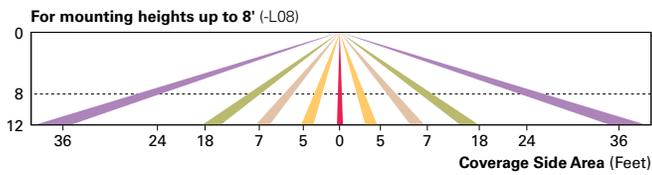
After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)

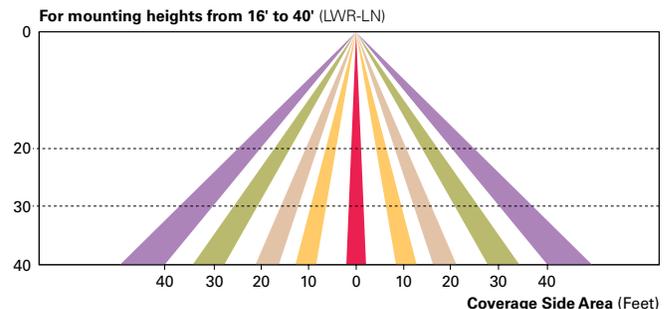
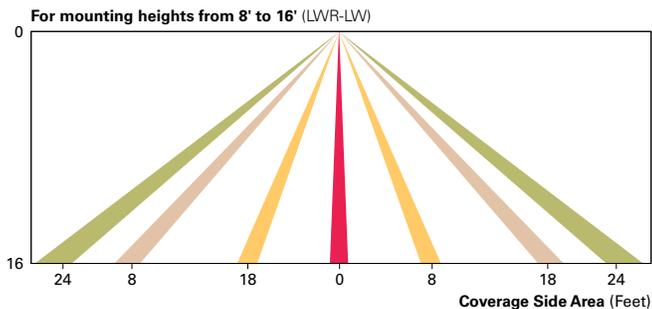
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

ORDERING INFORMATION

Sample Number: GPC-AF-02-LED-E1-T3-GM

Product Family	Light Engine	Number of Light Squares ¹	Lamp Type	Voltage	Distribution	Color	Mounting Options
GPC=Galleon Pedestrian Companion	AF=1A Drive Current	01=1 02=2	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ² 480=480V ^{2,3}	T2=Type II T2R= Type II Roadway T3=Type III T3R= Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I 5NQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Custom Color ⁴	QM=Quick Mount Arm for Round or Square Pole ^{5,6} MA=2-3/8" Mast Arm ^{5,7}
Options (Add as Suffix)					Accessories (Order Separately)		
<p>7027=70 CRI / 2700K ⁸ 7030=70 CRI / 3000K ⁸ 8030=80 CRI / 3000K ⁸ 7050=70 CRI / 5000K ⁸ 7060=70 CRI / 6000K ⁸ 600=Drive Current Factory Set to 600mA 800=Drive Current Factory Set to 800mA 1200=Drive Current Factory Set to 1200mA ⁹ F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module DIM=0-10V Dimming Leads ^{10,11} HA=50°C High Ambient ¹² P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) R=NEMA Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹³ AHD145=After Hours Dim, 5 Hours ¹⁴ AHD245=After Hours Dim, 6 Hours ¹⁴ AHD255=After Hours Dim, 7 Hours ¹⁴ AHD355=After Hours Dim, 8 Hours ¹⁴ MS-LXX=Motion Sensor for On/Off Operation ^{15,16,17} MS/DIM-LXX=Motion Sensor for Dimming Operation ^{15,16,17} LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{17,18,19} LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{17,18,19} LCF=Light Square Trim Plate Painted to Match Housing ²⁰ MT=Factory Installed Mesh Top L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right HSS=Factory Installed House Side Shield ²¹ CE=CE Marking and Small Terminal Block ²² ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle ^{26,27} ZW-SWPD4XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{26,27,29} ZW-SWPD5XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{26,27,29}</p>					<p>OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor ¹⁶ LS/HSS=Field Installed House Side Shield ^{21,23} WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin) ^{24,26} SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{26,27,28,29} SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{26,27,28,29}</p>		

- NOTES:**
- Standard 4000K CCT and minimum 70 CRI.
 - Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
 - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 - Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
 - Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
 - Quick mount arm adapter is factory installed. Pole mounting bracked shipped in box. Suitable for 1.5G. Fits square and round pole up to 6" O.D.
 - Mast arm adapter factory installed (2-3/8" O.D. arm only). Suitable for 3G vibration.
 - Extended lead times apply. Use dedicated IES files when performing layouts.
 - Not available with HA option.
 - Cannot be used with other control options.
 - Low voltage control lead brought out 18" outside fixture.
 - HA option available for single light square only. Not available with 1200mA drive current.
 - Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
 - Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
 - Replace LXX with mounting height in feet for proper lens selection (e.g., L8=8' mounting height). L8, L20, L40, and L40W are available options.
 - The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
 - Includes integral photosensor.
 - Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
 - LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
 - Not available with HSS option.
 - Only for use with SL2, SL3, SL4, and AFL distributions. The light square trim plate is painted black when the HSS option is selected.**
 - CE is not available with the LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
 - One required for each light square.
 - Requires PER7.
 - Reserved.
 - Cannot be used in conjunction with photocontrol or other controls systems (P, R, MS, LWR).
 - WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
 - Requires ZW.
 - Replace XX with sensor color (WH, BZ, or BK).

4/9/2020

City of Rockwall Project Plan Review History



Project Number	SP2020-006	Owner	JIM VAUDAGNA	Applied	3/20/2020	AG
Project Name	Pinnacle Montessori Academy	Applicant	JARED HELMBERGER	Approved		
Type	SITE PLAN			Closed		
Subtype				Expired		
Status	Staff Review			Status		

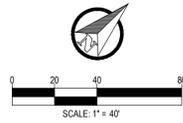
Site Address	City, State Zip	Zoning
900 E RALPH HALL	ROCKWALL, TX 75032	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
PFEFFER INMAN	1	1	1	4662-0001-0001-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	See attached markup.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(3/26/2020 3:18 PM SJ)						<p>M - No trees within 5' of public utilities. Add note to the landscape plans and update tree locations.</p> <p>M - No grate inlets allowed. Must use curb linets or Wye inlets.</p> <p>M - Detention must be at sheet flow conditions before leaving the property.</p> <p>M - If the sewer line is public, there will be no fences or structures allowed in the easement.</p> <p>M - Add a drainage easement for the culvert to the floodplain.</p> <p>M - Driveway radii must be 25' min.</p> <p>M - Must add a 10' utility easement along all frontage.</p> <p>M - Must align the northern driveway with the one across Ralph Hall</p> <p>M - Must install a left turn lane on Ralph Hall for both driveways</p> <p>M - Must label the driveway spacing.</p> <p>M - Must detain for the paving offsite with your development</p> <p>The following is for your information for engineering design</p> <p>I - 4% Engineering Inspection Fees</p> <p>I - Impact Fees</p> <p>I - Engineering plan review fees</p> <p>I - Must loop water line on site. Must connect the two fire hydrants to Ralph Hall</p> <p>I - Sewer is available at the back of the property.</p> <p>I - No structures in easements. Min. easement width is 20'.</p> <p>I - Fire lane radii is 20' minimum as long as the building is 29' or shorter. If taller than 30', the radii must be 30' min.</p> <p>I - All drive isles to be 24' wide minimum.</p> <p>I - Parking to be 20'x9' for nose-to-nose or adjacent to the building all else to be 18'x9'.</p> <p>I - Must have detention. Must detain from a C=.35 to C=.9.</p> <p>I - Must complete a flood study for the culvert connecting to the floodplain Review fees apply.</p> <p>I - Must have a flood study for the 8'x4' box culvert that is proposed on the site to the creek to delineate the 100-year floodplain elevation. Review fees apply.</p> <p>I - Retaining walls 3' and taller must be designed by a structural engineer.</p> <p>I - All walls must be rock or stone face. No smooth concrete walls.</p> <p>I - No trees within 10' of non-steel encased public utilities.</p> <p>I - No walls in detention.</p> <p>I - Dumpster area must drain to an oil/water separator prior to connecting to the storm system</p> <p>I - Must meet City of Rockwall Standards of Design</p>
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	COMMENTS
(3/25/2020 3:59 PM AA)						<p>1) The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>2) A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.</p>
GIS	Lance Singleton	3/20/2020	3/27/2020			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/9/2020	20 COMMENTS	See attached markups



REVISIONS

#	DATE	COMMENTS

PROFESSIONAL SEAL

THESE PLANS WERE PREPARED UNDER THE GUIDANCE OF JARED HELMBERGER, P.E. #139231 AND ARE CONSIDERED PRELIMINARY AND ARE NOT TO BE USED FOR CONSTRUCTION.

CLIENT INFORMATION

Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PROJECT INFORMATION

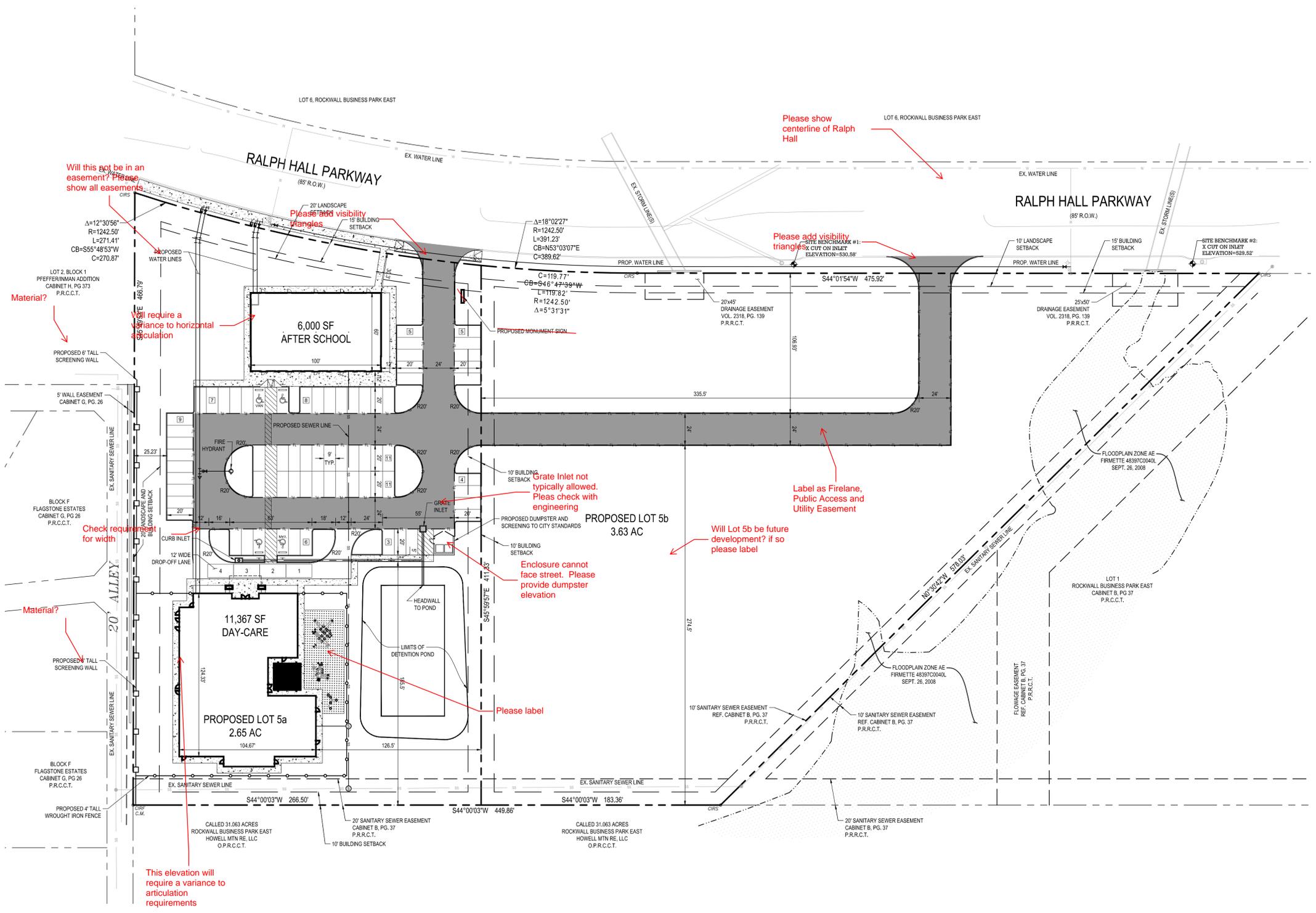
PINNACLE MONTESSORI ACADEMY ROCKWALL
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE

SITE PLAN

SHEET NUMBER

C1.00



LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
FLOODPLAIN LINE	---
EXISTING SANITARY SEWER LINE	---
EXISTING WATER LINE	---
PROPOSED SANITARY SEWER LINE	---
PROPOSED WATER LINE	---
PROPOSED STORM LINE	---
PROPOSED 6' SCREENING FENCE	---
PROPOSED 4' WROUGHT IRON FENCE	---
PROPOSED FIRE LANE	---
PARKING COUNT	---

ZONING DATA

ZONING:	C ¹ COMMERCIAL
LAND USE:	DAY-CARE, RETAIL, OFFICE
OVERLAY DISTRICT:	N/A
FRONT BUILDING SETBACK:	15 FEET
REAR BUILDING SETBACK:	10 FEET
SIDE (WEST) BUILDING SETBACK:	20 FEET
SIDE (EAST) BUILDING SETBACK:	10 FEET
FRONT LANDSCAPE SETBACK:	20 FEET
SIDE (WEST) LANDSCAPE SETBACK:	20 FEET
MAX BUILDING HEIGHT:	3 STORIES OR 45 FEET
PARKING RATIO FOR DAY-CARE:	1 SPACE PER 300 SQUARE FEET
PARKING RATIO FOR RETAIL/OFFICE:	1 SPACE PER 250 SQUARE FEET

SITE DATA

LOT AREA (PROPOSED LOT 5a)	AREA (SF)	AREA (AC)	AREA (%)
115,390	115,390	2.65	-
158,147	158,147	3.63	-
17,367	17,367	0.39	15.05%
-	-	-	-
57,937	57,937	1.33	50.21%
11,302	11,302	0.26	7.14%

- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
 - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURE PLANS FOR EXACT BUILDING DIMENSIONS.
 - FIRE LANE IS TO BE STRIPED IN ACCORDANCE WITH CITY STANDARDS.
 - ALL ADA ROUTES AND RAMPS ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
 - ADA PARKING SPACES AND LOADING ZONES ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
 - CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 - MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED.

PARKING DATA

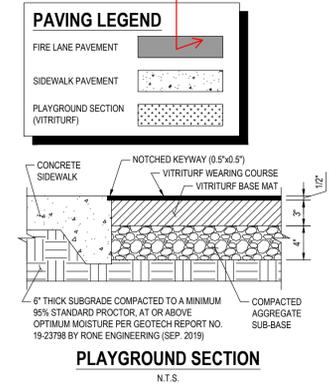
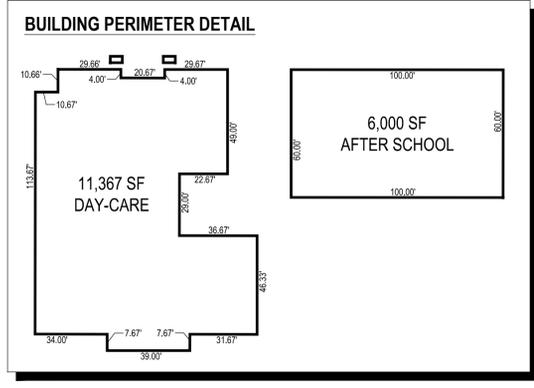
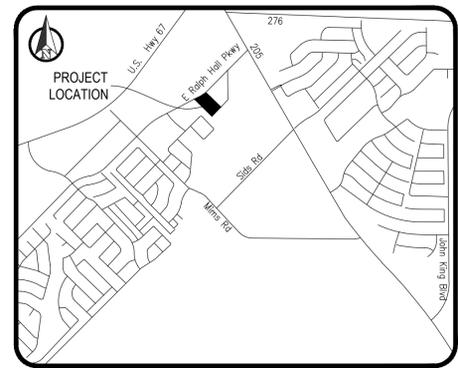
DAY-CARE:	1 SPACE PER 300 SF	38 SPACES REQUIRED
RETAIL/OFFICE:	1 SPACE/250 SQUARE FEET	24 SPACES REQUIRED
TOTAL SPACES REQUIRED:		62 SPACES REQUIRED
HANDICAP SPACES REQUIRED:	3 SPACES REQUIRED	
VAN SPACES REQUIRED:	1 SPACE REQUIRED	



BENCHMARKS

BENCHMARK #1: AN "X" CUT ON TOP OF THE NORTHEAST CORNER OF AN INLET LOCATED 358' ± FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HILL PARKWAY. ELEVATION: 830.58'

BENCHMARK #2: AN "X" CUT ON TOP OF THE SOUTHEAST CORNER OF AN INLET LOCATED 51' ± FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HILL PARKWAY. ELEVATION: 529.52'



APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE ROCKWALL PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2020.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2020.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

PROJECT NAME: PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION: LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER: XXXXXXXXXX
CURRENT OWNER: DALLAS EAST, ATTN: JIM VAUDAGNA
1445 W SAN CARLOS ST.
SAN JOSE, CA 95126
DEVELOPER: EPSILON LAND DEVELOPMENT, JARED HELMBERGER
811 S. CENTRAL EXPRESSWAY, #306
RICHARDSON, TX 75080

TREE SURVEY FIELD DATA				
No.	Dis. (Inches)	Species (Common Name)	Status	Mitigation (Inches)
1659	6	Cedar	TO BE REMOVED	
1660	8	Cedar	TO BE REMOVED	
1661	18	Cedar	TO REMAIN	
1662	6	Cedar	TO BE REMOVED	
1663	6	Cedar	TO BE REMOVED	
1664	6	Cedar	TO BE REMOVED	
1665	6	Cedar	TO BE REMOVED	
1666	6	Cedar	TO BE REMOVED	
1667	6	Cedar	TO BE REMOVED	
1668	6	Cedar	TO REMAIN	
1669	6	Cedar	TO REMAIN	
1670	6	Cedar	TO BE REMOVED	
1671	8	Cedar	TO BE REMOVED	
1672	6	Cedar	TO BE REMOVED	
1673	6	Cedar	TO BE REMOVED	
1674	6	Cedar	TO BE REMOVED	
1675	12	Cedar	TO BE REMOVED	6
1676	8	Cedar	TO REMAIN	
1677	12	Cedar	TO BE REMOVED	6
1678	6	Cedar	TO REMAIN	
1679	6	Cedar	TO REMAIN	
1680	6	Cedar	TO REMAIN	
1681	6	Cedar	TO REMAIN	
1682	6	Cedar	TO REMAIN	
1683	6	Cedar	TO REMAIN	
1684	6	Cedar	TO REMAIN	
1685	12	Cedar	TO BE REMOVED	6
1686	6	Cedar	TO REMAIN	
1687	10	Cedar	TO REMAIN	
1688	6	Cedar	TO REMAIN	
1689	6	Cedar	TO REMAIN	
1690	6	Cedar	TO REMAIN	
1691	6	Cedar	TO REMAIN	
1692	6	Cedar	TO REMAIN	
1693	14	Cedar	TO REMAIN	
1694	10	Cedar	TO REMAIN	
1695	8	Cedar	TO REMAIN	
1695	6	Cedar	TO REMAIN	
1696	6	Cedar	TO REMAIN	
1697	16	Cedar	TO REMAIN	
1698	6	Cedar	TO REMAIN	
1699	6	Cedar	TO REMAIN	
1700	18	Cedar	TO REMAIN	
1838	12	Hackberry	TO REMAIN	
1839	12	Hackberry	TO REMAIN	
1840	8	Green Ash	TO REMAIN	
1841	10	Hackberry	TO REMAIN	
1842	10	Hackberry	TO REMAIN	
1843	12	Gulf Black Willow	TO REMAIN	
1844	10	Gulf Black Willow	TO REMAIN	
1845	10	Cottonwood	TO REMAIN	
1846	6	Green Ash	TO REMAIN	
1847	6	Cottonwood	TO REMAIN	
1848	6	Hackberry	TO BE REMOVED	DECLINE
1849	12	Hackberry	TO BE REMOVED	DECLINE
1850	8	Hackberry	TO BE REMOVED	DECLINE
1851	6	Green Ash	TO BE REMOVED	
1852	6	American Elm	TO BE REMOVED	
1853	6	Hackberry	TO BE REMOVED	
1854	12	Hackberry	TO BE REMOVED	DECLINE
1855	8	Hackberry	TO BE REMOVED	DECLINE
1856	6	Hackberry	TO BE REMOVED	DECLINE
1857	12	Hackberry	TO REMAIN	DECLINE
1858	12	Cedar Elm	TO REMAIN	DECLINE
1859	6	Hackberry	TO REMAIN	
1860	10	Hackberry	TO REMAIN	
1861	8	American Elm	TO REMAIN	
1862	8	Cedar Elm	TO REMAIN	
1863	8	Cedar	TO REMAIN	
1864	10	American Elm	TO REMAIN	
1865	6	Hackberry	TO REMAIN	
1866	6	Hackberry	TO REMAIN	
1867	10	Cottonwood	TO BE REMOVED	DECLINE
1868	8	Hackberry	TO BE REMOVED	DECLINE
1869	6	Hackberry	TO BE REMOVED	DECLINE
1870	6	Hackberry	TO BE REMOVED	
1871	10	Hackberry	TO BE REMOVED	
1872	6	Hackberry	TO BE REMOVED	
1873	10	American Elm	TO BE REMOVED	
1874	8	Hackberry	TO BE REMOVED	
1875	6	Hackberry	TO BE REMOVED	
1876	8	Cedar	TO BE REMOVED	
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1881	8	Hackberry	TO BE REMOVED	
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1887	12	Cedar	TO REMAIN	
1888	8	American Elm	TO BE REMOVED	
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1890	12	Cedar	TO REMAIN	
1891	6	Hackberry	TO REMAIN	
1892	8	Cedar	TO BE REMOVED	
1893	6	Cedar	TO BE REMOVED	
1894	10	Green Ash	TO BE REMOVED	DECLINE
1895	6	Cedar	TO BE REMOVED	
1896	22	Cottonwood	TO BE REMOVED	
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2018	6	Cedar	TO REMAIN	
2020	6	Cedar	TO REMAIN	
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2033	20	Cedar	TO REMAIN	
2034	6	Cedar	TO REMAIN	
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2037	6	Cedar	TO BE REMOVED	

2038	6	Cedar	TO BE REMOVED	
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2365	10	Cedar	TO REMAIN	
2366	12	Cedar	TO REMAIN	
2367	14	Cedar	TO REMAIN	

2368	8	Cedar	TO REMAIN	
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2371	6	Cedar	TO REMAIN	
2372	8	Cedar	TO BE REMOVED	
2373	6	Cedar	TO BE REMOVED	
2375	10	Cedar	TO BE REMOVED	
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2378	6	Cedar	TO REMAIN	
2379	6	Cedar	TO REMAIN	
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2381	6	Cedar	TO BE REMOVED	
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2422	8	Cedar	TO REMAIN	
2423	12	Cedar	TO REMAIN	
2424	8	Cedar	TO REMAIN	
2				

Revisions:		
#	DATE	COMMENTS



MAR. 20, 2020
EXPIRES SEPT. 30, 2020

PROJECT
PINNACLE
MONTESSORI
OF
ROCKWALL

Site Address:
E. Ralph Hall and Plaza Drive
Rockwall, Texas

PROJECT #
SRC 032

OWNER

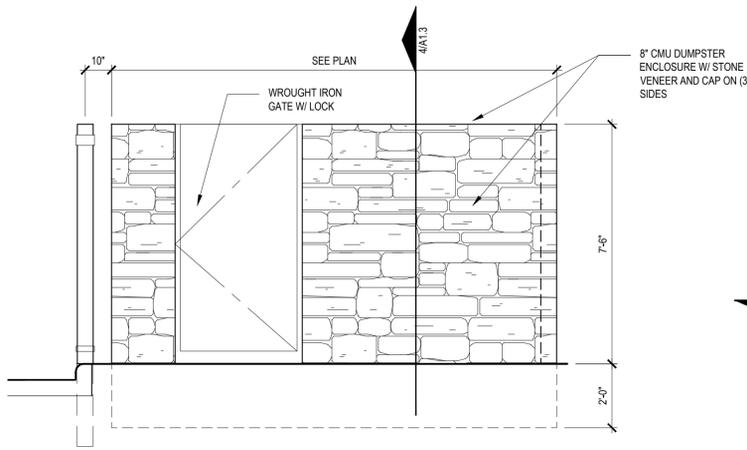
Lakeside
Kids, LLC
5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:
SITE DETAILS

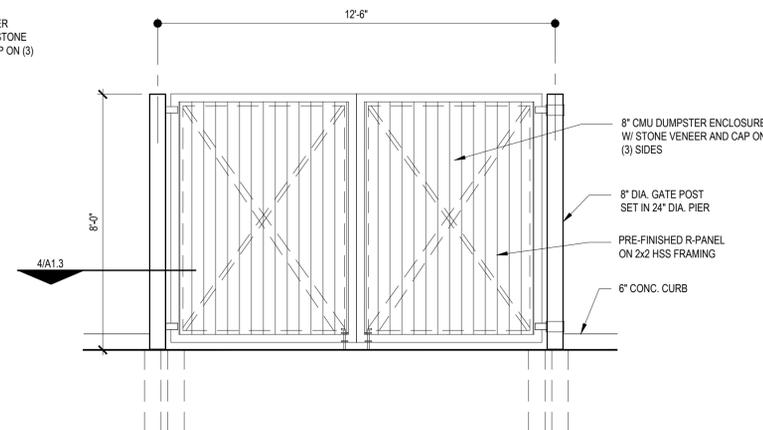
SHEET NO.

A1.3

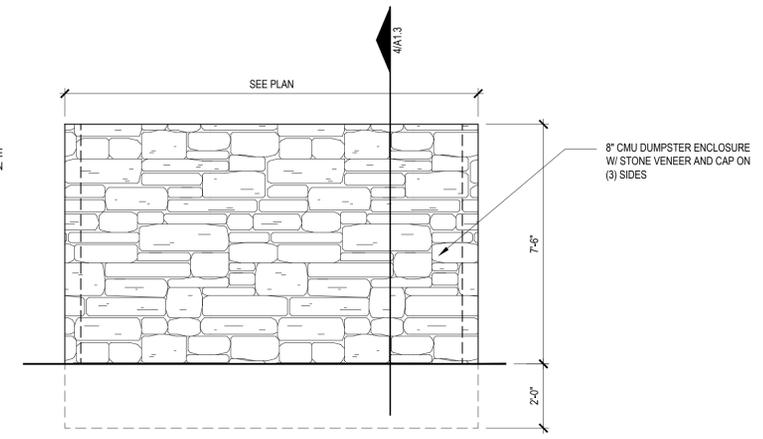
ISSUE DATE: MARCH 20, 2020



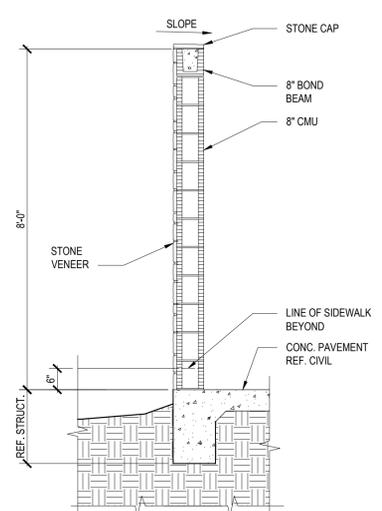
1 DUMPSTER ENCLOSURE-SIDE
SCALE: 3/8"= 1'-0"



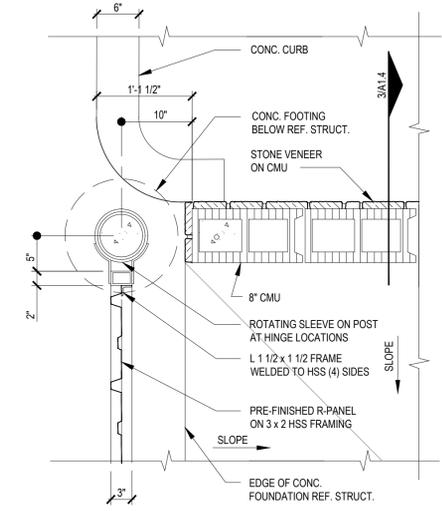
2 DUMPSTER ENCLOSURE-FRONT
SCALE: 3/8"= 1'-0"



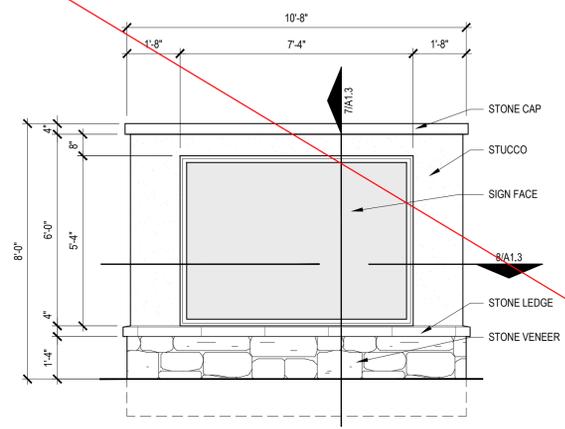
3 DUMPSTER ENCLOSURE-REAR
SCALE: 3/8"= 1'-0"



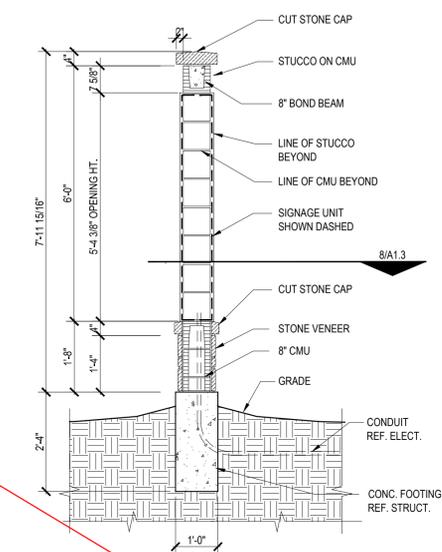
4 DUMPSTER WALL SECTION
SCALE: 1/2"= 1'-0"



5 DUMPSTER GATE PLAN DETAIL
SCALE: 1"= 1'-0"

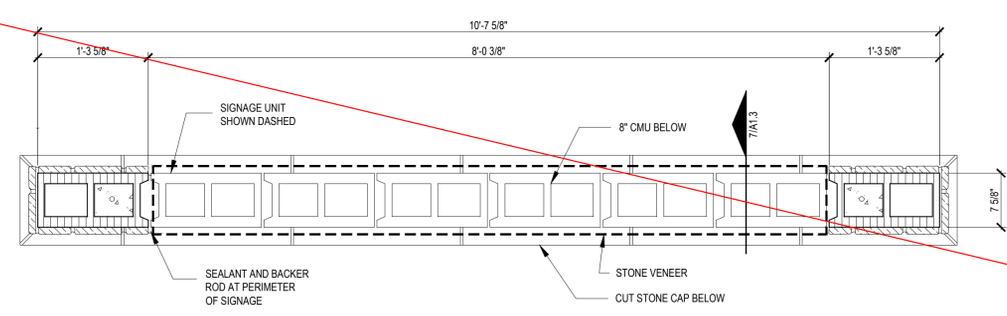


6 MONUMENT SIGN - ELEVATION
SCALE: 3/8"= 1'-0"



7 MONUMENT SIGN SECTION
SCALE: 1/2"= 1'-0"

Monument sign not reviewed. This is a separate process through the Building Permit



8 MONUMENT SIGN PLAN
SCALE: 1"= 1'-0"

REVISIONS		
#	DATE	COMMENTS

PROFESSIONAL SEAL

THESE PLANS WERE PREPARED UNDER THE GUIDANCE OF JARED HELMBERGER, P.E. #130231 AND ARE CONSIDERED PRELIMINARY AND ARE NOT TO BE USED FOR CONSTRUCTION.

CLIENT INFORMATION

Lakeside Kids, LLC
 5909 Beth Drive
 Plano, TX 75093

PROJECT INFORMATION

Pinnacle Montessori
 Academy Rockwall
 E. Ralph Hall Parkway and Plaza Drive
 Rockwall, Texas

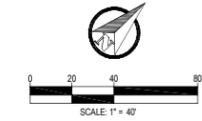
SHEET TITLE

SITE PLAN

SHEET NUMBER

C1.00

ISSUE DATE: 03-20-2020

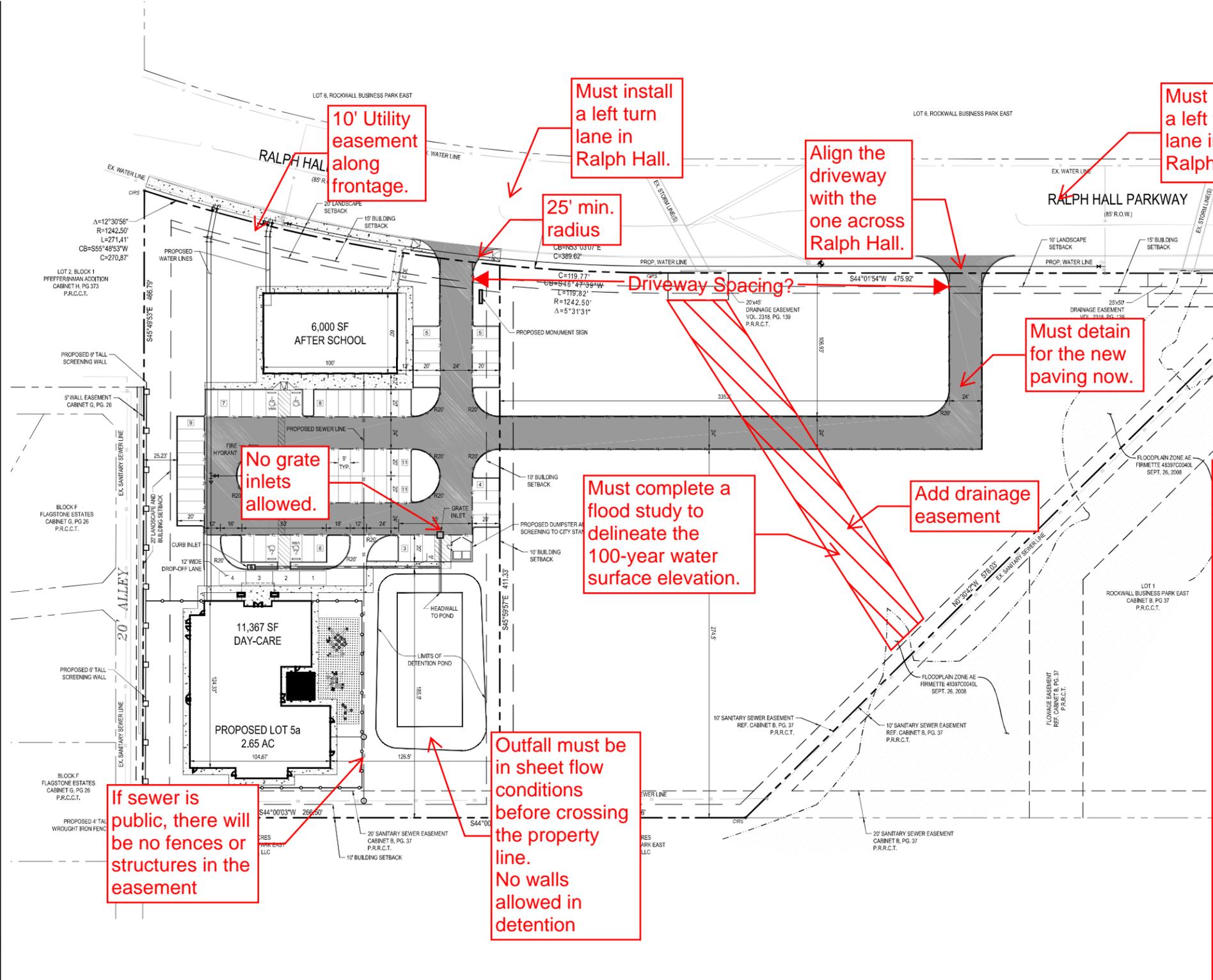


LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
FLOODPLAIN LINE	---
EXISTING SANITARY SEWER LINE	---
EXISTING WATER LINE	---
PROPOSED SANITARY SEWER LINE	---
PROPOSED WATER LINE	---
PROPOSED STORM LINE	---
PROPOSED 6" SCREENING FENCE	---
PROPOSED 4" WROUGHT IRON FENCE	---
PROPOSED FIRE LANE	---
PARKING COUNT	---

ZONING DATA

ZONING:	"C" COMMERCIAL
LAND USE:	DAY-CARE, RETAIL, OFFICE
OVERLAY DISTRICT:	N/A
FRONT BUILDING SETBACK:	15 FEET
REAR BUILDING SETBACK:	10 FEET
SIDE (WEST) BUILDING SETBACK:	20 FEET
SIDE (EAST) BUILDING SETBACK:	10 FEET
FRONT LANDSCAPE SETBACK:	20 FEET
SIDE (WEST) LANDSCAPE SETBACK:	20 FEET
MAX BUILDING HEIGHT:	3 STORIES OR 45 FEET
PARKING RATIO FOR DAY-CARE:	1 SPACE PER 300 SQUARE FEET



10' Utility easement along frontage.

Must install a left turn lane in Ralph Hall.

Must install a left turn lane in Ralph Hall.

Align the driveway with the one across Ralph Hall.

25' min. radius

Driveway Spacing?

Must detain for the new paving now.

No grate inlets allowed.

Must complete a flood study to delineate the 100-year water surface elevation.

Add drainage easement

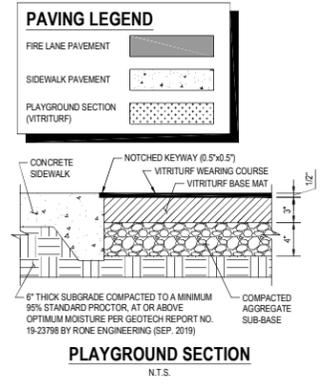
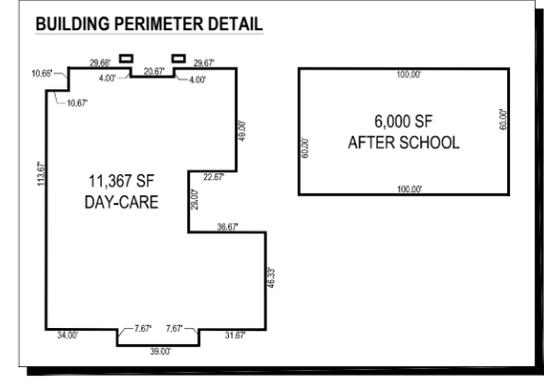
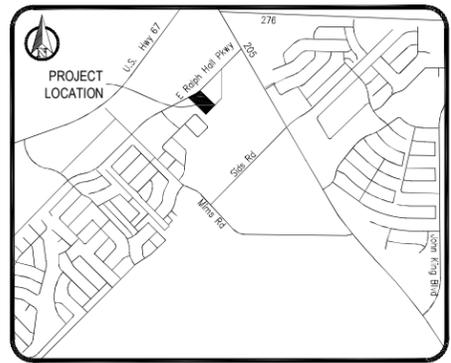
If sewer is public, there will be no fences or structures in the easement

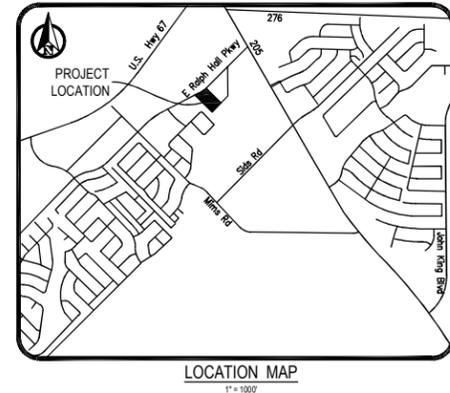
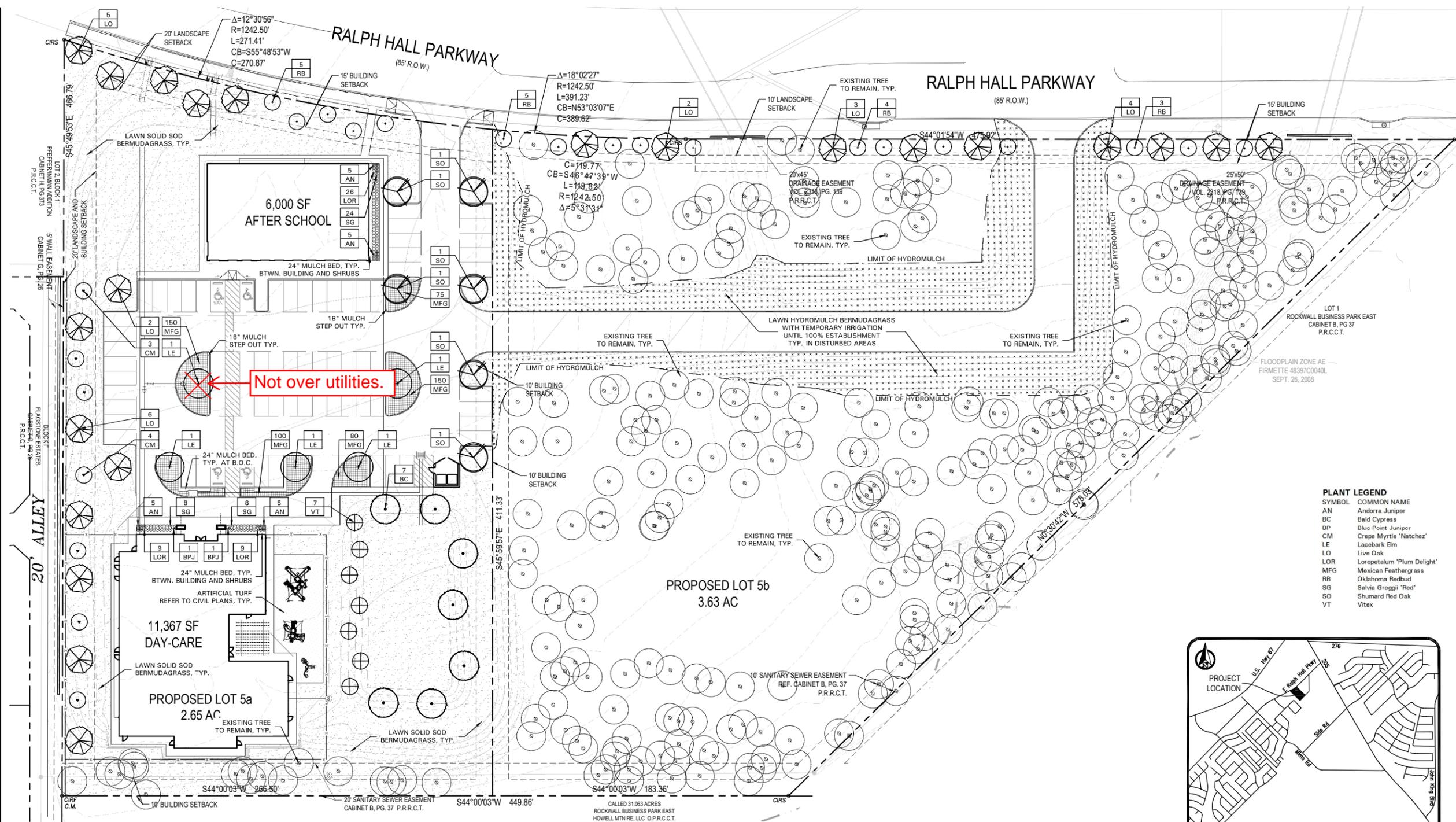
Outfall must be in sheet flow conditions before crossing the property line. No walls allowed in detention

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees
- Must loop water line on site. Must connect the two fire hydrants to Ralph Hall.
- Sewer is available at the back of the property.
- No structures in easements. Min. easement width is 20'.
- Fire lane radii is 20' minimum as long as the building is 29' or shorter. If taller than 30', the radii must be 30' min.
- All drive isles to be 24' wide minimum.
- Parking to be 20'x9' for nose-to-nose or adjacent to the building all else to be 18'x9'.
- Must have detention. Refer to the attached drainage area map for existing information. Must detain from a C=.35 to C=.9.
- Must have a flood study for the 8'x4' box culvert that is proposed on the site to the creek to delineate the 100-year floodplain elevation. Review fees apply.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.
- No trees within 10' of non-steel encased public utilities.
- Dumpster area must drain to an oil/water separator prior to connecting to the storm system
- Must meet City of Rockwall Standards of Design.



BENCHMARKS
 BENCHMARK #1: AN "X" CUT ON TOP OF THE NORTHEAST CORNER OF AN INLET LOCATED 356' ± FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HILL PARKWAY. ELEVATION: 830.58'
 BENCHMARK #2: AN "X" CUT ON TOP OF THE SOUTHEAST CORNER OF AN INLET LOCATED 51' ± FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HILL PARKWAY. ELEVATION: 829.52'



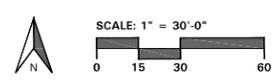


PLANT LEGEND

SYMBOL	COMMON NAME
AN	Andorra Juniper
BC	Bald Cypress
BP	Blue Point Juniper
CM	Crape Myrtle 'Natchez'
LE	Lacebark Elm
LO	Live Oak
LOR	Loropetalum 'Plum Delight'
MFG	Mexican Feathergrass
RB	Oklahoma Redbud
SG	Salvia Greggii 'Red'
SO	Shumard Red Oak
VT	Vitex

Add note:
No trees within 5' of public utilities.

PROJECT NAME:	PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION:	LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER:	XXXXXXXXXX
CURRENT OWNER:	DALLAS EAST, ATTN: JIM VAUDAGNA 1445 W SAN CARLOS ST. SAN JOSE, CA 95126
DEVELOPER:	EPSILON LAND DEVELOPMENT, JARED HELMBERGER 811 S. CENTRAL EXPRESSWAY, #306 RICHARDSON, TX 75080



BELLE FIRMA
4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

OMEGA DESIGN, LLC
811 S. CENTRAL EXPRESSWAY
SUITE 306
RICHARDSON, TX 75080
TPE FIRM NO. F-20145

REVISIONS

#	DATE	COMMENTS



OWNER INFORMATION

Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI
ACADEMY ROCKWALL**
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L2.01

ISSUE DATE: 03-20-2020

PROJECT NUMBER: PMA02



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: **N/A**

Subdivision: **Rockwall Business Park East** Lot: **5** Block: **—**

General Location: **900 E. Ralph Hall Parkway**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: **C** Current Use: **Undeveloped**

Proposed Zoning: **C** Proposed Use: **Day-Care / Retail**

Acreage: **6.28 Ac** Lots [Current]: **1** Lots [Proposed]: **2**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner: Dallas East	<input checked="" type="checkbox"/> Applicant: Epsilon Land Development
Contact Person: Jim Vaudagna	Contact Person: Jared Helmberger, P.E.
Address: 1445 W. San Carlos St.	Address: 811 S. Central Expwy #306
City, State & Zip: San Jose, CA 95126	City, State & Zip: Richardson, TX 75080
Phone: _____	Phone: 469-834-9979
E-Mail: _____	E-Mail: jhelmberger@epsilonland.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JAMES VAUDAGNA [Owner] the undersigned, who stated the information on this application to be true and certified the following:

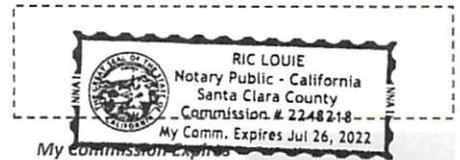
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 10 day of MARCH, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 10 day of MARCH, 2020.

Owner's Signature

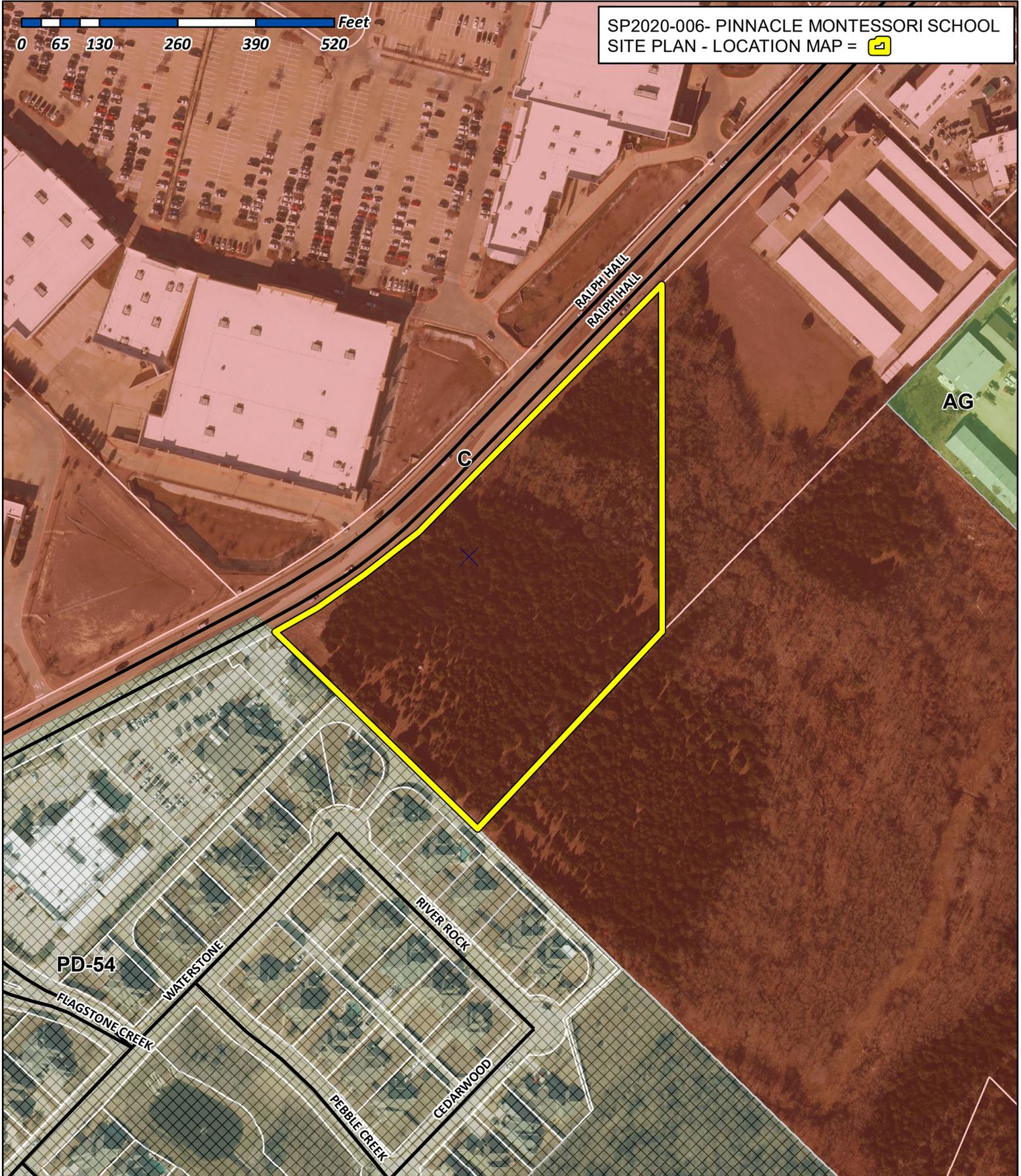
Notary Public in and for the State of Texas

CALIFORNIA



0 65 130 260 390 520 Feet

SP2020-006- PINNACLE MONTESSORI SCHOOL
SITE PLAN - LOCATION MAP = 

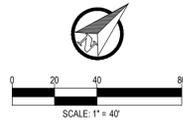


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





REVISIONS

#	DATE	COMMENTS

PROFESSIONAL SEAL

THESE PLANS WERE PREPARED UNDER THE GUIDANCE OF JARED HELMBERGER, P.E. #139221 AND ARE CONSIDERED PRELIMINARY AND ARE NOT TO BE USED FOR CONSTRUCTION.

CLIENT INFORMATION

Lakeside Kids, LLC
 5909 Beth Drive
 Plano, TX 75093

PROJECT INFORMATION

PINNACLE MONTESSORI ACADEMY ROCKWALL
 E. RALPH HALL PARKWAY AND PLAZA DRIVE
 ROCKWALL, TEXAS

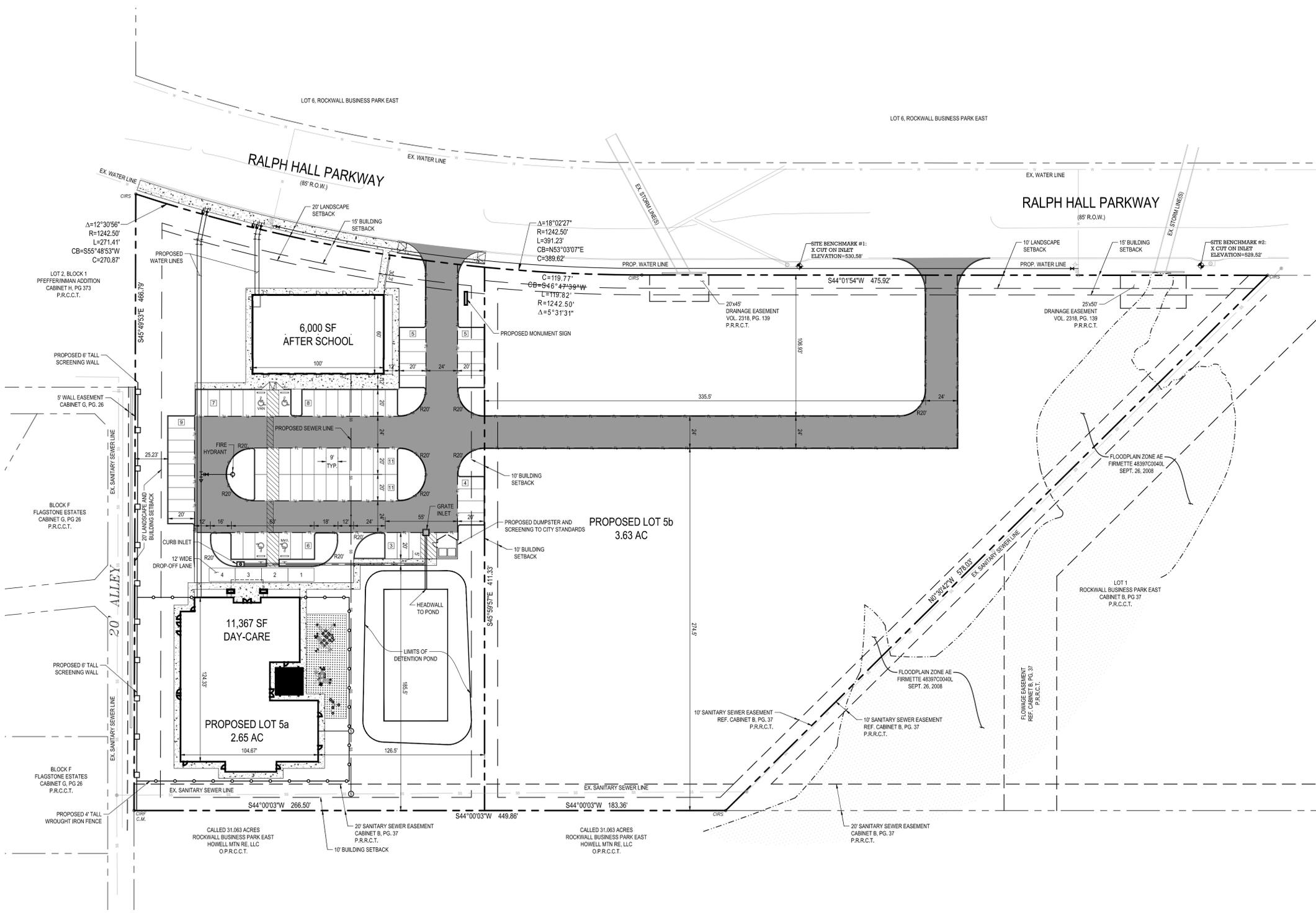
SHEET TITLE

SITE PLAN

SHEET NUMBER

C1.00

ISSUE DATE: 03-20-2020



LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	- - - -
EASEMENT LINE	---
FLOODPLAIN LINE	---
EXISTING SANITARY SEWER LINE	---
EXISTING WATER LINE	---
PROPOSED SANITARY SEWER LINE	---
PROPOSED WATER LINE	---
PROPOSED STORM LINE	---
PROPOSED 6' SCREENING FENCE	---
PROPOSED 4' WROUGHT IRON FENCE	---
PROPOSED FIRE LANE	---
PARKING COUNT	---

ZONING DATA

ZONING:	C ⁰ COMMERCIAL
LAND USE:	DAY-CARE, RETAIL, OFFICE
OVERLAY DISTRICT:	N/A
FRONT BUILDING SETBACK:	15 FEET
REAR BUILDING SETBACK:	10 FEET
SIDE (WEST) BUILDING SETBACK:	20 FEET
SIDE (EAST) BUILDING SETBACK:	10 FEET
FRONT LANDSCAPE SETBACK:	20 FEET
SIDE (WEST) LANDSCAPE SETBACK:	20 FEET
MAX BUILDING HEIGHT:	3 STORIES OR 45 FEET
PARKING RATIO FOR DAY-CARE:	1 SPACE PER 300 SQUARE FEET
PARKING RATIO FOR RETAIL/OFFICE:	1 SPACE PER 250 SQUARE FEET

SITE DATA

LOT AREA (PROPOSED LOT 5a)	AREA (SF)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)	-	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%

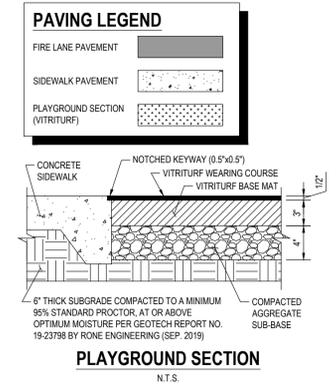
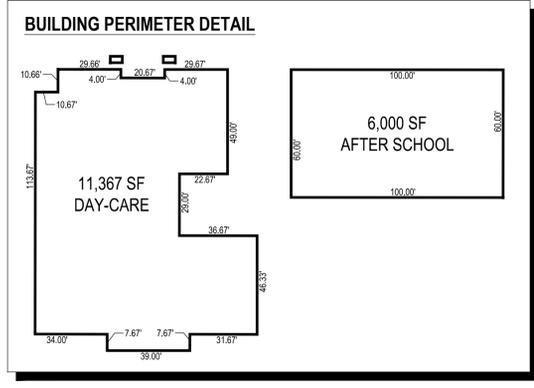
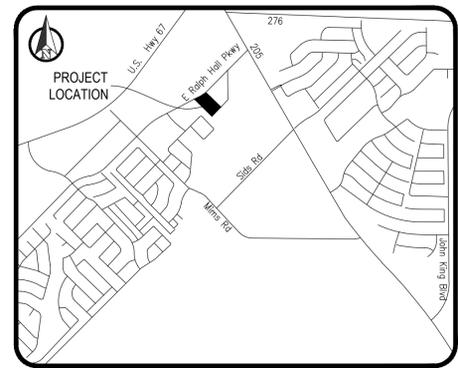
- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
 - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURE PLANS FOR EXACT BUILDING DIMENSIONS.
 - FIRE LANE IS TO BE STRIPED IN ACCORDANCE WITH CITY STANDARDS.
 - ALL ADA ROUTES AND RAMPS ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
 - ADA PARKING SPACES AND LOADING ZONES ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
 - CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 - MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED.

PARKING DATA

DAY-CARE: 1 SPACE PER 300 SF	38 SPACES REQUIRED
RETAIL/OFFICE: 1 SPACE/250 SQUARE FEET	24 SPACES REQUIRED
TOTAL SPACES REQUIRED:	62 SPACES REQUIRED
HANDICAP SPACES REQUIRED:	3 SPACES REQUIRED
VAN SPACES REQUIRED:	1 SPACE REQUIRED



BENCHMARKS
 BENCHMARK #1: AN "X" CUT ON TOP OF THE NORTHEAST CORNER OF AN INLET LOCATED 358' ± FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HILL PARKWAY. ELEVATION: 830.58'
 BENCHMARK #2: AN "X" CUT ON TOP OF THE SOUTHEAST CORNER OF AN INLET LOCATED 51' ± FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HILL PARKWAY. ELEVATION: 529.52'



APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE ROCKWALL PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2020.
 WITNESS OUR HANDS, THIS ____ DAY OF _____, 2020.
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

PROJECT NAME: PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION: LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER: XXXXXXXXXX
CURRENT OWNER: DALLAS EAST, ATTN: JIM VAUDAGNA
 1445 W SAN CARLOS ST.
 SAN JOSE, CA 95126
DEVELOPER: EPSILON LAND DEVELOPMENT, JARED HELMBERGER
 811 S. CENTRAL EXPRESSWAY, #306
 RICHARDSON, TX 75080

EXTERIOR MATERIAL SAMPLE BOARD

TRIM COLOR

DOVER WHITE, SW 6385
PAINTED TRIM BELOW CANOPY

HM DOORS

HM DOORS - Indigo Batik, SW 7602
STANDING SEAM CANOPY

WALL STUCCO

COLOR - STO #16031
ELEVATION LOCATIONS:
* STUCCO ABOVE STONE WAINSCOT
* STUCCO FINISH ON FRP ENTRY COLUMN COVERS

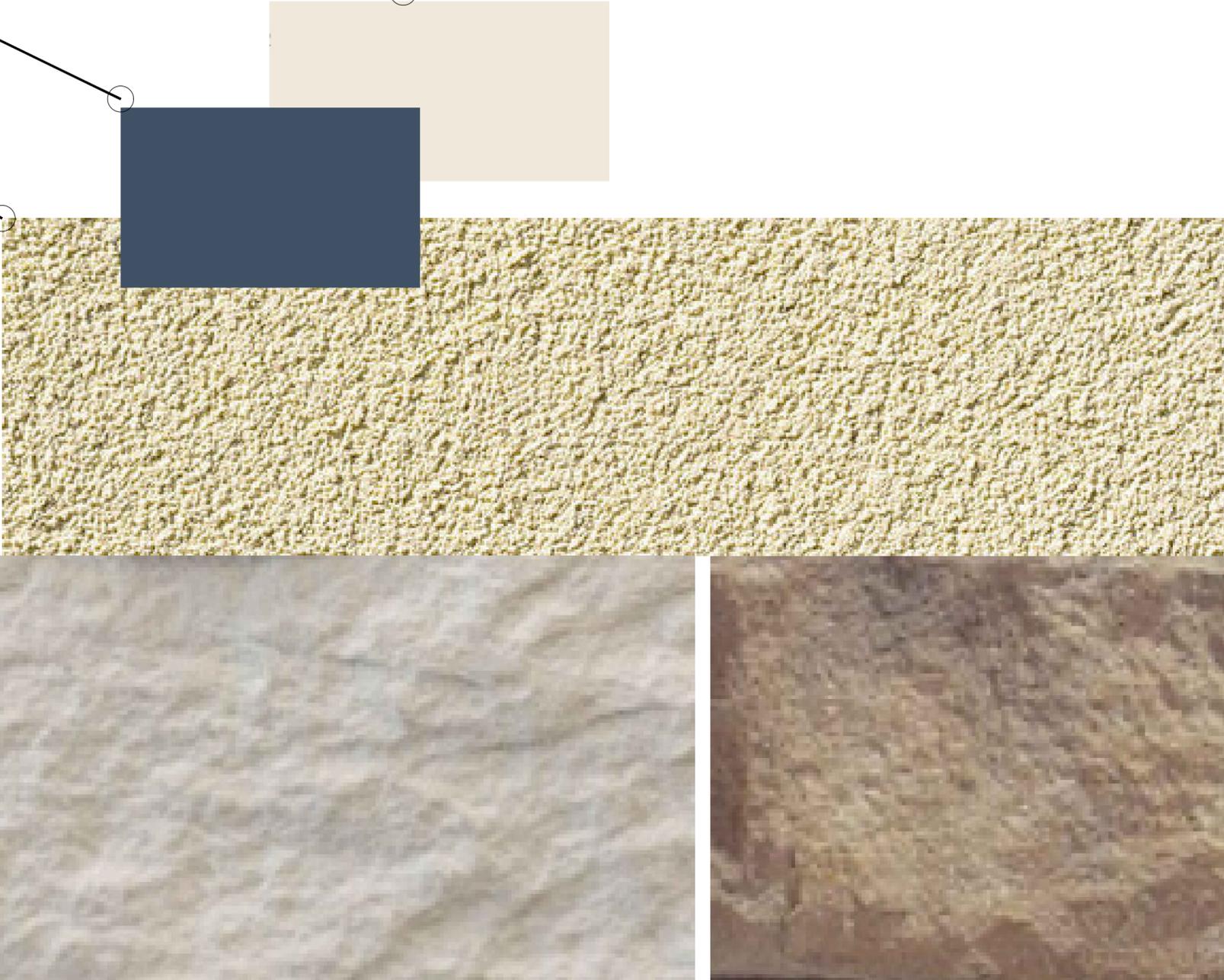
WHITE LIMESTONE

COLOR - HARD WHITE W/ 10% NICOTINE ACCENTS

ELEVATION LOCATIONS:
- STONE VENEER WAINSCOT
- 3" x 2'-0" CUT STONE SHELF TRANSITION AT
BASE OF STUCCO

WINDOWS

FIBERGLASS SINGLE HUNG WINDOW
FRAME - WHITE



PROJECT
Pinnacle Montessori Academy of Rockwall

Site Address:
E. Ralph Hall Parkway and Plaza Drive
Rockwall, Texas



OMEGA DESIGN LLC
811 SOUTH CENTRAL EXPRESSWAY -
SUITE 306
RICHARDSON, TEXAS 75080
214-462-7330

TREE SURVEY FIELD DATA				
No.	Dis. (Inches)	Species (Common Name)	Status	Mitigation (Inches)
1659	6	Cedar	TO BE REMOVED	
1660	8	Cedar	TO BE REMOVED	
1661	18	Cedar	TO REMAIN	
1662	6	Cedar	TO BE REMOVED	
1663	6	Cedar	TO BE REMOVED	
1664	6	Cedar	TO BE REMOVED	
1665	6	Cedar	TO BE REMOVED	
1666	6	Cedar	TO BE REMOVED	
1667	6	Cedar	TO BE REMOVED	
1668	6	Cedar	TO REMAIN	
1669	6	Cedar	TO REMAIN	
1670	6	Cedar	TO BE REMOVED	
1671	8	Cedar	TO BE REMOVED	
1672	6	Cedar	TO BE REMOVED	
1673	6	Cedar	TO BE REMOVED	
1674	6	Cedar	TO BE REMOVED	
1675	12	Cedar	TO BE REMOVED	6
1676	8	Cedar	TO REMAIN	
1677	12	Cedar	TO BE REMOVED	6
1678	6	Cedar	TO REMAIN	
1679	6	Cedar	TO REMAIN	
1680	6	Cedar	TO REMAIN	
1681	6	Cedar	TO REMAIN	
1682	6	Cedar	TO REMAIN	
1683	6	Cedar	TO REMAIN	
1684	6	Cedar	TO REMAIN	
1685	12	Cedar	TO BE REMOVED	6
1686	6	Cedar	TO REMAIN	
1687	10	Cedar	TO REMAIN	
1688	6	Cedar	TO REMAIN	
1689	6	Cedar	TO REMAIN	
1690	6	Cedar	TO REMAIN	
1691	6	Cedar	TO REMAIN	
1692	6	Cedar	TO REMAIN	
1693	14	Cedar	TO REMAIN	
1694	10	Cedar	TO REMAIN	
1695	8	Cedar	TO REMAIN	
1695	6	Cedar	TO REMAIN	
1696	6	Cedar	TO REMAIN	
1697	16	Cedar	TO REMAIN	
1698	6	Cedar	TO REMAIN	
1699	6	Cedar	TO REMAIN	
1700	18	Cedar	TO REMAIN	
1838	12	Hackberry	TO REMAIN	
1839	12	Hackberry	TO REMAIN	
1840	8	Green Ash	TO REMAIN	
1841	10	Hackberry	TO REMAIN	
1842	10	Hackberry	TO REMAIN	
1843	12	Gulf Black Willow	TO REMAIN	
1844	10	Gulf Black Willow	TO REMAIN	
1845	10	Cottonwood	TO REMAIN	
1846	6	Green Ash	TO REMAIN	
1847	6	Cottonwood	TO REMAIN	
1848	6	Hackberry	TO BE REMOVED	DECLINE
1849	12	Hackberry	TO BE REMOVED	DECLINE
1850	8	Hackberry	TO BE REMOVED	DECLINE
1851	6	Green Ash	TO BE REMOVED	
1852	6	American Elm	TO BE REMOVED	
1853	6	Hackberry	TO BE REMOVED	DECLINE
1854	12	Hackberry	TO BE REMOVED	DECLINE
1855	8	Hackberry	TO BE REMOVED	DECLINE
1856	6	Hackberry	TO BE REMOVED	DECLINE
1857	12	Hackberry	TO REMAIN	DECLINE
1858	12	Cedar Elm	TO REMAIN	DECLINE
1859	6	Hackberry	TO REMAIN	
1860	10	Hackberry	TO REMAIN	
1861	8	American Elm	TO REMAIN	
1862	8	Cedar Elm	TO REMAIN	
1863	8	Cedar	TO REMAIN	
1864	10	American Elm	TO REMAIN	
1865	6	Hackberry	TO REMAIN	
1866	6	Hackberry	TO REMAIN	
1867	10	Cottonwood	TO BE REMOVED	DECLINE
1868	8	Hackberry	TO BE REMOVED	DECLINE
1869	6	Hackberry	TO BE REMOVED	DECLINE
1870	6	Hackberry	TO BE REMOVED	
1871	10	Hackberry	TO BE REMOVED	
1872	6	Hackberry	TO BE REMOVED	
1873	10	American Elm	TO BE REMOVED	
1874	8	Hackberry	TO BE REMOVED	
1875	6	Hackberry	TO BE REMOVED	
1876	8	Cedar	TO BE REMOVED	
1877	6	Hackberry	TO BE REMOVED	
1878	6	Cedar	TO BE REMOVED	
1879	8	Hackberry	TO BE REMOVED	
1880	10	Hackberry	TO BE REMOVED	
1881	8	Hackberry	TO BE REMOVED	
1882	6	Hackberry	TO BE REMOVED	
1883	6	Hackberry	TO REMAIN	
1884	6	Hackberry	TO REMAIN	
1885	12	Cedar	TO REMAIN	
1886	10	Cedar	TO REMAIN	
1887	12	Cedar	TO REMAIN	
1888	8	American Elm	TO BE REMOVED	
1889	8	Cedar	TO BE REMOVED	
1890	12	Cedar	TO REMAIN	
1891	6	Hackberry	TO REMAIN	
1892	8	Cedar	TO BE REMOVED	
1893	6	Cedar	TO BE REMOVED	
1894	10	Green Ash	TO BE REMOVED	DECLINE
1895	6	Cedar	TO BE REMOVED	
1896	22	Cottonwood	TO BE REMOVED	
1897	8	Hackberry	TO BE REMOVED	
1898	12	Cedar	TO BE REMOVED	6
1899	10	Cedar	TO BE REMOVED	
2017	6	Cedar	TO REMAIN	
2018	6	Cedar	TO REMAIN	
2020	6	Cedar	TO REMAIN	
2022	14	Cedar	TO BE REMOVED	7
2023	10	Cedar	TO BE REMOVED	
2024	6	Cedar	TO BE REMOVED	
2025	6	Cedar	TO BE REMOVED	
2026	6	Cedar	TO BE REMOVED	
2027	24	Cedar	TO REMAIN	
2028	6	Cedar	TO REMAIN	
2029	10	Cedar	TO REMAIN	
2030	6	Cedar	TO REMAIN	
2031	8	Cedar	TO REMAIN	
2032	10	Cedar	TO REMAIN	
2033	20	Cedar	TO REMAIN	
2034	6	Cedar	TO REMAIN	
2035	6	Cedar	TO BE REMOVED	
2036	6	Cedar	TO BE REMOVED	
2037	6	Cedar	TO BE REMOVED	

2038	6	Cedar	TO BE REMOVED	
2039	6	Cedar	TO BE REMOVED	
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2041	6	Cedar	TO BE REMOVED	
2042	6	Cedar	TO BE REMOVED	
2043	6	Cedar	TO BE REMOVED	
2044	6	Cedar	TO BE REMOVED	
2045	6	Cedar	TO BE REMOVED	
2046	10	American Elm	TO BE REMOVED	
2047	6	Cedar	TO BE REMOVED	
2048	12	Green Ash	TO BE REMOVED	12
2049	8	Cedar	TO BE REMOVED	
2050	10	Green Ash	TO BE REMOVED	
2051	10	Pecan	TO REMAIN	
2052	6	Cedar	TO REMAIN	
2053	10	Cedar	TO REMAIN	
2054	6	Cedar	TO REMAIN	
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2090	6	Cedar	TO BE REMOVED	
2091	6	Cedar	TO BE REMOVED	
2092	16	Cedar	TO BE REMOVED	8
2093	6	Cedar	TO BE REMOVED	
2095	6	Cedar	TO REMAIN	
2096	16	Cedar	TO REMAIN	
2097	6	Cedar	TO BE REMOVED	
2098	6	Cedar	TO REMAIN	
2099	6	Cedar	TO BE REMOVED	
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2319	8	Cedar	TO BE REMOVED	
2320	6	Cedar	TO BE REMOVED	
2321	10	Cedar	TO BE REMOVED	
2322	6	Cedar	TO BE REMOVED	
2323	10	Cedar	TO BE REMOVED	
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2325	6	Cedar	TO BE REMOVED	
2326	6	Cedar	TO BE REMOVED	
2327	6	Cedar	TO BE REMOVED	
2328	12	Cedar	TO BE REMOVED	6
2329	6	Cedar	TO BE REMOVED	
2330	8	Cedar	TO BE REMOVED	
2331	6	Cedar	TO BE REMOVED	
2332	22	Cedar	TO BE REMOVED	11
2333	6	Cedar	TO BE REMOVED	
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2336	6	Cedar	TO BE REMOVED	
2337	8	Cedar	TO BE REMOVED	
2338	6	Cedar	TO BE REMOVED	
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2345	10	Cedar	TO BE REMOVED	
2346	12	Cedar	TO BE REMOVED	6
2347	14	Cedar	TO BE REMOVED	7
2348	8	Cedar	TO BE REMOVED	
2349	12	Cedar	TO BE REMOVED	6
2350	6	Cedar	TO BE REMOVED	
2351	12	Cedar	TO BE REMOVED	6
2352	18	Cedar	TO BE REMOVED	9
2353	14	Cedar	TO BE REMOVED	7
2354	12	Cedar	TO BE REMOVED	6
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2358	8	Cedar	TO BE REMOVED	
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2363	6	Cedar	TO REMAIN	
2364	10	Cedar	TO REMAIN	
2365	10	Cedar	TO REMAIN	
2366	12	Cedar	TO REMAIN	
2367	14	Cedar	TO REMAIN	

2368	8	Cedar	TO REMAIN	
2369	16	Cedar	TO REMAIN	
2370	8	Cedar	TO REMAIN	
2371	6	Cedar	TO REMAIN	
2372	8	Cedar	TO BE REMOVED	
2373	6	Cedar	TO BE REMOVED	
2375	10	Cedar	TO BE REMOVED	
2376	18	Cedar	TO BE REMOVED	9
2377	10	Cedar	TO BE REMOVED	
2378	6	Cedar	TO REMAIN	
2379	6	Cedar	TO REMAIN	
2380	6	Cedar	TO BE REMOVED	
2381	6	Cedar	TO BE REMOVED	
2382	6	Cedar	TO BE REMOVED	
2383	6	Cedar	TO BE REMOVED	
2384	6	Cedar	TO BE REMOVED	
2385	6	Cedar	TO BE REMOVED	
2386	6	Cedar	TO BE REMOVED	
2387	6	Cedar	TO BE REMOVED	
2388	8	Cedar	TO BE REMOVED	
2389	6	Cedar	TO BE REMOVED	
2390	6	Cedar	TO BE REMOVED	
2391	6	Cedar	TO BE REMOVED	
2392	6	Cedar	TO BE REMOVED	
2393	6	Cedar	TO BE REMOVED	
2394	8	Cedar	TO BE REMOVED	
2397	6	Cedar	TO BE REMOVED	
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2400	6	Cedar	TO BE REMOVED	
2401	12	Cedar	TO BE REMOVED	6
2402	6	Cedar	TO BE REMOVED	
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2409	8	Cedar	TO BE REMOVED	
2410	10	Cedar	TO BE REMOVED	
2411	8	Cedar	TO BE REMOVED	
2412	12	Cedar	TO REMAIN	
2413	8	Cedar	TO REMAIN	
2414	6	Cedar	TO REMAIN	
2415	6	Cedar	TO REMAIN	
2416	6	Cedar	TO REMAIN	
2417	6	Cedar	TO REMAIN	
2418	8	Cedar	TO REMAIN	
2419	10	Cedar	TO REMAIN	
2420	10	Cedar	TO REMAIN	
2421	6	Cedar	TO REMAIN	
2422	8	Cedar	TO REMAIN	
2423	12	Cedar	TO REMAIN	
2424	8	Cedar	TO REMAIN	



BLOCK 1
MAN ADDITION
PAGE 373
C.C.T.

F ESTATES
PAGE 26
C.C.T.

Site - West
Scale: 1 inch= 20 Ft.

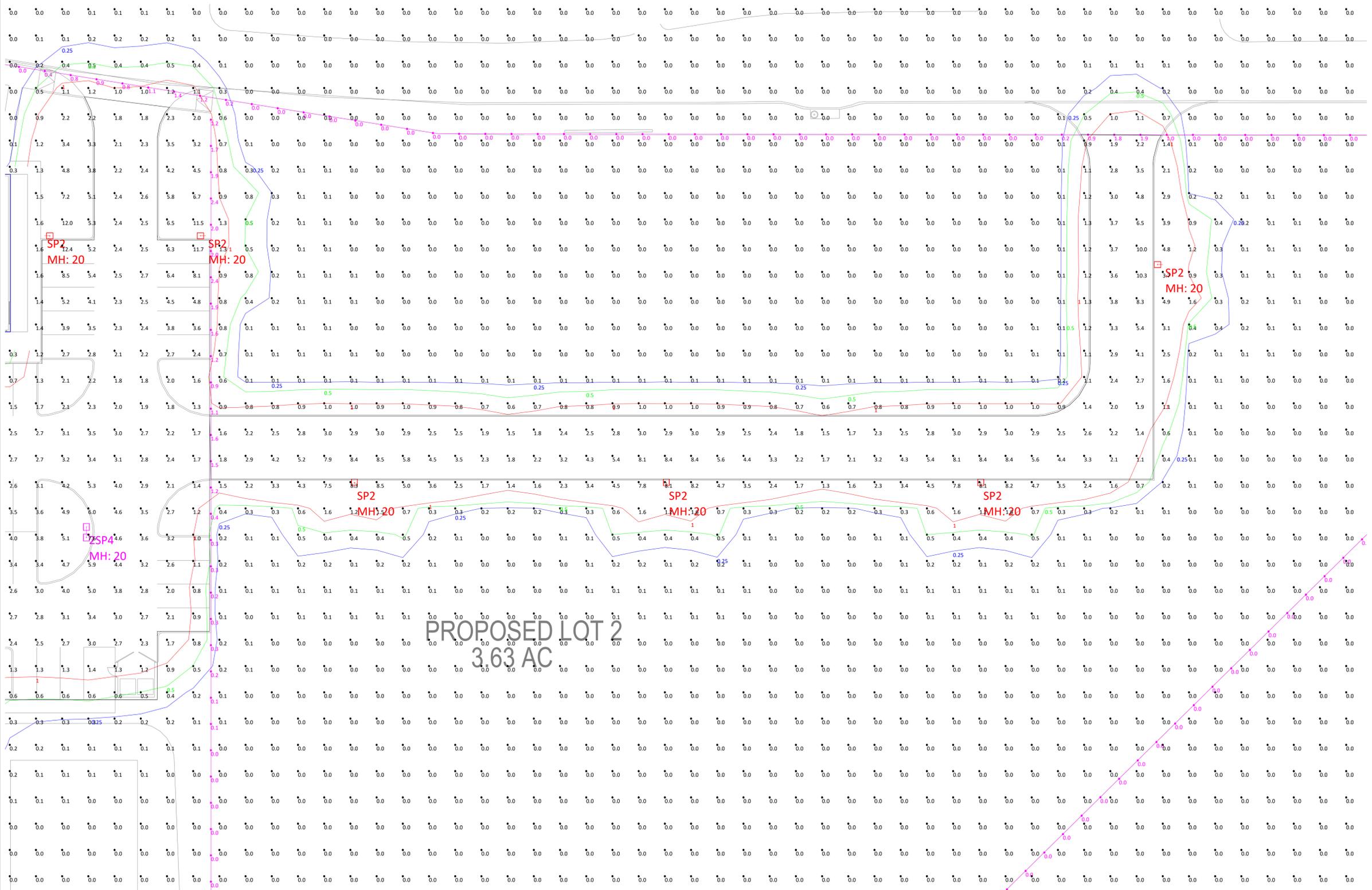
Project Name: PMA Rockwall
Client: ARIO
Drawn By: CWelborn

Project # :
Date: 3/16/2020
Version:



THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR COMPLIANCE OF ALL APPLICABLE ENERGY CODES AND LIGHTING QUALITY STANDARDS.

1/2 W PARKWAY



Site - East
Scale: 1 inch= 20 Ft.

Project Name: PMA Rockwall
 Client: ARIO
 Drawn By: CWelborn

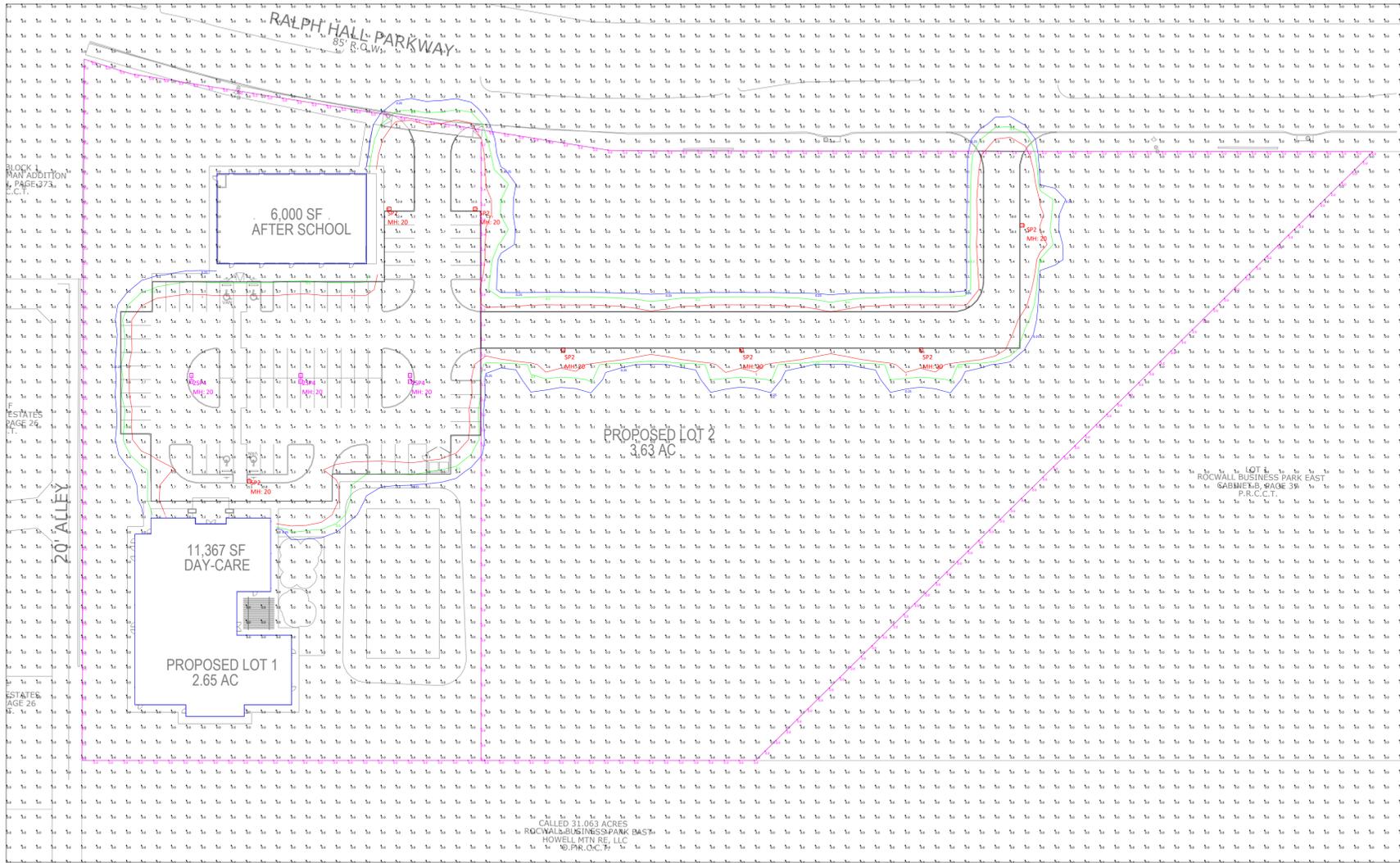
Project # :
 Date: 3/16/2020
 Version:



THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR COMPLIANCE OF ALL APPLICABLE ENERGY CODES AND LIGHTING QUALITY STANDARDS.

Luminaire Schedule					LLF	Lum. Lumens	Lum. Watts	Total Watts	Filename
Symbol	Label	Qty	Arrangement	Manufacturer & Part Number					
	2SP4	3	BACK-BACK	BEACON VP-L-64L-135-4K7-4 2@180DEGREES	0.900	14935	130.874	785.244	VP-L-64L-135-4K7-4 (7).ies
	SP2	7	SINGLE	BEACON VP-L-64L-135-4K7-2	0.900	17761	137.6	963.2001	VP-L-64L-135-4K7-2 (3).ies

Calculation Summary											
Label	CalcType	Units	PtSpcLr	PtSpcTb	Avg	Max	Min	Avg/Min	Max/Min	Description	
Grade	ILLUMINANCE	Fc	10	10	0.22	12.4	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	
Property Line	ILLUMINANCE	Fc	10	N.A.	0.14	2.4	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	
East Drive	ILLUMINANCE	Fc			3.64	10.3	0.9	4.04	11.44		
Parking Lot & Drives	ILLUMINANCE	Fc			2.94	12.4	0.5	5.88	24.80		



Site - Overall
Scale: 1 inch= 50 Ft.

- NOTES:
- 1) Fixture Mounting Heights (MH) are indicated next to each fixture.
 - 2) All fixtures labeled with "_alt" indicates an alternative fixture different from what was listed in the fixture schedule received was used in this calculation
 - 3) All fixtures labeled with "_ph" indicates that another fixture's IES file was used as a placeholder due to unavailable IES files from the specified Manufacturer.
 - 4) Interior reflectances 80/50/20; exterior reflectances 20% UON.
 - 5) Quantity (QTY) indicated on HLA Luminaire Schedule is for what is included in this calculation study only - Not final counts.
 - 6) Contractor to verify exact fixture quantities and fixture run lengths before ordering.

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Revisions:

#	DATE	COMMENTS



MAR. 20, 2020
EXPIRES SEPT. 30, 2020

PROJECT
Pinnacle
Montessori
of
Rockwall

Site Address:
E. Ralph Hall and Plaza Drive
Rockwall, Texas

PROJECT #
SRC 032

OWNER

Lakeside
Kids, LLC

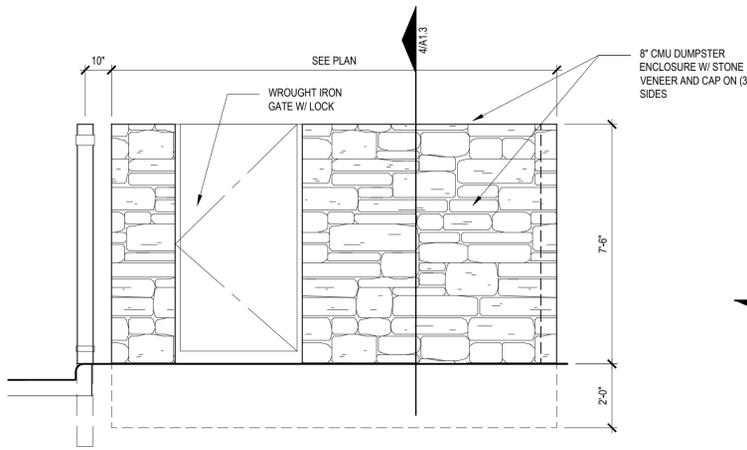
5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:
SITE DETAILS

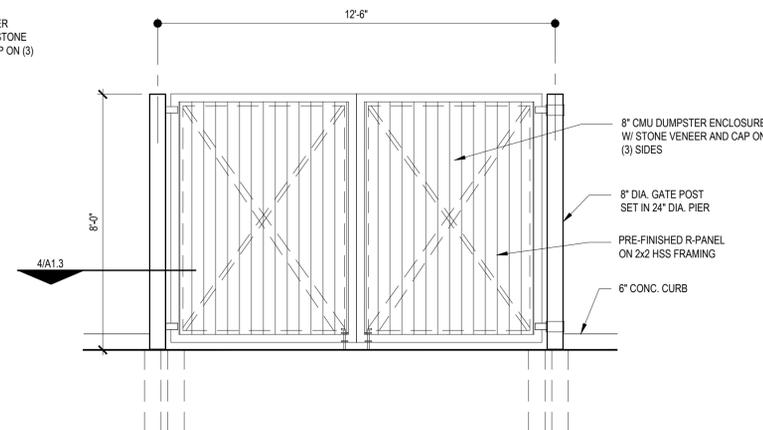
SHEET NO.

A1.3

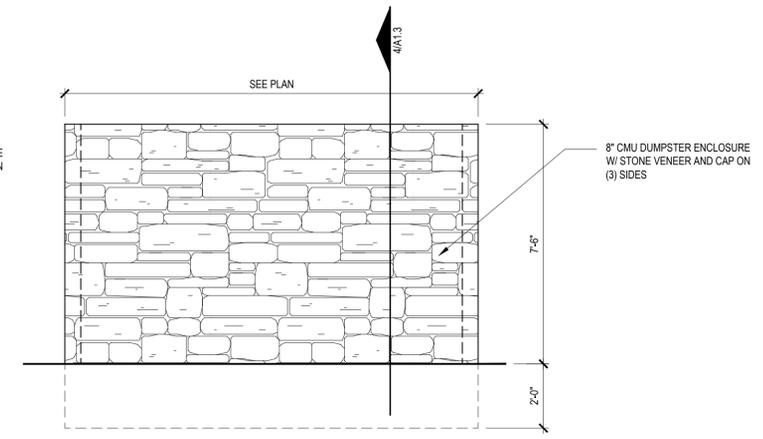
ISSUE DATE: MARCH 20, 2020



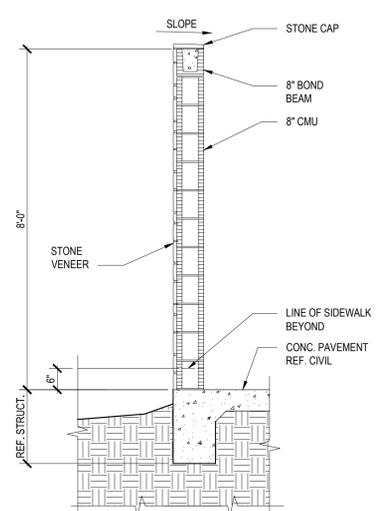
1 DUMPSTER ENCLOSURE-SIDE
SCALE: 3/8"= 1'-0"



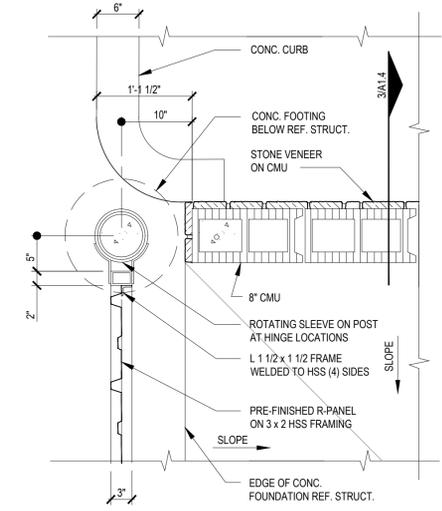
2 DUMPSTER ENCLOSURE-FRONT
SCALE: 3/8"= 1'-0"



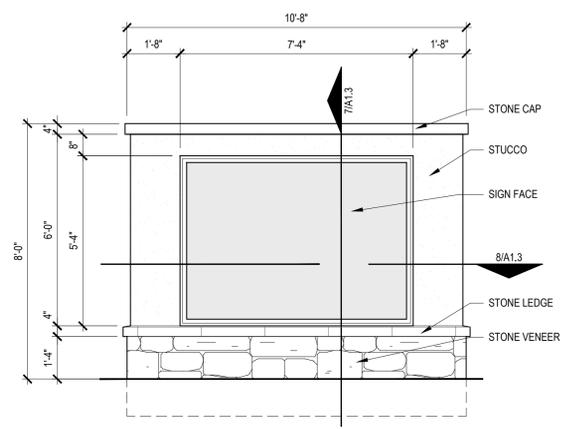
3 DUMPSTER ENCLOSURE-REAR
SCALE: 3/8"= 1'-0"



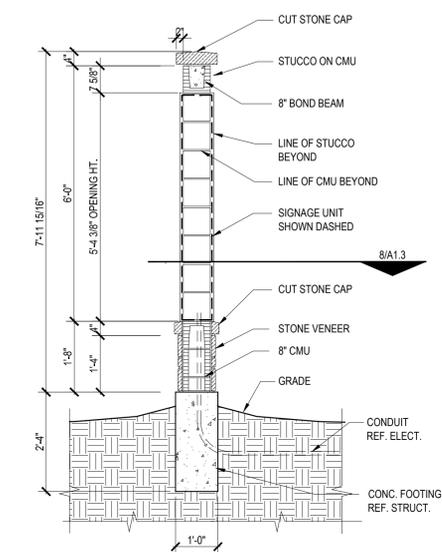
4 DUMPSTER WALL SECTION
SCALE: 1/2"= 1'-0"



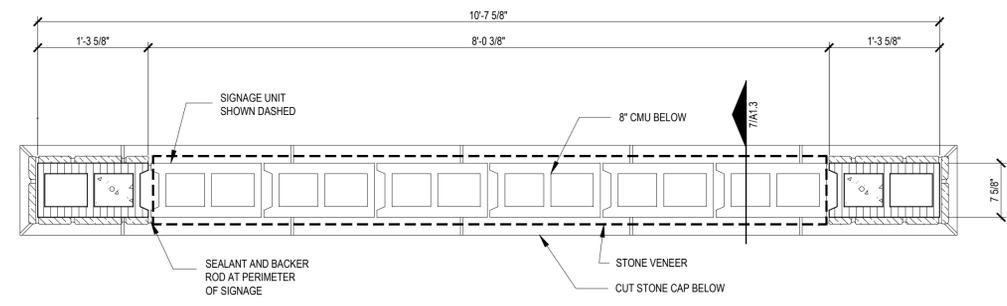
5 DUMPSTER GATE PLAN DETAIL
SCALE: 1"= 1'-0"



6 MONUMENT SIGN - ELEVATION
SCALE: 3/8"= 1'-0"



7 MONUMENT SIGN SECTION
SCALE: 1/2"= 1'-0"



8 MONUMENT SIGN PLAN
SCALE: 1"= 1'-0"

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